

Londonderry Heritage/Historic District Commission Meeting

February 26, 2026 - 7:00 P.M.

MOOSE HILL CONFERENCE ROOM

AGENDA

- I. Open Meeting
- II. Approval of minutes from prior meeting
- III. Applications for Advisory input to the Planning Board
 - A. Subdivision for 16 residential lots and associated site improvements in the Agricultural Residential (AR-1) District. 35 Elwood Road, Map 5 Lot 39; 16 Dan Hill Road, Map 5 Lot 39-5; 54A Elwood Road, Map 5 Lot 40; 68 Rear Elwood Road, and Map 5 Lot 72, Estate of Wayne Elwood c/o Linda & Christina Elwood (owner) & Belize Real Estate Holdings, LLC (applicant).

Documents:

[ELWOOD PLAN SET_2025.12.22 \(1\).PDF](#)
- IV. Other business
 - A. Role of Heritage in DRC process – Planning Board Chairman to address the Heritage Commission
 - B. Londonderry Look Book
- V. Public input
- VI. Adjournment

GENERAL NOTES

- The purpose of this plan is to consolidate & subdivide the existing undeveloped Tax Map 5 Lots 39 & 39-5 into ELEVEN house lots; Ten of which have frontage on Elwood Road and one with frontage on Dan Hill Road. Also as part of the project, Tax Map 5 Lots 40 & 72 are proposed to be consolidated & subdivided into FIVE House lots. Houses are anticipated to be 4 bedrooms.
- The parcels are Tax Map 5, Lot 39 (35 Elwood Road); Lots 40 & 72 (54 Elwood Road); & Lot 39-5 (16 Dan Hill Road).
- The existing parcels areas are as follows: Tax Map 5 Lot 39 is 2,077,616 square feet or 47.696 acres, Tax Map 5 Lot 39-5 is 117,790 square feet or 2.704 acres, Tax Map 5 Lot 40 is 2,546,217 square feet or 58.453 acres and Tax Map 5 Lot 72 is 712,026 square feet or 16.346 acres.
- Proposed lot areas:

005-39 = 512,586 square feet or 11.767 acres
 005-39-6 = 68,324 square feet or 1.568 acres
 005-39-7 = 75,742 square feet or 1.739 acres
 005-39-8 = 93,312 square feet or 2.142 acres
 005-39-9 = 115,727 square feet or 2.657 acres
 005-39-10 = 157,563 square feet or 3.617 acres
 005-39-11 = 130,663 square feet or 3.000 acres
 005-39-12 = 99,902 square feet or 2.293 acres
 005-39-13 = 89,076 square feet or 2.045 acres
 005-39-14 = 108,332 square feet or 2.487 acres
 005-39-5 = 744,179 square feet or 17.084 acres
 005-40 = 89,292 square feet or 2.050 acres
 005-40-15 = 331,469 square feet or 7.610 acres
 005-40-16 = 57,117 square feet or 1.311 acres
 005-40-17 = 67,170 square feet or 1.542 acres
 005-72 = 2,713,194 square feet or 62.289 acres

- The lot is in the Agricultural-Residential (AR-1) zoning district.
- Dimensional Requirements:
 Minimum Lot Area:
 SOILS BASED (soils based) (min. req'd & provided)
 Frontage:
 150 LF (min. req'd & provided)
 Effective Setbacks & Buffers:
 Front 40 FT (min req'd & provided)
 Side 15 FT (min req'd & provided)
 Rear 15 Ft (min req'd & provided)
- Lots shall be serviced by on-site wells and septic systems.
- A portion of Tax Map 5 Lot 39 is within a special flood hazard area (100 year flood) and Tax Map 5 Lots 40, 72, & 39-5 are not located within a special flood hazard area (100 year flood) per Flood Insurance Rate Map 33015C0508E and the flood insurance study for Rockingham County with effective dates of May 17, 2005.
- The subdivision plan (sheets 10-15 of 40) will be recorded at the Rockingham County Registry of Deeds and all sheets will be on file at the Town.

Required Notes:

- "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the owner shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."
- "If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."
- "All materials and methods of construction shall conform to Town of Londonderry Subdivision Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road and Bridge Construction."

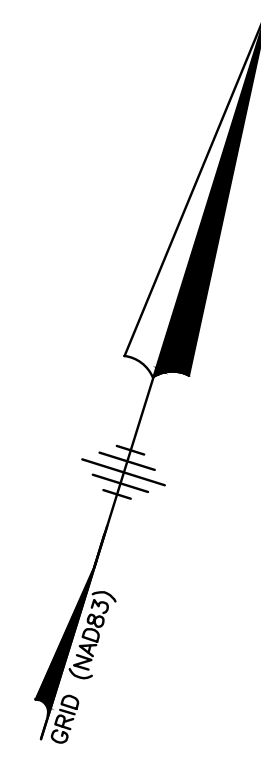
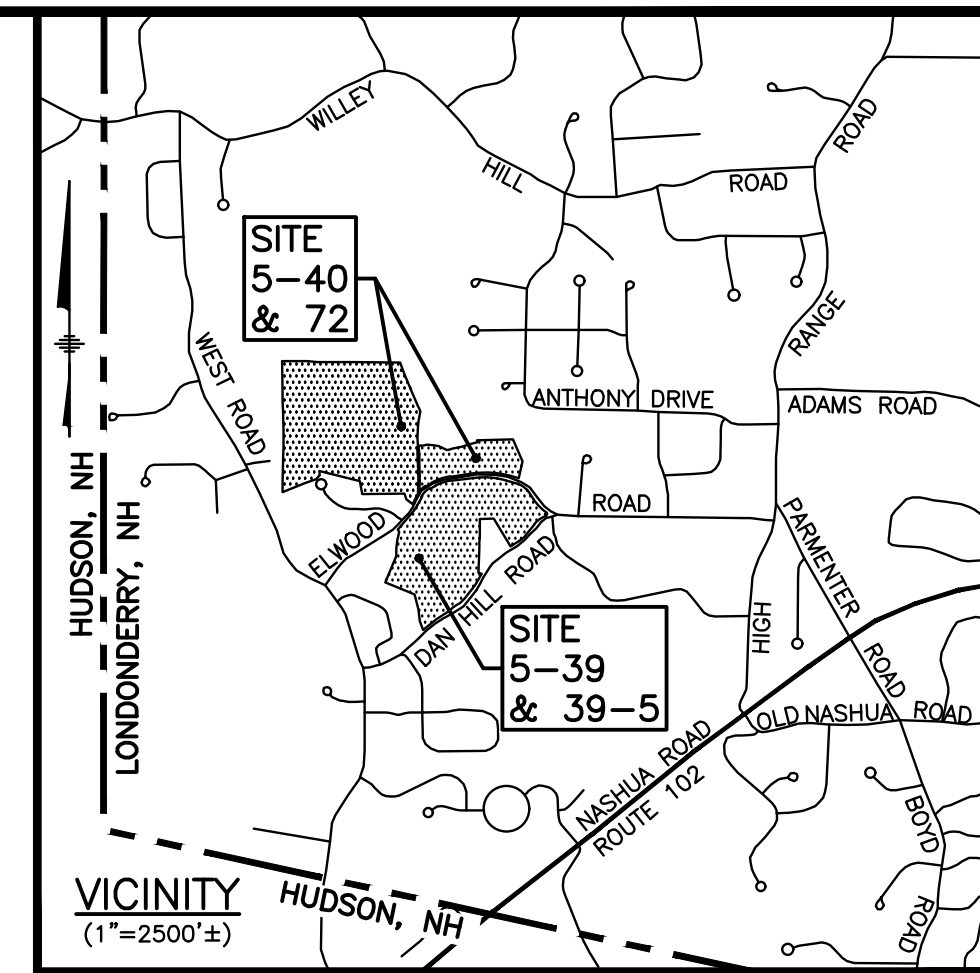
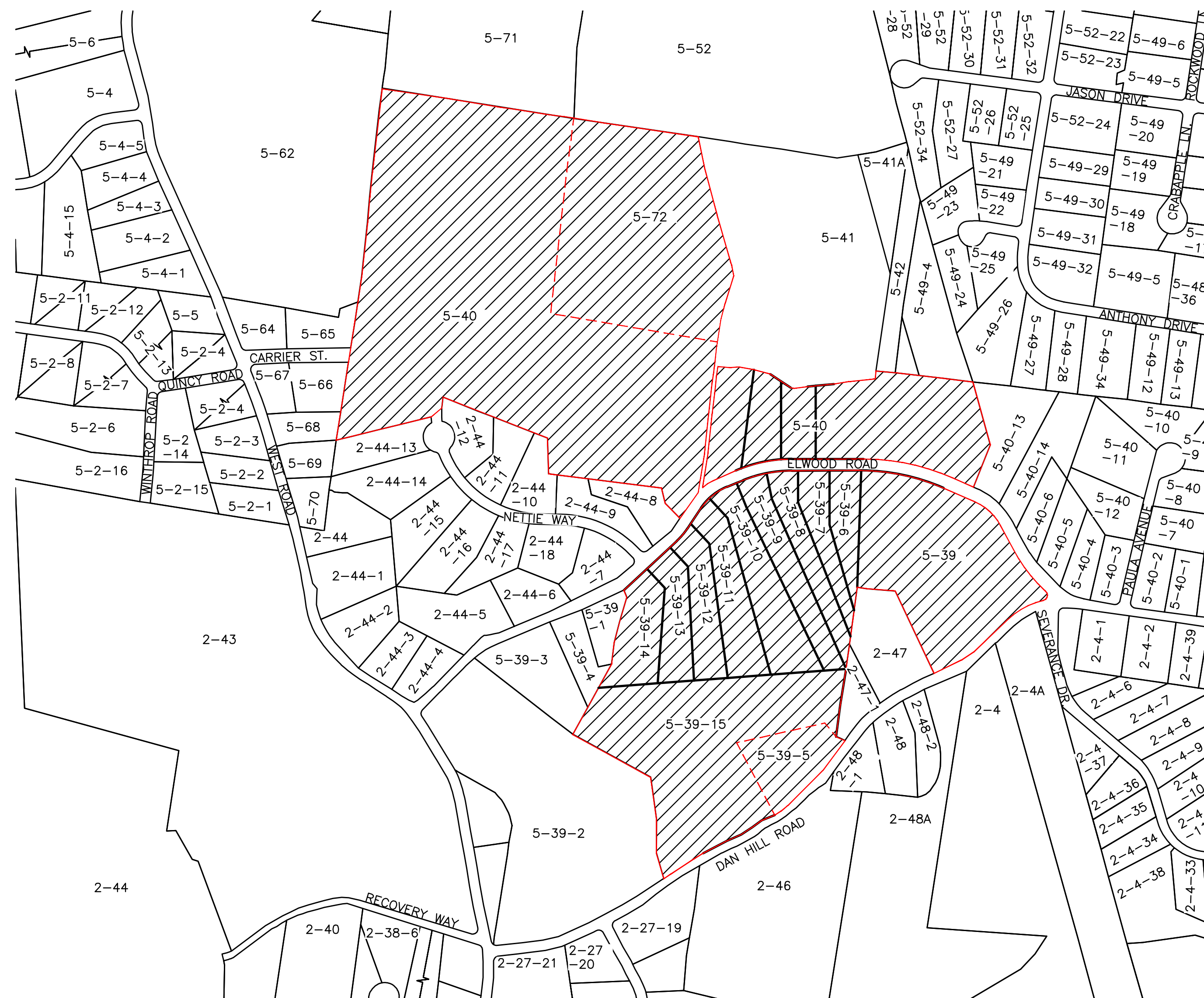
GENERAL AND SUBSEQUENT CONDITIONS:

- No construction or site work for the subdivision may be undertaken until a pre-construction meeting with Town staff has taken place, filing of an NPDES - EPA permit (if required), and posting of the appropriate financial guaranty with the Town. Contact the Department of Public Works to arrange the pre-construction meeting.
- The project must be built and executed as specified in the approved application package unless modifications are approved by the Planning Department & Department of Public Works, or, if Staff deems applicable, the Planning Board.
- All of the documentation submitted in the application package by the applicant and any requirements imposed by other agencies are part of this approval unless otherwise updated, revised, clarified in some manner, or superseded in full or in part. In the case of conflicting information between documents, the most recent documentation and this notice herein shall generally be determining.
- Prior to issuance of a certificate of occupancy, all site improvements and offsite improvements, if any, shall be completed.
- It is the responsibility of the applicant to obtain all other local, state, and federal permits, licenses, and approvals which may be required as part of this project (that were not received prior to certification of the plans). Contact the Building Division at extension 115 regarding building permits.

SUBDIVISION PLAN

MAP 5 LOT 39, 39-5, 40 & 72

35 & 54 ELWOOD ROAD
 LONDONDERRY, NEW HAMPSHIRE



OWNER'S SIGNATURE
 Linda Elwood
 DATE: 12-15-2025
 Christina Elwood
 DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

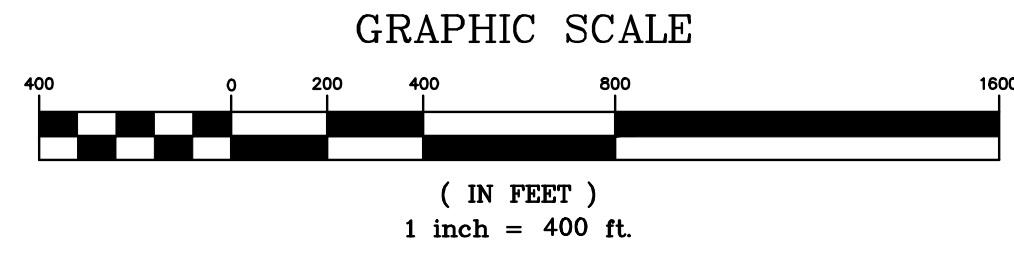
Permits & Approvals:

Subdivision Approval	Permit #	Date
NHDES Subdivision		
Londonderry Stormwater Permit		

SHEET INDEX

1	TITLE SHEET
2-3	EXISTING CONDITIONS PLAN
4-9	HIGH INTENSITY SOILS PLAN
10-15	SUBDIVISION PLAN
16-21	TOPOGRAPHICAL SUBDIVISION PLAN
22-24	PROTOTYPICAL LOT GRADING
25-40	SIGHT DISTANCE PLANS AND PROFILES
41-42	SITE DETAILS

TITLE SHEET
 TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053
 SCALE: AS NOTED DATE: DEC. 12, 2025



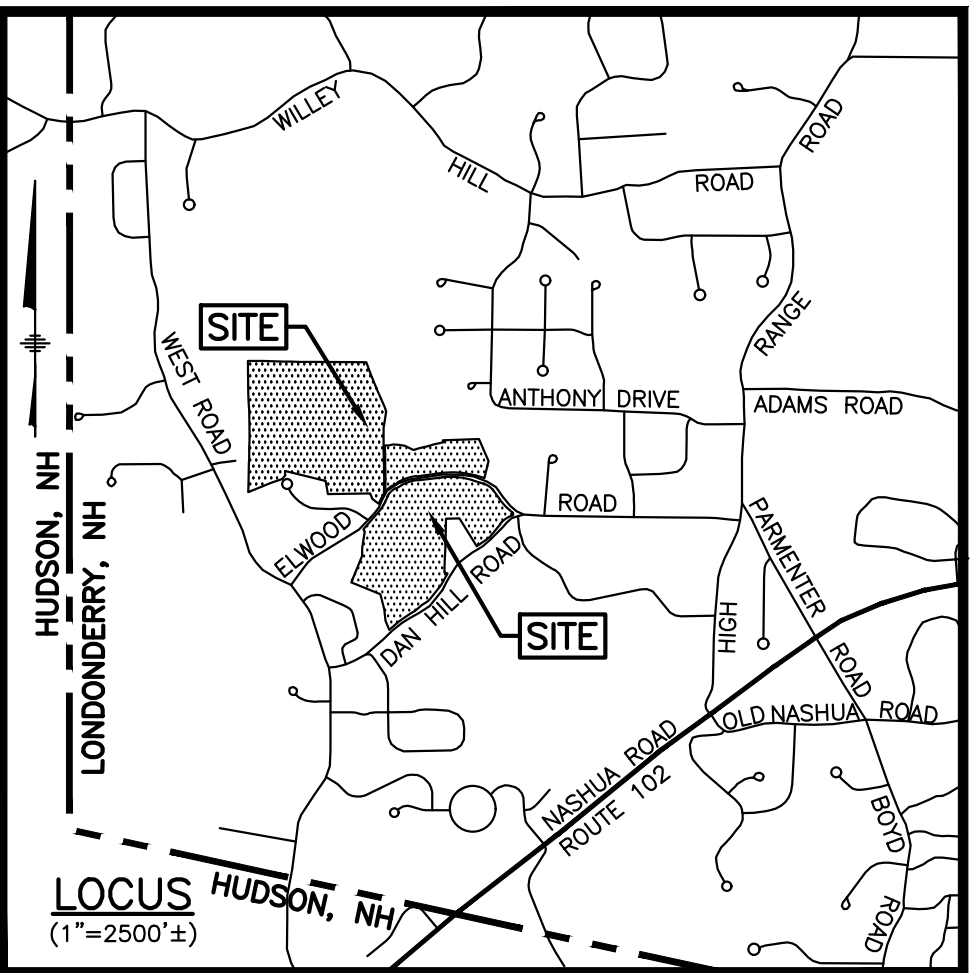
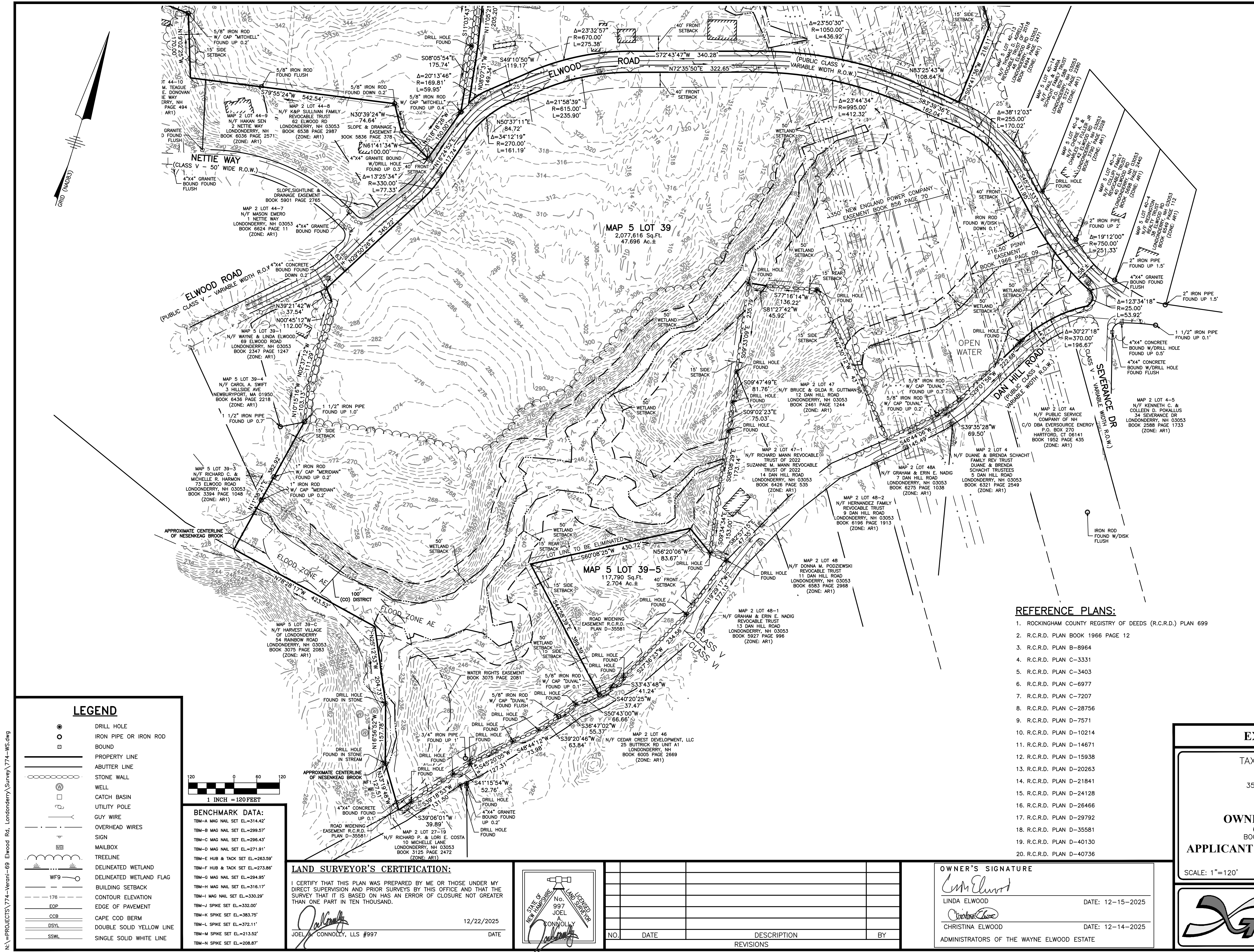
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____
 CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

NO.	DATE	DESCRIPTION	BY
REVISIONS			

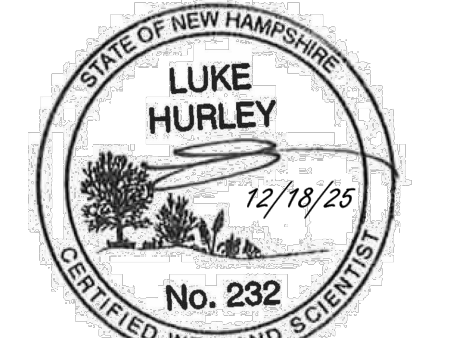
The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-COVER
 SHEET 1 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-COVER.dwg



- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS OF MAP 5 LOTS 39, 40 & 72 BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY, 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) AND TAX MAP 5 LOTS 40 & 72 ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39, 40 & 72 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP.
- MIN LOT SIZE: SOIL BASE
 MIN LOT FRONTAGE: 150 FT
 MIN FRONT YARD: 40 FT
 MIN SIDE YARD: 15 FT
 MIN REAR YARD: 15 FT
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
8. 54 ELWOOD ROAD BENEFITS FROM SIGN EASEMENT LOCATED ON MAP 2 LOT 8, 2 HIGH RANGE ROAD AS RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS IN BOOK 6502 PAGE 1525.



- WETLAND NOTES**
- THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:
- US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 - NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

REFERENCE PLANS:

- ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN 699
- R.C.R.D. PLAN BOOK 1966 PAGE 12
- R.C.R.D. PLAN B-8964
- R.C.R.D. PLAN C-3331
- R.C.R.D. PLAN C-3403
- R.C.R.D. PLAN C-6977
- R.C.R.D. PLAN C-7207
- R.C.R.D. PLAN C-28756
- R.C.R.D. PLAN D-7571
- R.C.R.D. PLAN D-10214
- R.C.R.D. PLAN D-14671
- R.C.R.D. PLAN D-15938
- R.C.R.D. PLAN D-20263
- R.C.R.D. PLAN D-21841
- R.C.R.D. PLAN D-24128
- R.C.R.D. PLAN D-26466
- R.C.R.D. PLAN D-29792
- R.C.R.D. PLAN D-35581
- R.C.R.D. PLAN D-40130
- R.C.R.D. PLAN D-40736

EXISTING CONDITIONS PLAN

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

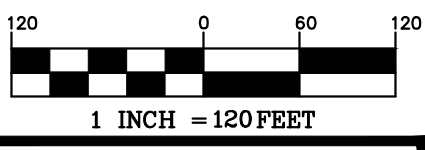
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APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TREELINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- 176'— CANTOUR ELEVATION
- EOP EDGE OF PAVEMENT
- CCB CAPE COD BERM
- DSYL DOUBLE SOLID YELLOW LINE
- SSWL SINGLE SOLID WHITE LINE



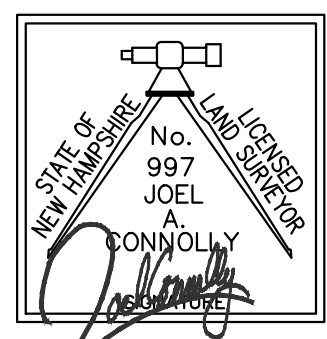
BENCHMARK DATA:

TBM-A MAG NAIL SET EL-314.42'
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 TBM-C MAG NAIL SET EL-296.43'
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 TBM-G MAG NAIL SET EL-294.95'
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 TBM-J SPIKE SET EL-332.00'
 TBM-K SPIKE SET EL-363.75'
 TBM-L SPIKE SET EL-372.11'
 TBM-M SPIKE SET EL-213.52'
 TBM-N SPIKE SET EL-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



OWNER'S SIGNATURE

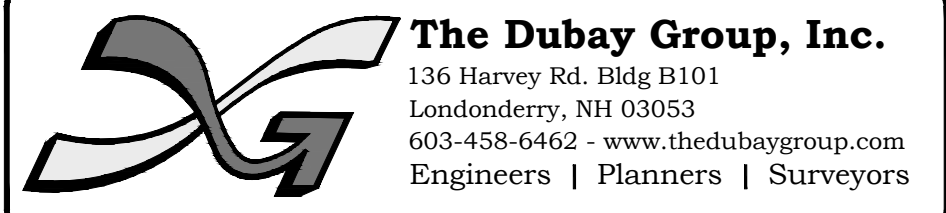
Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

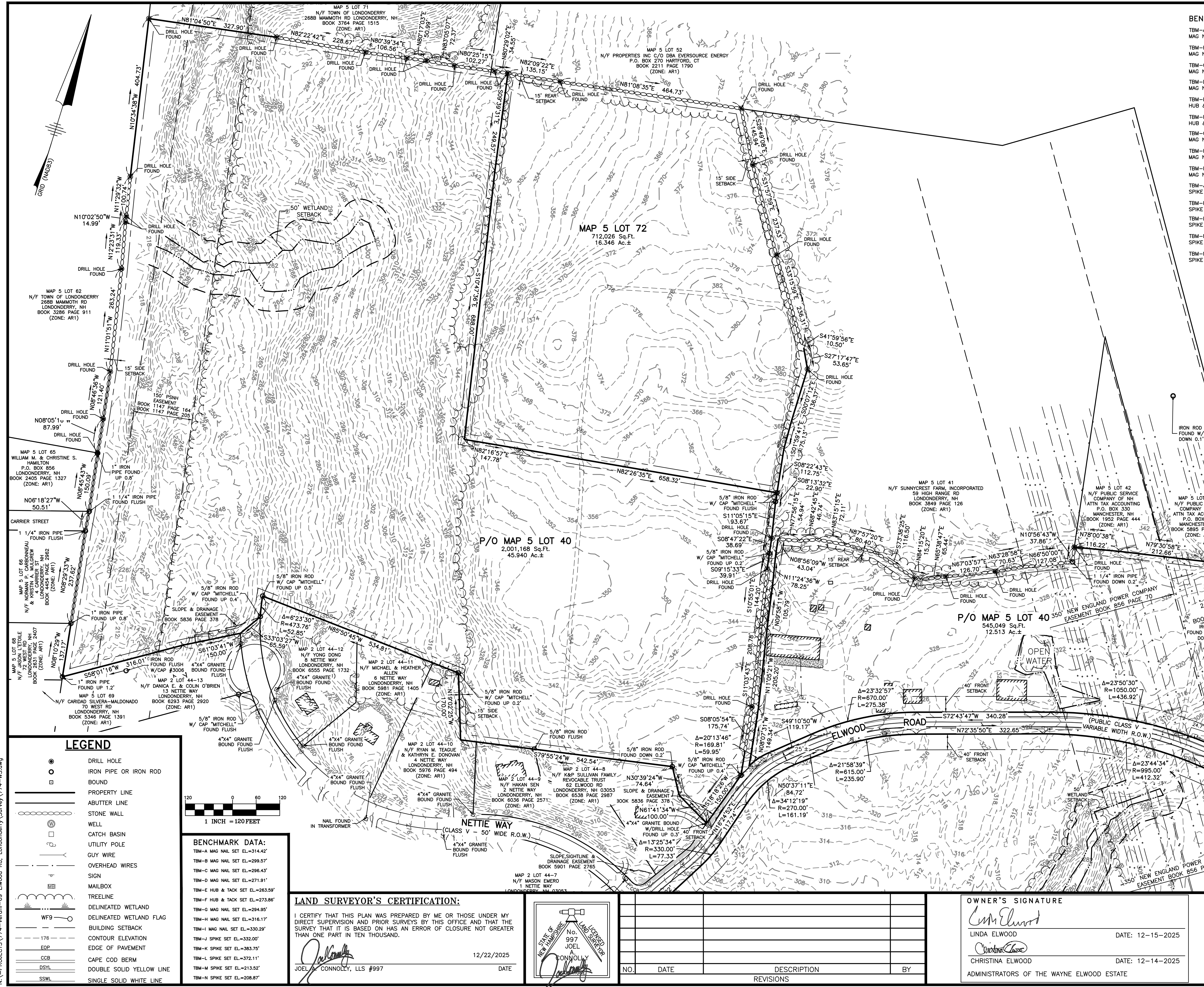
Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

NO.	DATE	DESCRIPTION	BY

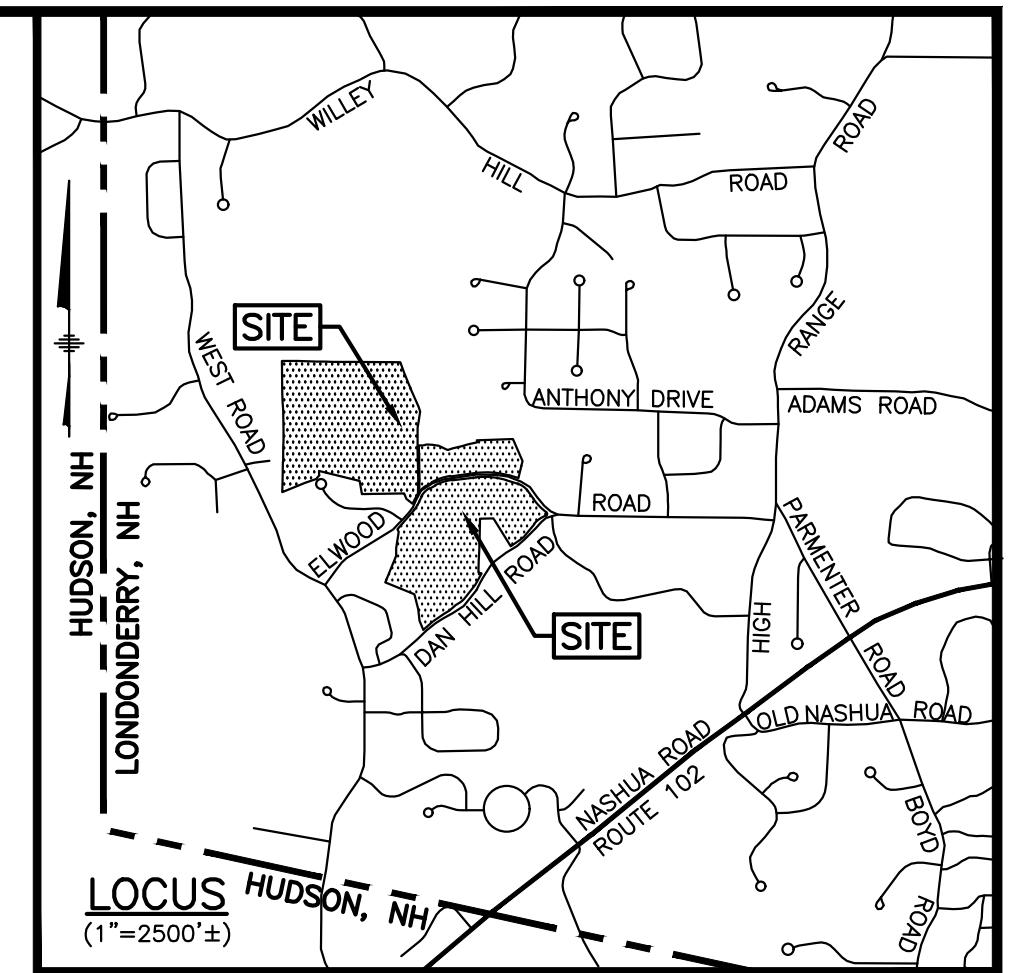
Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 2 of 42





BENCHMARK DATA:

TBM-A	MAG NAIL SET	EL.=314.42'
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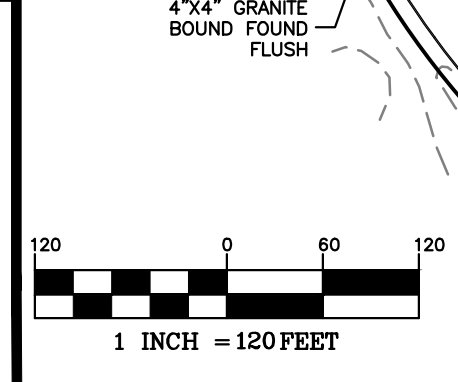


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 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
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LEGEND

○	DRILL HOLE
○	IRON PIPE OR IRON ROD
□	BOUND
—	PROPERTY LINE
—	ABUTTER LINE
—	STONE WALL
⊙	WELL
⊕	CATCH BASIN
⊕	UTILITY POLE
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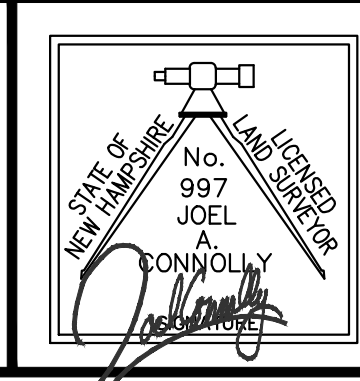
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 DATE: 12/22/2025



NO.	DATE	DESCRIPTION	BY

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 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

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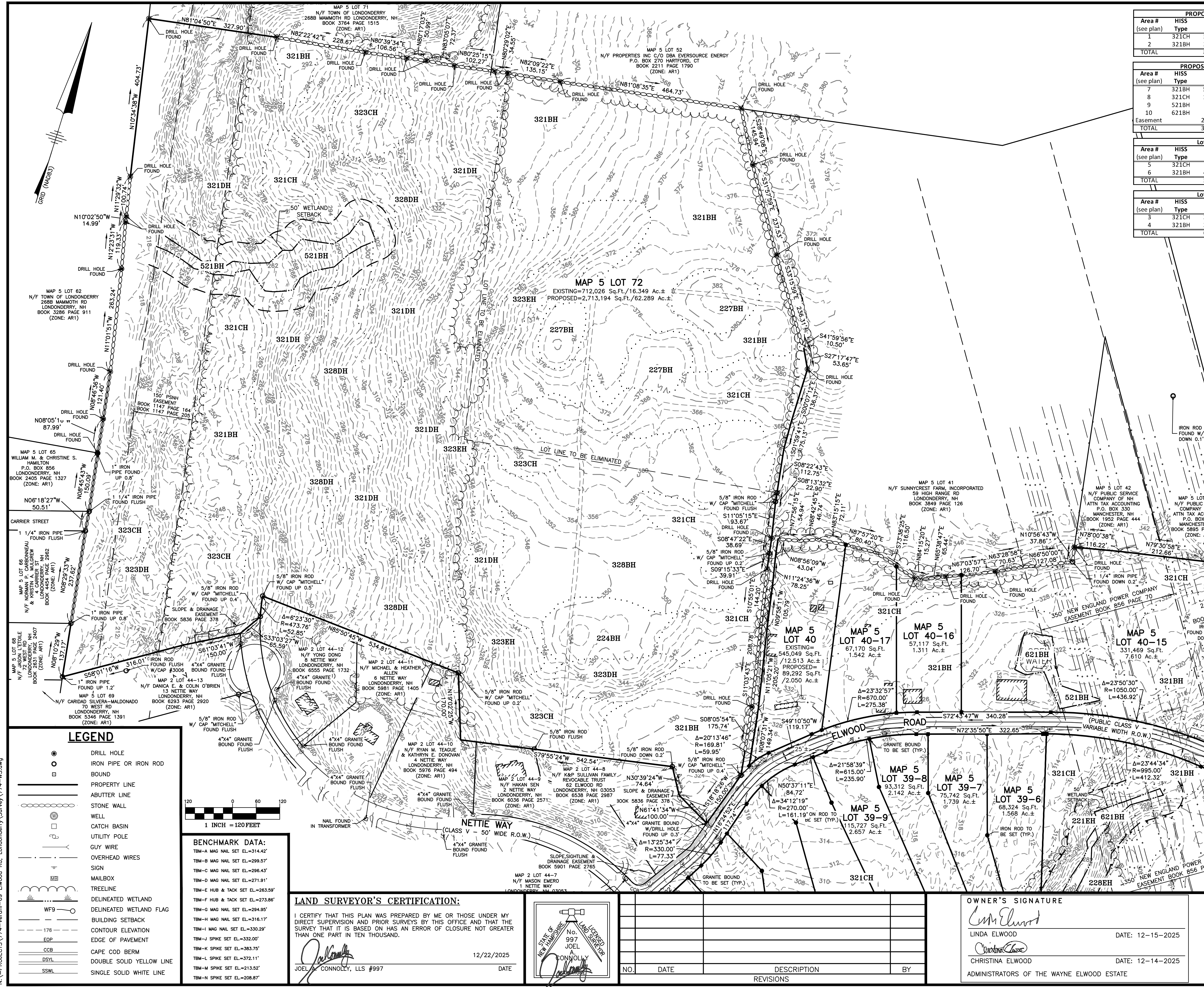
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 Engineers | Planners | Surveyors

Drawn By: DSJ
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 SHEET 3 of 42

NA=PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

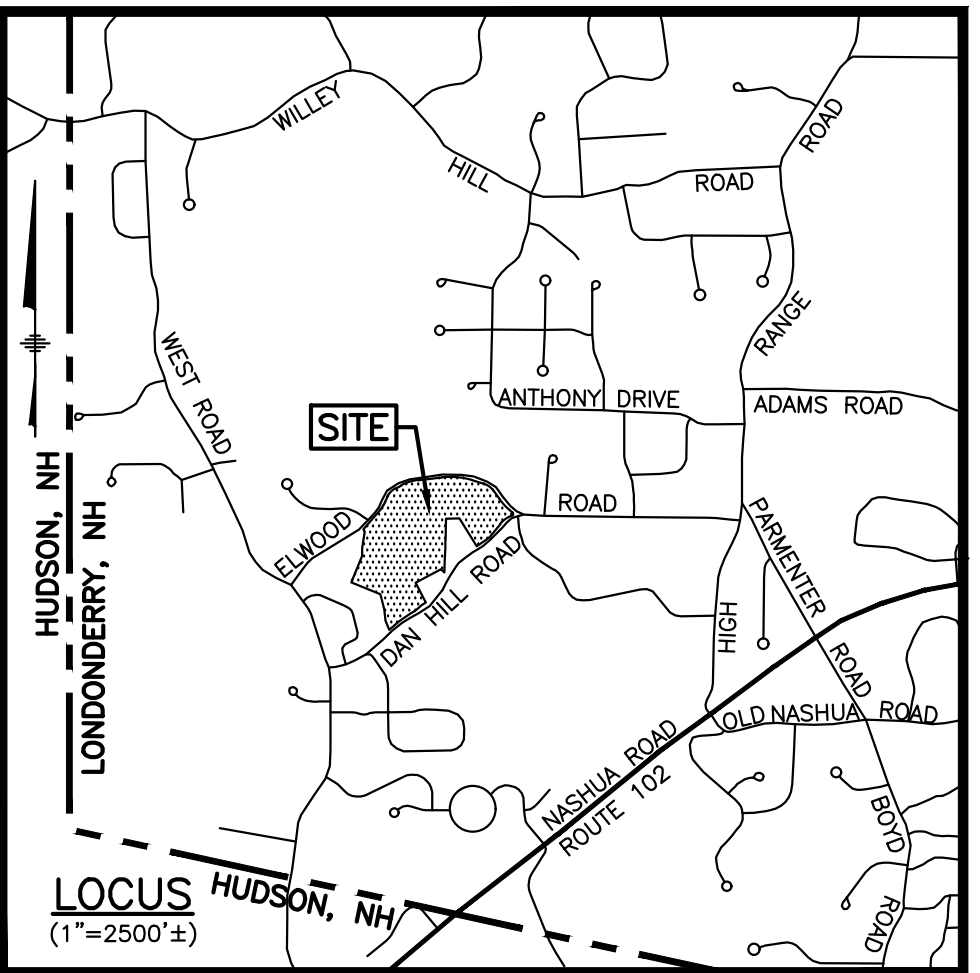


PROPOSED Lot 5-40				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
1	321CH	51,618	60,500	0.85
2	321BH	37,674	54,500	0.69
TOTAL		89,292		1.54


PROPOSED Lot 5-40-15				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
7	321BH	54,946	54,500	1.01
8	321CH	11,943	60,500	0.20
9	521BH	1,311	106,000	0.01
10	621BH	7,047	N/A	0.00
TOTAL		331,469		1.22

Lot 5-40-16				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
5	321CH	9,278	60,500	0.15
6	321BH	47,839	54,500	0.88
TOTAL		57,117		1.03

Lot 5-40-17				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
3	321CH	30,726	60,500	0.51
4	321BH	36,444	54,500	0.67
TOTAL		67,170		1.18



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

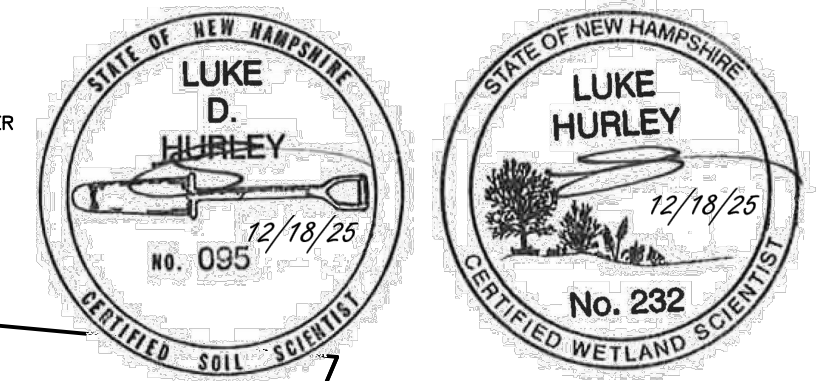
WETLAND DELINEATION PREPARED BY:
 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

SOIL MAPPING NOTES

- HIGH INTENSITY SOIL MAPPING WAS PERFORMED HURLEY ENVIRONMENTAL AND LAND PLANNING, LLC IN JULY 2025 TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND, SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, APRIL 2017.

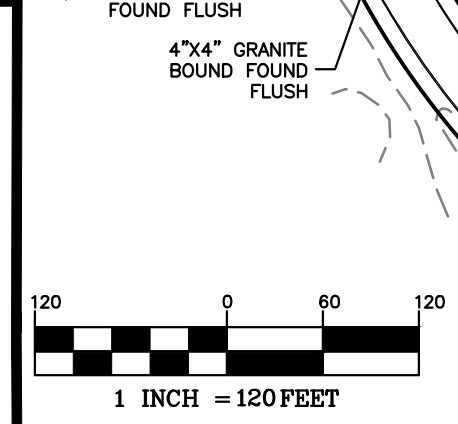
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	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE

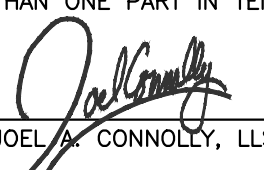


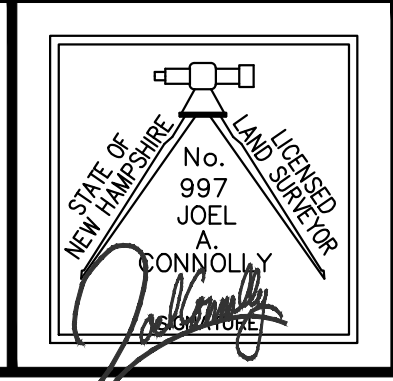
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LAND SURVEYOR'S CERTIFICATION:


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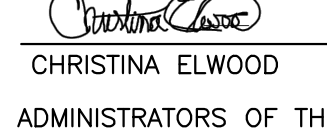
 12/22/2025
 JOEL A. CONNOLLY, LLS #997 DATE



NO.	DATE	DESCRIPTION	BY

OWNER'S SIGNATURE


 LINDA ELWOOD DATE: 12-15-2025


 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE


HIGH INTENSITY SOILS PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

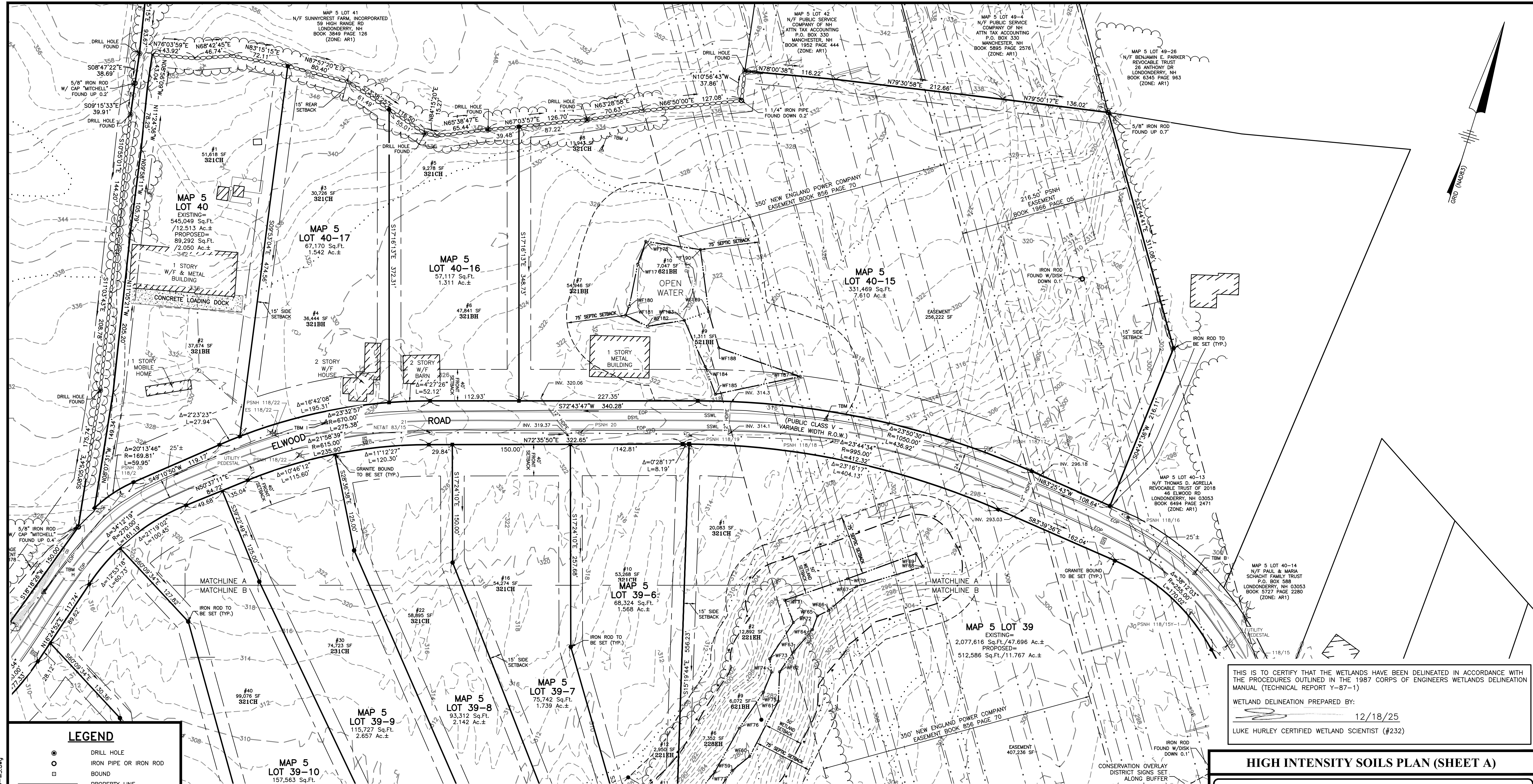
OWNER & APPLICANT:
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 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053


SCALE: 1"=120' DATE: DEC. 12, 2025

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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 5 of 42



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1)

WETLAND DELINEATION PREPARED BY:

 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
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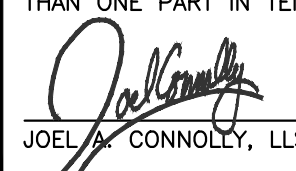
WETLAND NOTES

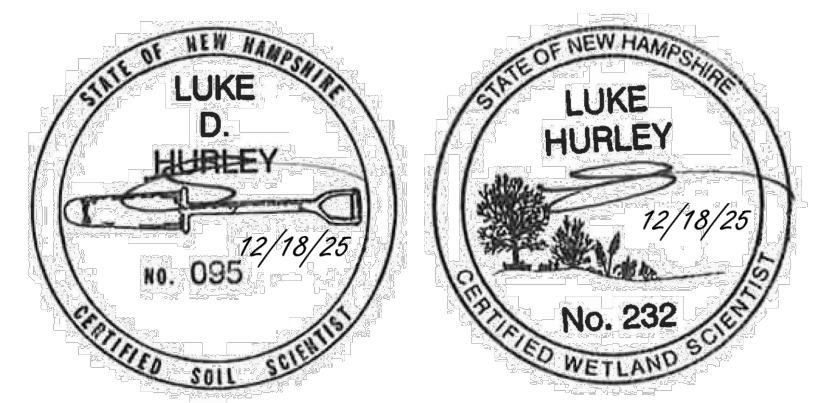
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LAND SURVEYOR'S CERTIFICATION:

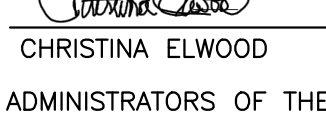
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 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



OWNER'S SIGNATURE


 LINDA ELWOOD
 DATE: 12-15-2025


 CHRISTINA ELWOOD
 DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP

	A
C	B
D	


HIGH INTENSITY SOILS PLAN (SHEET A)

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 LONDONDERRY, NEW HAMPSHIRE

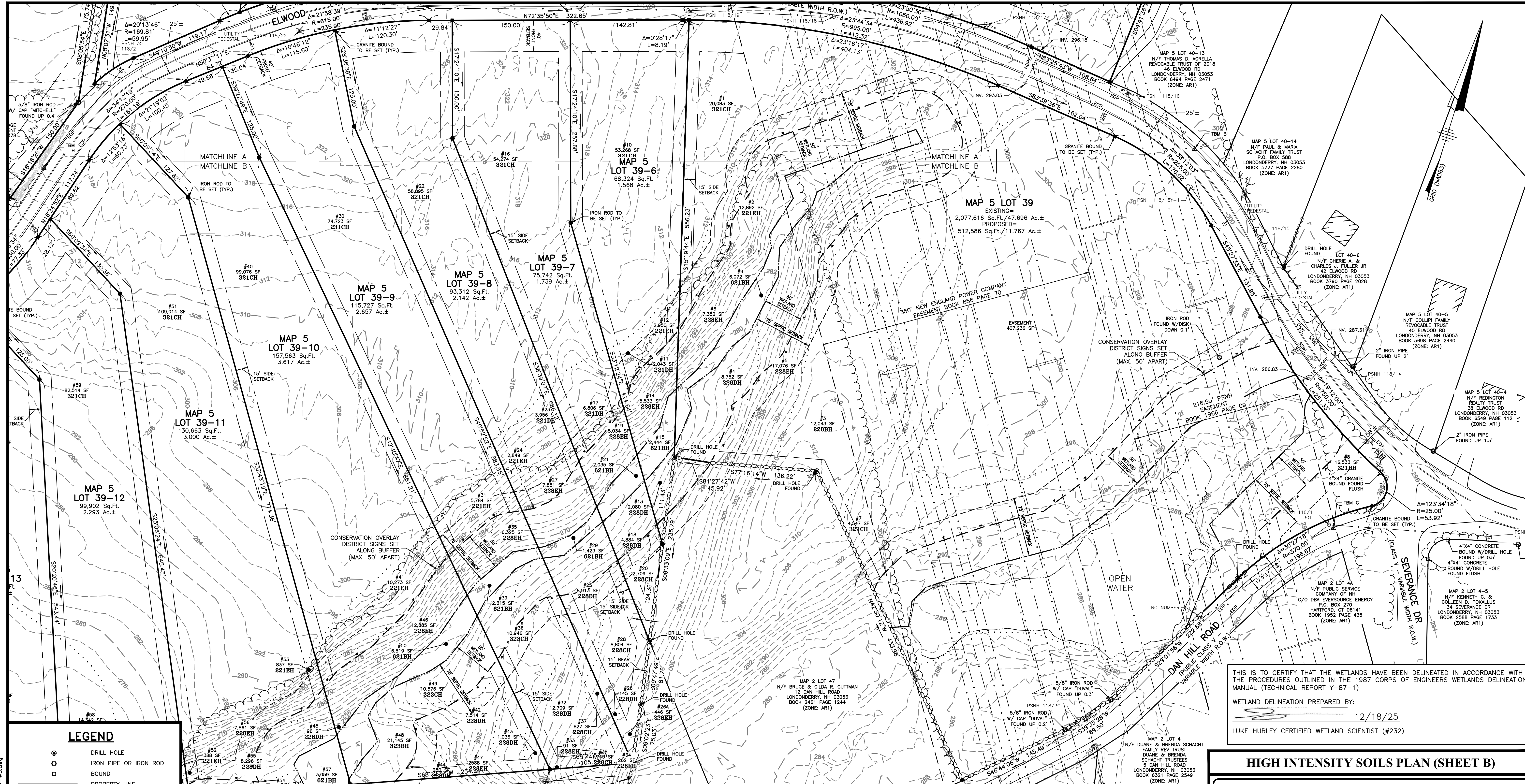
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 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60'
 DATE: DEC. 12, 2025

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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 6 of 42



LEGEND

○	DRILL HOLE
●	IRON PIPE OR IRON ROD
□	BOUND
—	PROPERTY LINE
- - -	ABUTTER LINE
⊞	STONE WALL
⊞	WELL
⊞	CATCH BASIN
⊞	UTILITY POLE
⊞	GUY WIRE
⊞	OVERHEAD WIRES
⊞	MAILBOX
⊞	TRELINE
⊞	DELINEATED WETLAND
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WETLAND NOTES

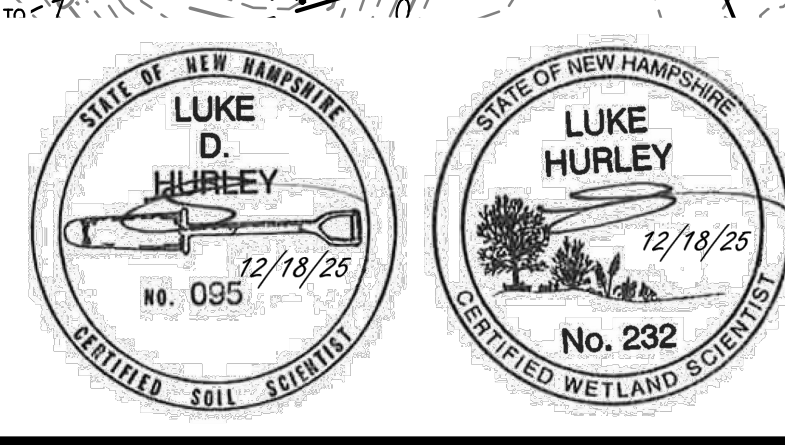
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JOEL A. CONNOLLY, LLS #997
DATE: 12/22/2025



OWNER'S SIGNATURE

LINDA ELWOOD
DATE: 12-15-2025

CHRISTINA ELWOOD
DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP

A
B
C
D

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____

ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____

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WETLAND DELINEATION PREPARED BY:
LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)
12/18/25

HIGH INTENSITY SOILS PLAN (SHEET B)

TAX MAP 5 LOT 39, 39-5, 40 & 72
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35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

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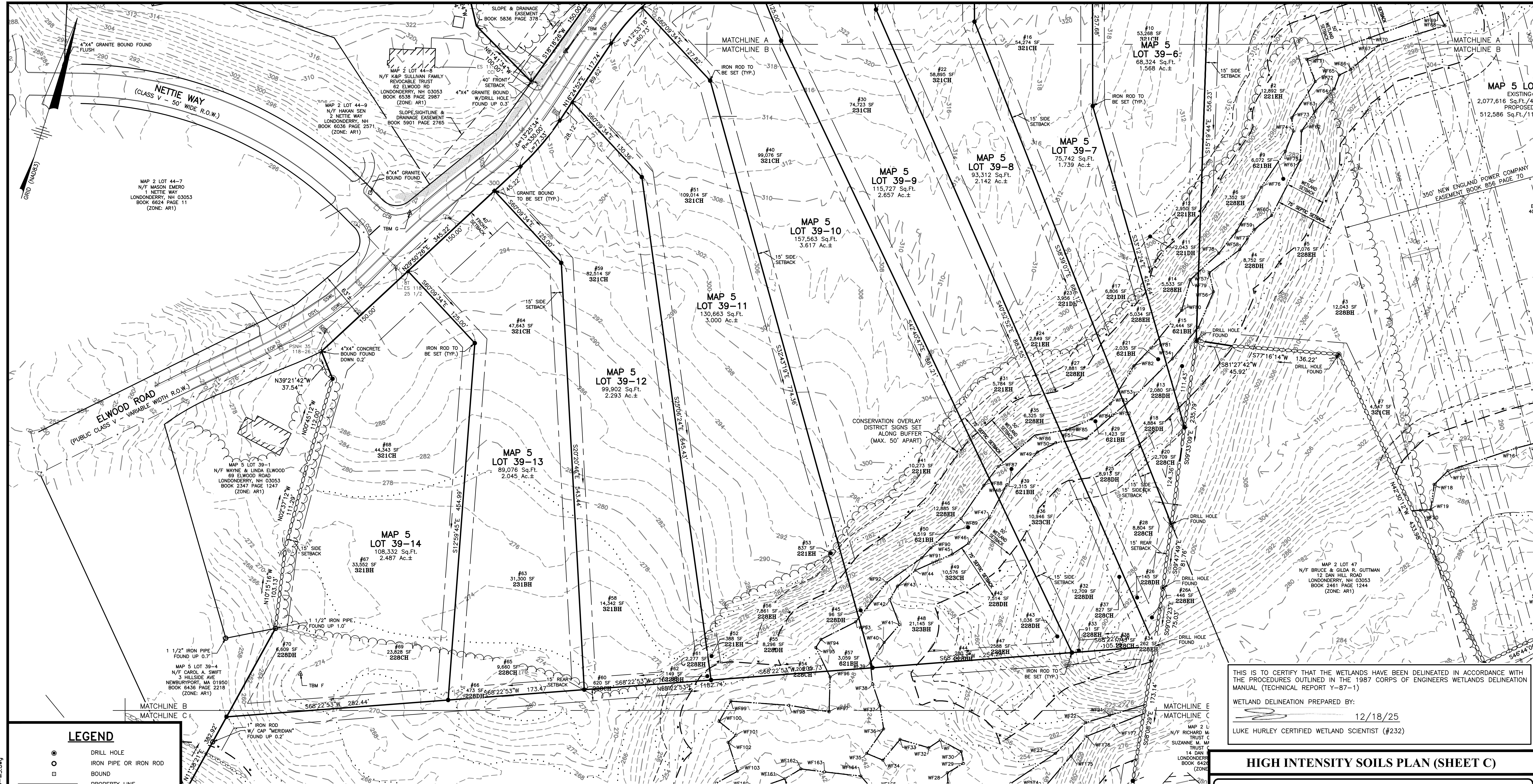
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74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025

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Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-WS
SHEET 7 of 42

NA=PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



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 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

HIGH INTENSITY SOILS PLAN (SHEET C)

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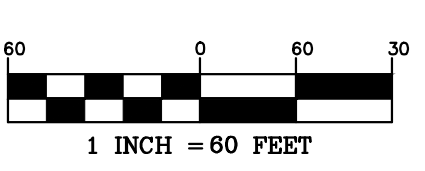
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LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
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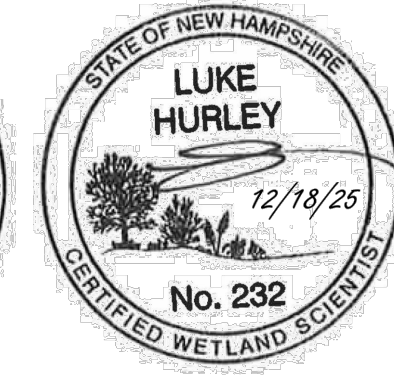
WETLAND NOTES

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JOEL A. CONNOLLY, LLS #997
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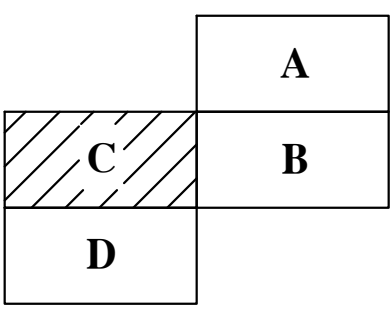


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KEY MAP



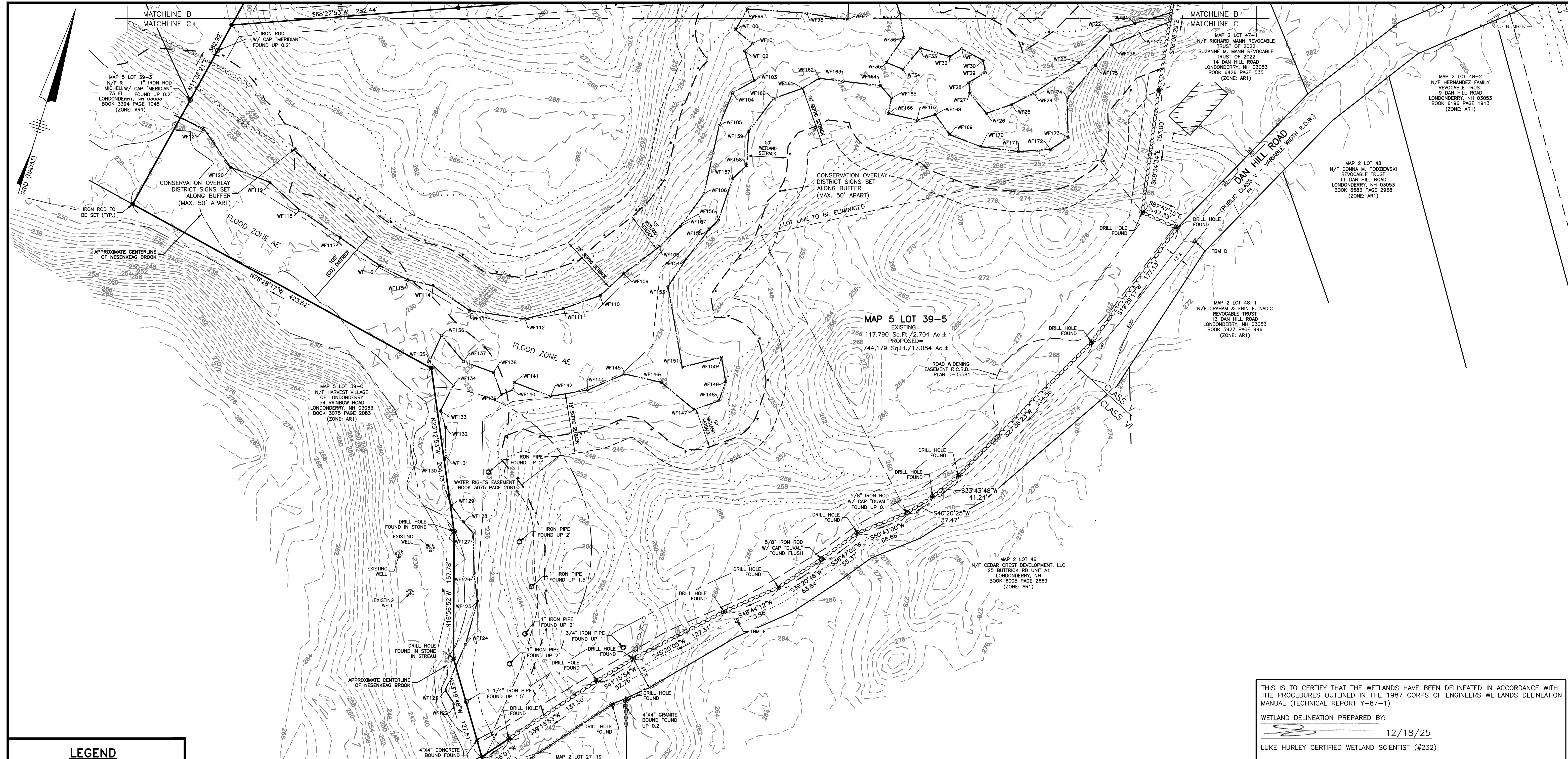
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____ ON DATE _____

CERTIFIED BY: _____ CHAIRMAN _____ SECRETARY _____

NO.	DATE	DESCRIPTION	BY

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 8 of 42



LEGEND

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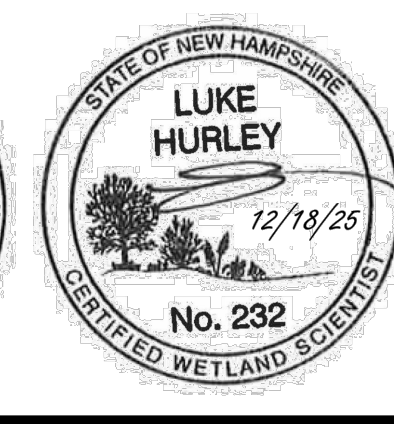
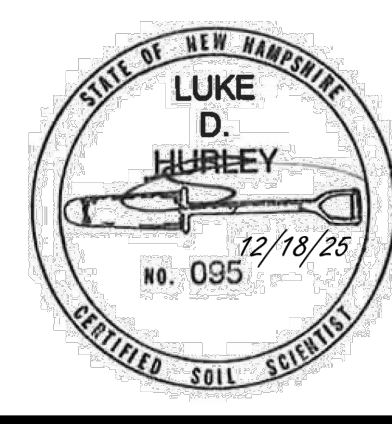
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP

	A
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D	

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 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

HIGH INTENSITY SOILS PLAN (SHEET D)

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ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

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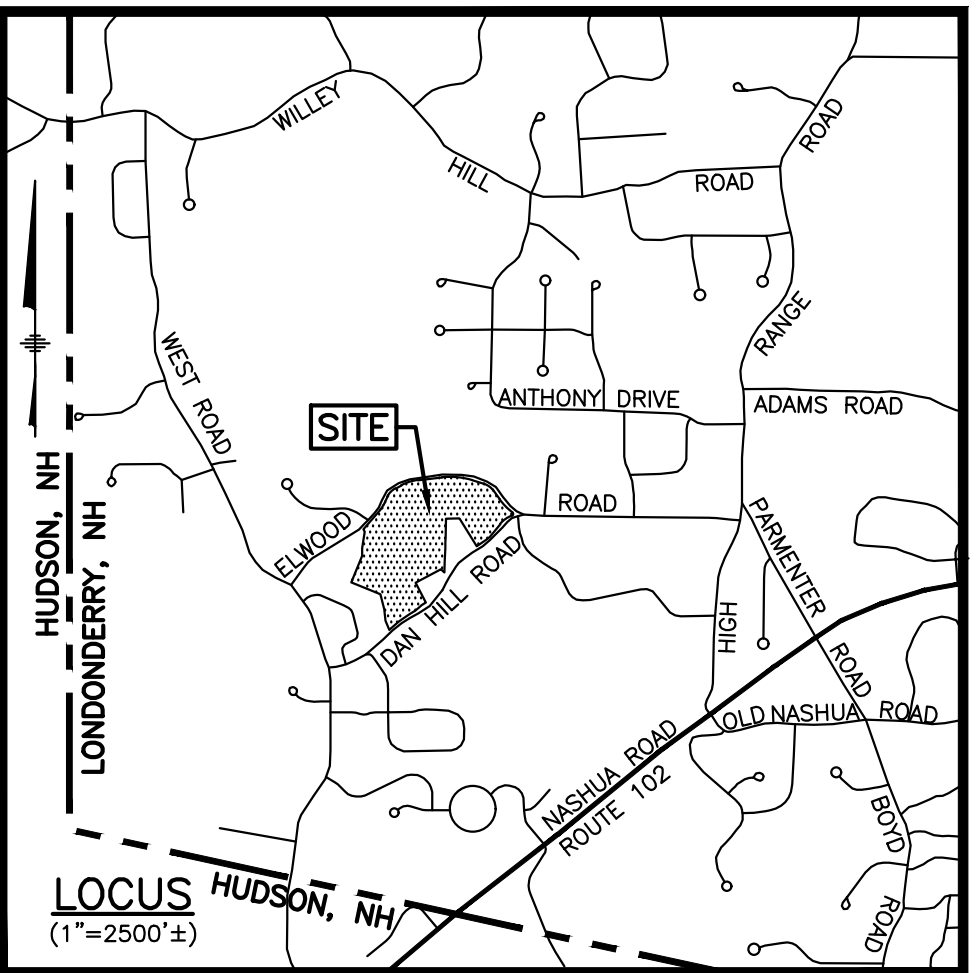
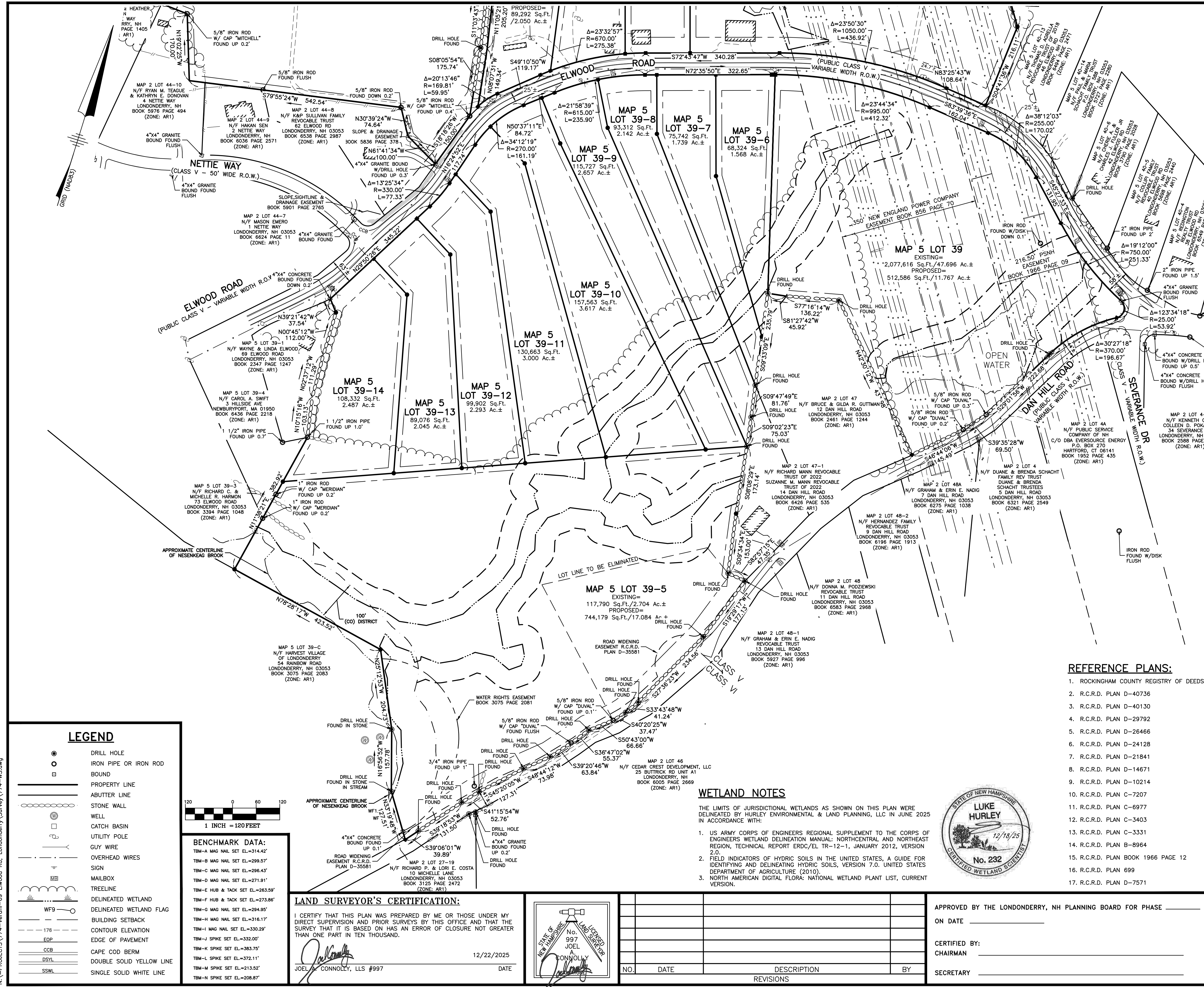
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Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 9 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 7.
 - THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:
- | | |
|-------------------|-----------|
| MIN LOT SIZE: | SOIL BASE |
| MIN LOT FRONTAGE: | 150 FT |
| MIN FRONT YARD: | 40 FT |
| MIN SIDE YARD: | 15 FT |
| MIN REAR YARD: | 15 FT |
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
- LOT CORNERS ARE TO BE SET IN ACCORDANCE WITH SECTIONS 3.02.A AND B.2 OF THE SUBDIVISION REGULATIONS.
 - STREET RIGHT-OF-WAY: SHALL BE MARKED BY A STONE OR CONCRETE MONUMENT 4"x4"x36" IN SIZE (MINIMUM), AND
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 - NHDES SUBDIVISION APPROVAL:

REFERENCE PLANS:

- ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN D-35581
- R.C.R.D. PLAN D-40736
- R.C.R.D. PLAN D-40130
- R.C.R.D. PLAN D-29792
- R.C.R.D. PLAN D-26466
- R.C.R.D. PLAN D-24128
- R.C.R.D. PLAN D-21841
- R.C.R.D. PLAN D-14671
- R.C.R.D. PLAN D-10214
- R.C.R.D. PLAN C-7207
- R.C.R.D. PLAN C-6977
- R.C.R.D. PLAN C-3403
- R.C.R.D. PLAN C-3331
- R.C.R.D. PLAN B-8964
- R.C.R.D. PLAN BOOK 1966 PAGE 12
- R.C.R.D. PLAN 699
- R.C.R.D. PLAN D-7571

OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

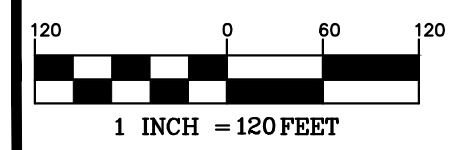
The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774-WS
File: 774-WS

SHEET 10 of 42

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TREELINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EDGE OF PAVEMENT
- CCB
- DSYL
- SSWL
- CAPE COD BERM
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE



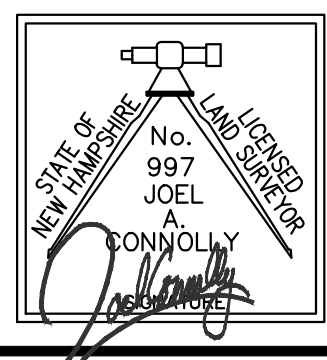
BENCHMARK DATA:

TBM-A MAG NAIL SET EL-314.42'
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TBM-J SPIKE SET EL-332.00'
TBM-K SPIKE SET EL-363.79'
TBM-L SPIKE SET EL-372.11'
TBM-M SPIKE SET EL-213.52'
TBM-N SPIKE SET EL-208.87'

LAND SURVEYOR'S CERTIFICATION:

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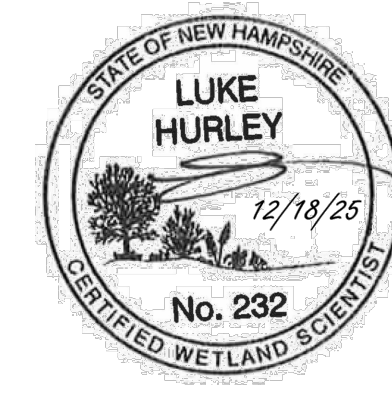
Joel A. Connolly
JOEL A. CONNOLLY, LLS #997
12/22/2025
DATE



WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:

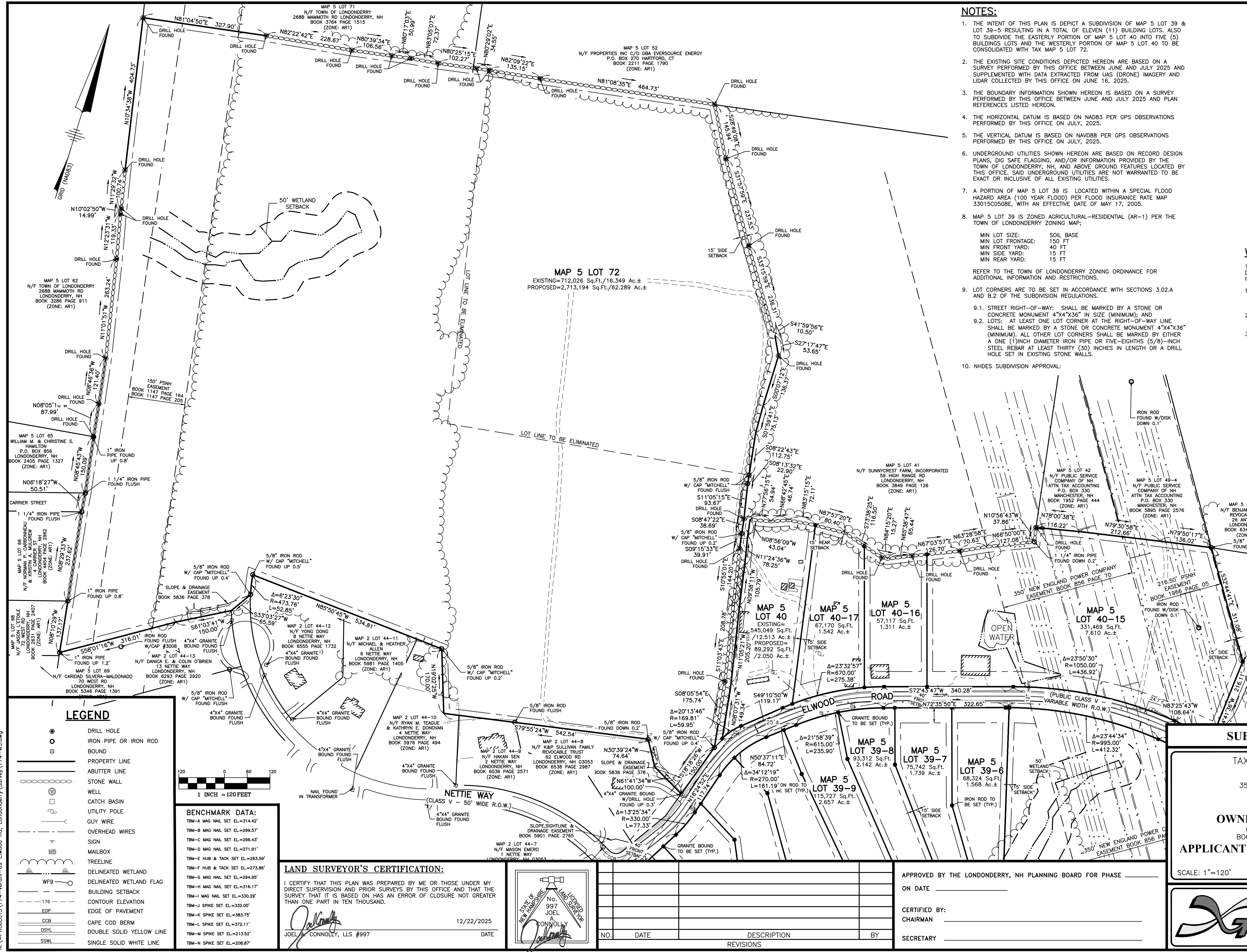
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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



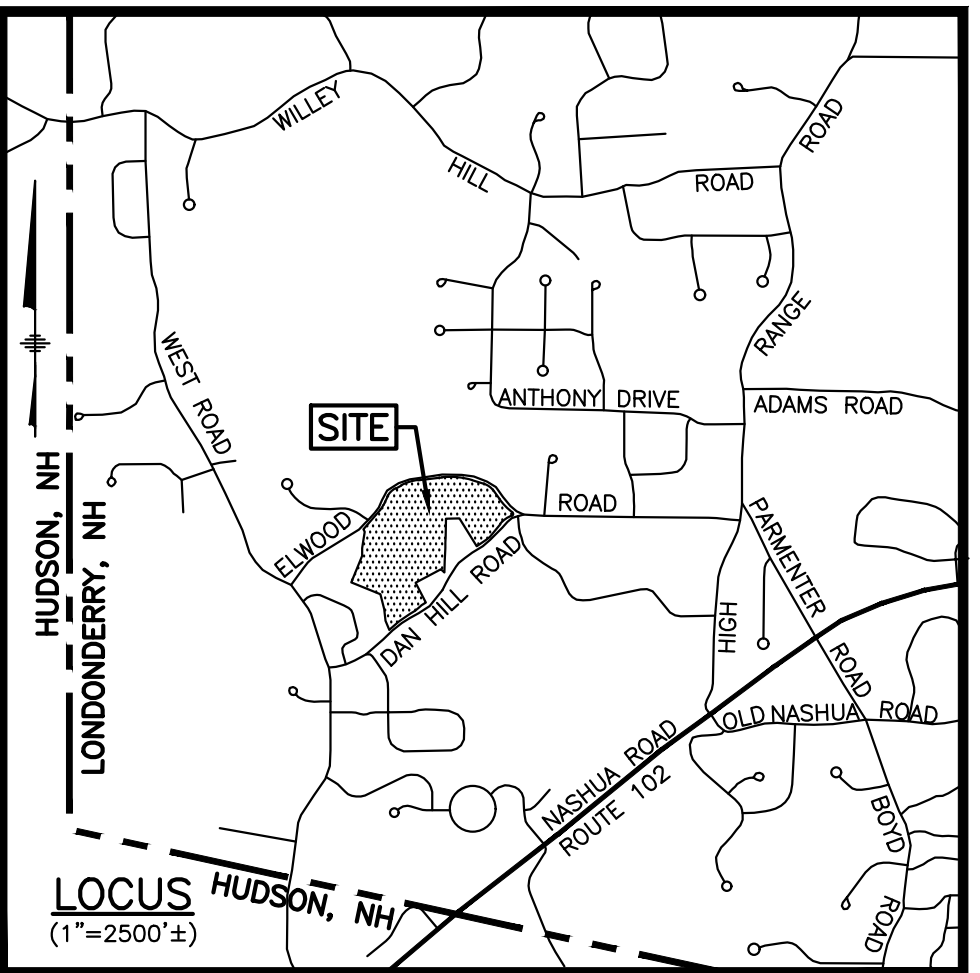
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
ON DATE _____

CERTIFIED BY:
CHAIRMAN _____
SECRETARY _____



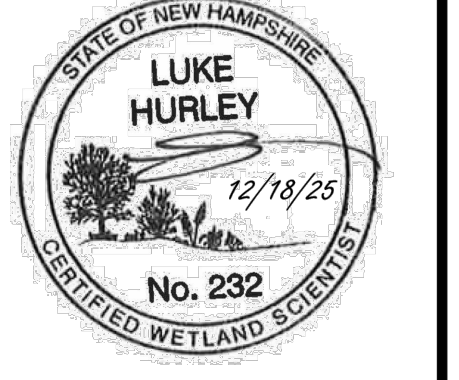
- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 72.
 - THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:
- MIN LOT SIZE: SOIL BASE
 MIN LOT FRONTAGE: 150 FT
 MIN FRONT YARD: 40 FT
 MIN SIDE YARD: 15 FT
 MIN REAR YARD: 15 FT
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
- CORNER ARE TO BE SET IN ACCORDANCE WITH SECTIONS 3.02.A AND B.2 OF THE SUBDIVISION REGULATIONS.
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 - NHDES SUBDIVISION APPROVAL:



WETLAND NOTES

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OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
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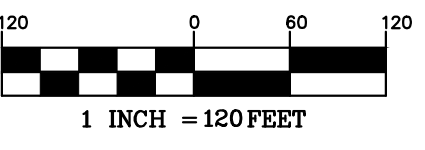
SCALE: 1"=120' DATE: DEC. 12, 2025

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 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS

SHEET 11 of 42

- LEGEND**
- DRILL HOLE
 - IRON PIPE OR IRON ROD
 - BOUND
 - PROPERTY LINE
 - - - ABUTTER LINE
 - STONE WALL
 - WELL
 - CATCH BASIN
 - UTILITY POLE
 - GUY WIRE
 - OVERHEAD WIRES
 - SIGN
 - MAILBOX
 - TREELINE
 - DELINEATED WETLAND
 - DELINEATED WETLAND FLAG
 - BUILDING SETBACK
 - 176 — CONTOUR ELEVATION
 - EOP — EDGE OF PAVEMENT
 - CCB — CAPE COD BERM
 - DSYL — DOUBLE SOLID YELLOW LINE
 - SSWL — SINGLE SOLID WHITE LINE



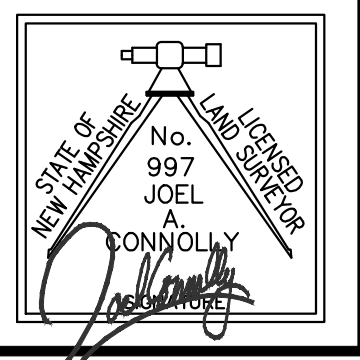
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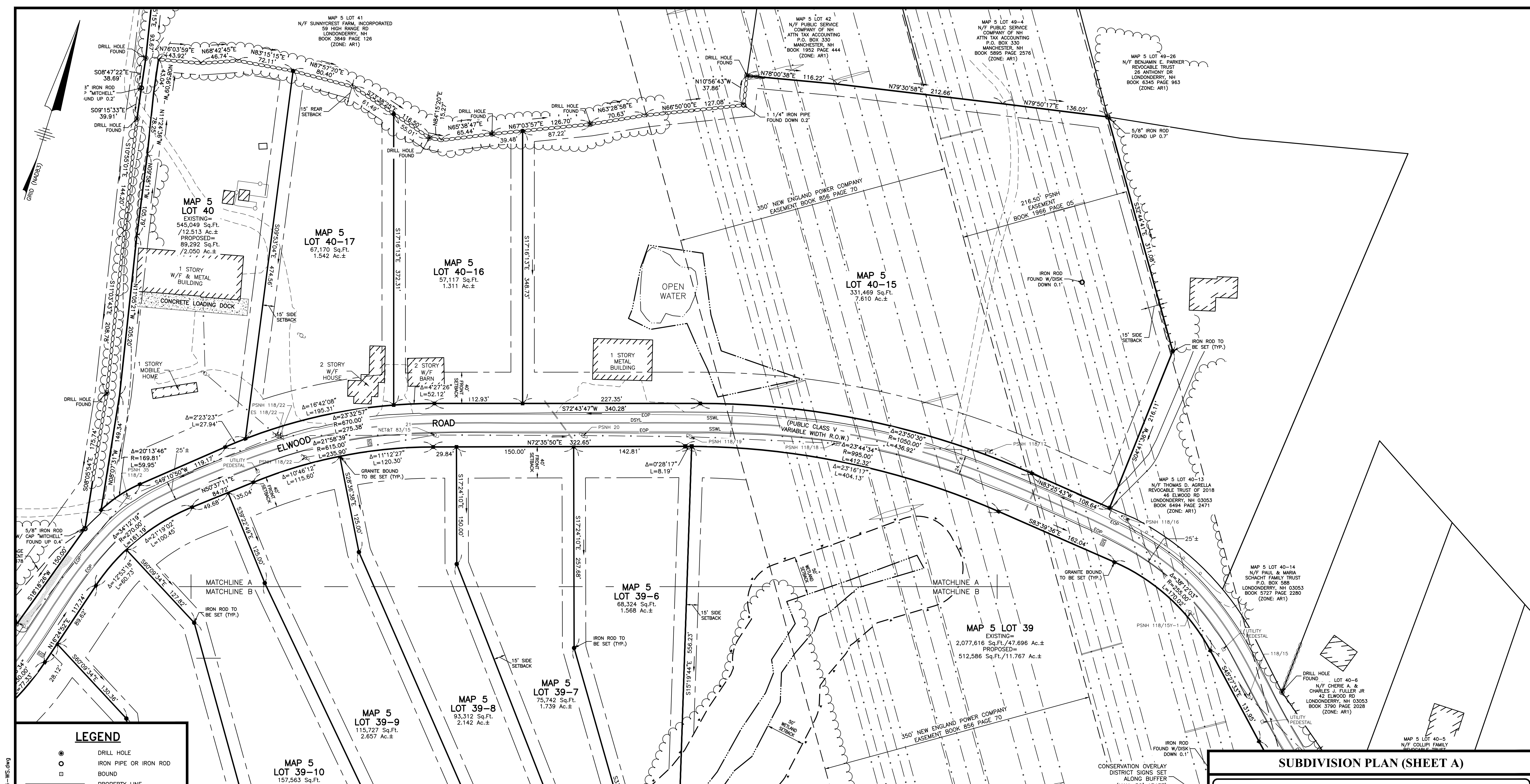
Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

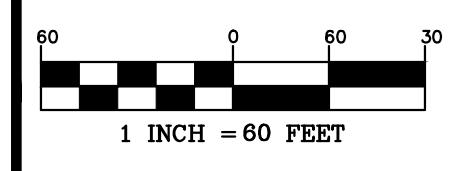
CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____



N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
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OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

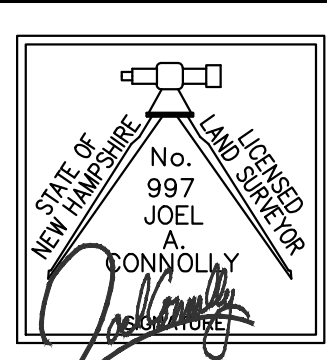
Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

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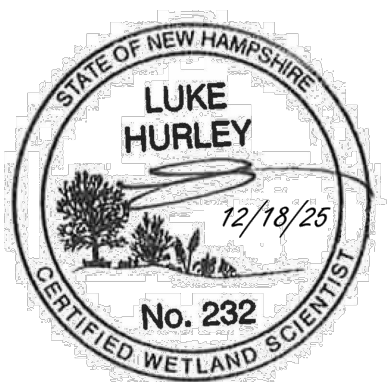
Joel A. Connolly, LLC
 JOEL A. CONNOLLY, LLC #997 DATE: 12/22/2025



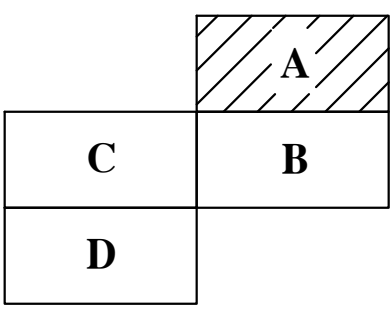
WETLAND NOTES

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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



KEY MAP



NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____

ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____

SUBDIVISION PLAN (SHEET A)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

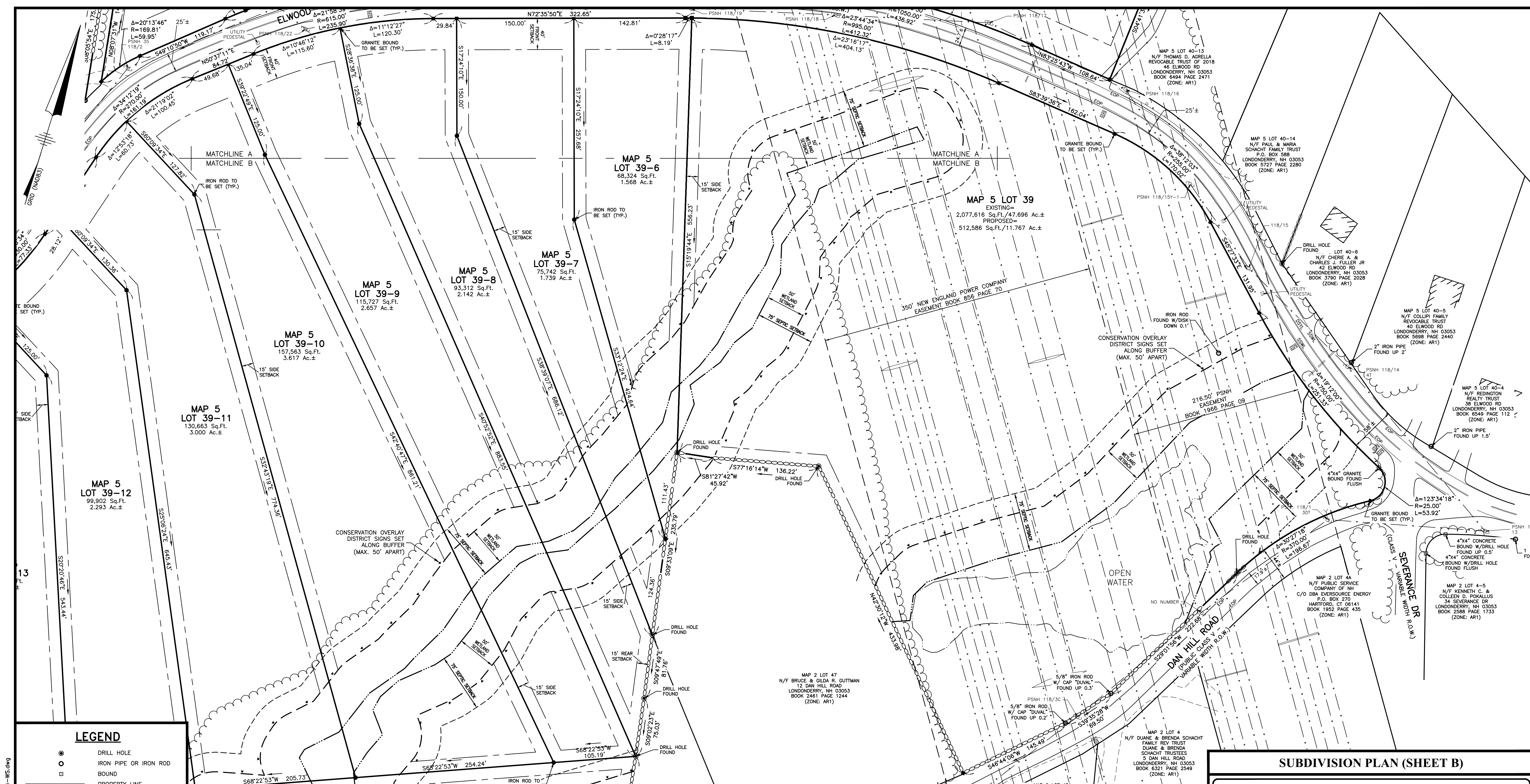
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025

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 136 Harvey Rd. Bldg B101
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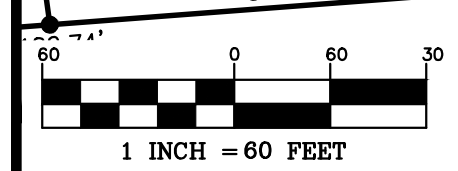
Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS

SHEET 12 of 42



LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



BENCHMARK DATA:

TBM-A MAG NAIL SET EL.-314.42'
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OWNER'S SIGNATURE

Wayne Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

LAND SURVEYOR'S CERTIFICATION:

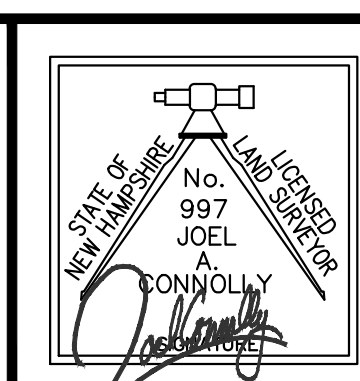
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Joel A. Connolly
JOEL A. CONNOLLY, LLS #997 DATE: 12/22/2025

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NO.	DATE	DESCRIPTION	BY

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ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____

SUBDIVISION PLAN (SHEET B)

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 6276 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: _____ DATE: DEC. 12, 2025

KEY MAP

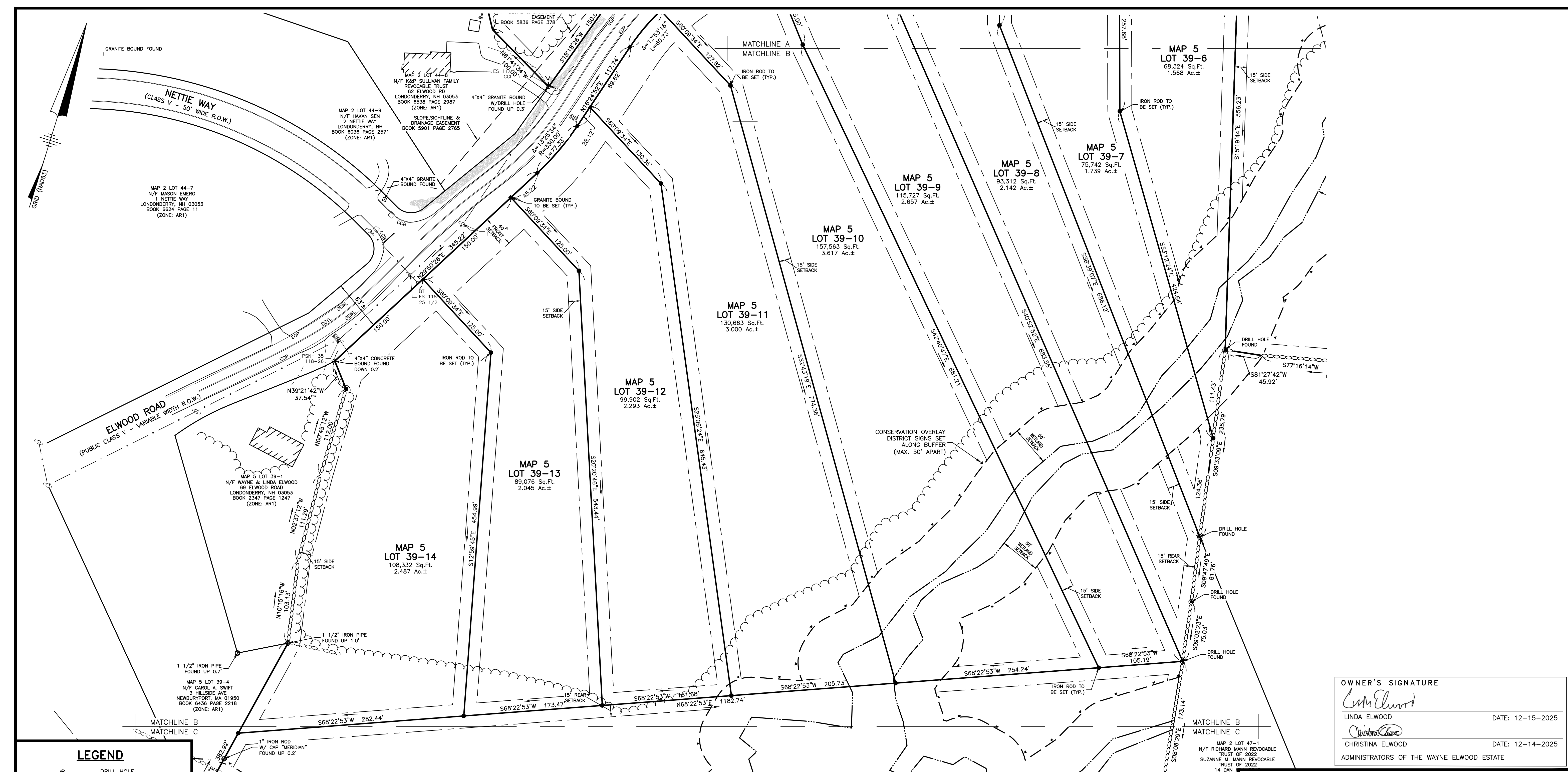
	A
C	B
D	

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
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Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-WS

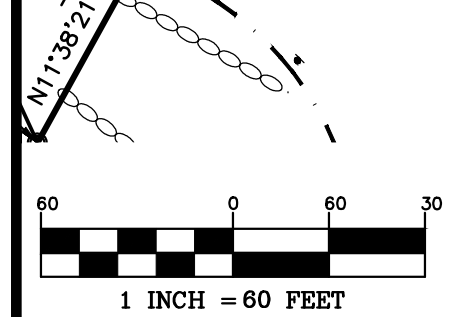
SHEET 13 of 42

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LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- - - ABUTTER LINE
- ⊞ STONE WALL
- ⊞ WELL
- ⊞ CATCH BASIN
- ⊞ UTILITY POLE
- ⊞ GUY WIRE
- ⊞ OVERHEAD WIRES
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- ⊞ TRELLINE
- ⊞ DELINEATED WETLAND
- ⊞ DELINEATED WETLAND FLAG
- ⊞ BUILDING SETBACK
- ⊞ CONTOUR ELEVATION
- ⊞ EOP EDGE OF PAVEMENT
- ⊞ CCB CAPE COD BERM
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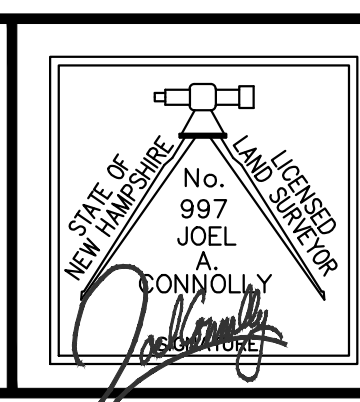
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE

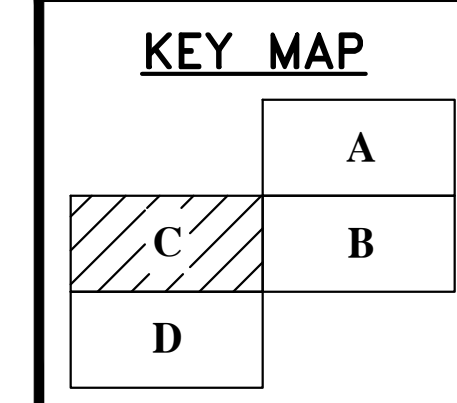


NO.	DATE	DESCRIPTION	BY

WETLAND NOTES

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- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (SHEET C)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

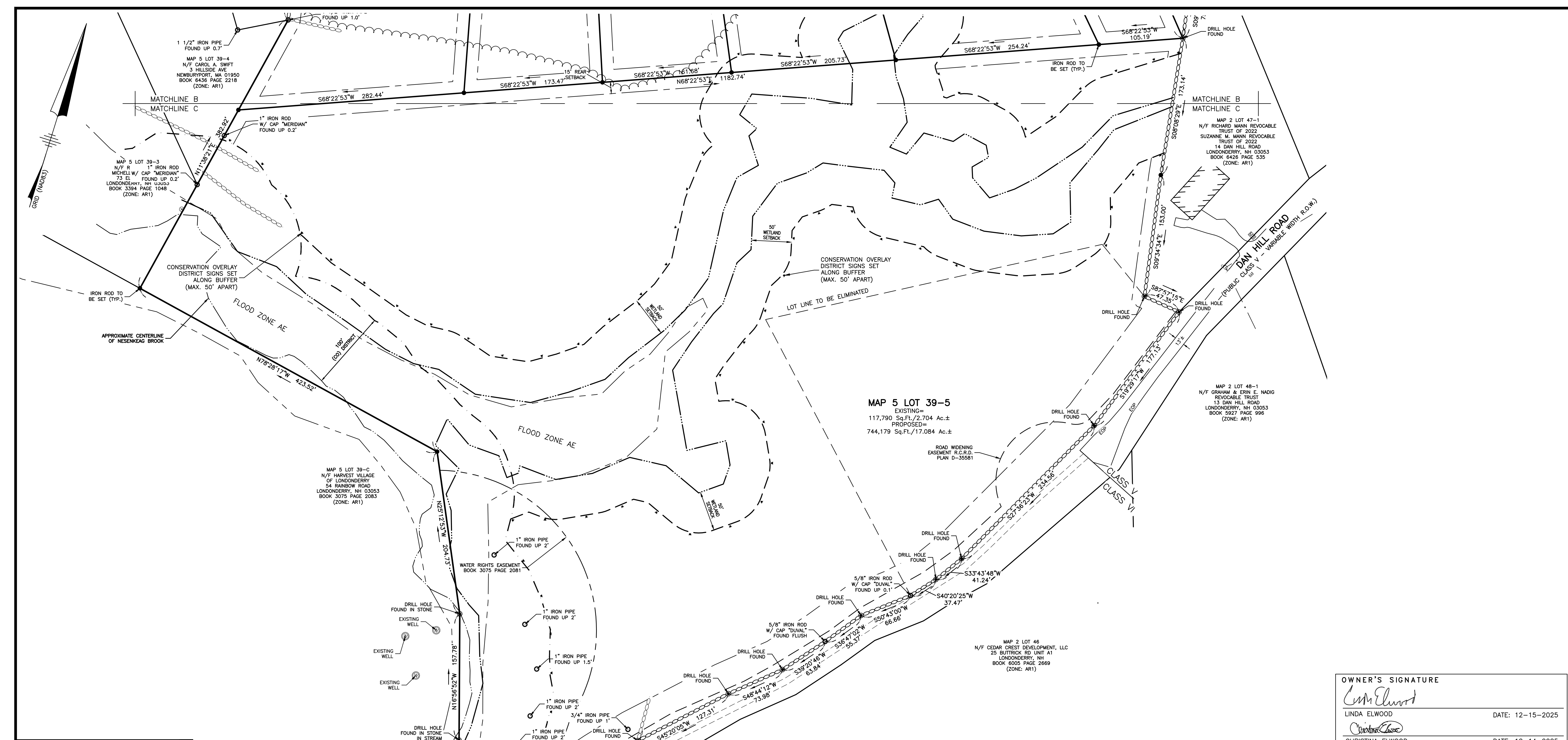
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: _____ DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 14 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



MAP 5 LOT 39-5
 EXISTING=
 117,790 Sq.Ft./2.704 Ac.±
 PROPOSED=
 744,179 Sq.Ft./17.084 Ac.±

MAP 5 LOT 39-C
 N/F HARVEST VILLAGE
 OF LONDONDERRY
 54 RAINBOW ROAD
 LONDONDERRY, NH 03053
 BOOK 3075 PAGE 2083
 (ZONE: AR1)

MAP 2 LOT 48-1
 N/F GRAHAM & ERIN E. NADIG
 REVOCABLE TRUST
 13 DAN HILL ROAD
 LONDONDERRY, NH 03053
 BOOK 5927 PAGE 996
 (ZONE: AR1)

MAP 2 LOT 46
 N/F CEDAR CREST DEVELOPMENT, LLC
 25 BUTTRICK RD UNIT A1
 LONDONDERRY, NH
 BOOK 6005 PAGE 2669
 (ZONE: AR1)

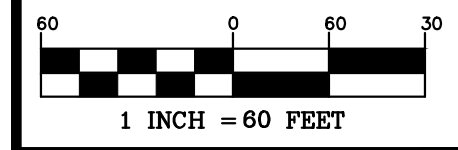
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 CHRISTINA ELWOOD DATE: 12-14-2025
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LEGEND

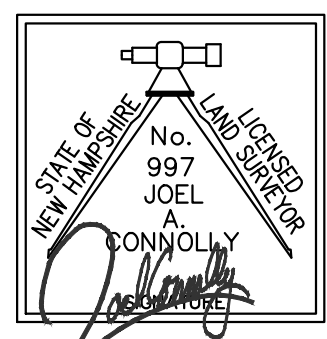
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- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- - - ABUTTER LINE
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- ⊞ CATCH BASIN
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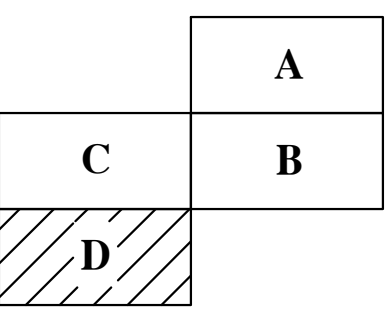
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3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



KEY MAP



SUBDIVISION PLAN (SHEET D)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
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SCALE: DATE: DEC. 12, 2025

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Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 15 of 42

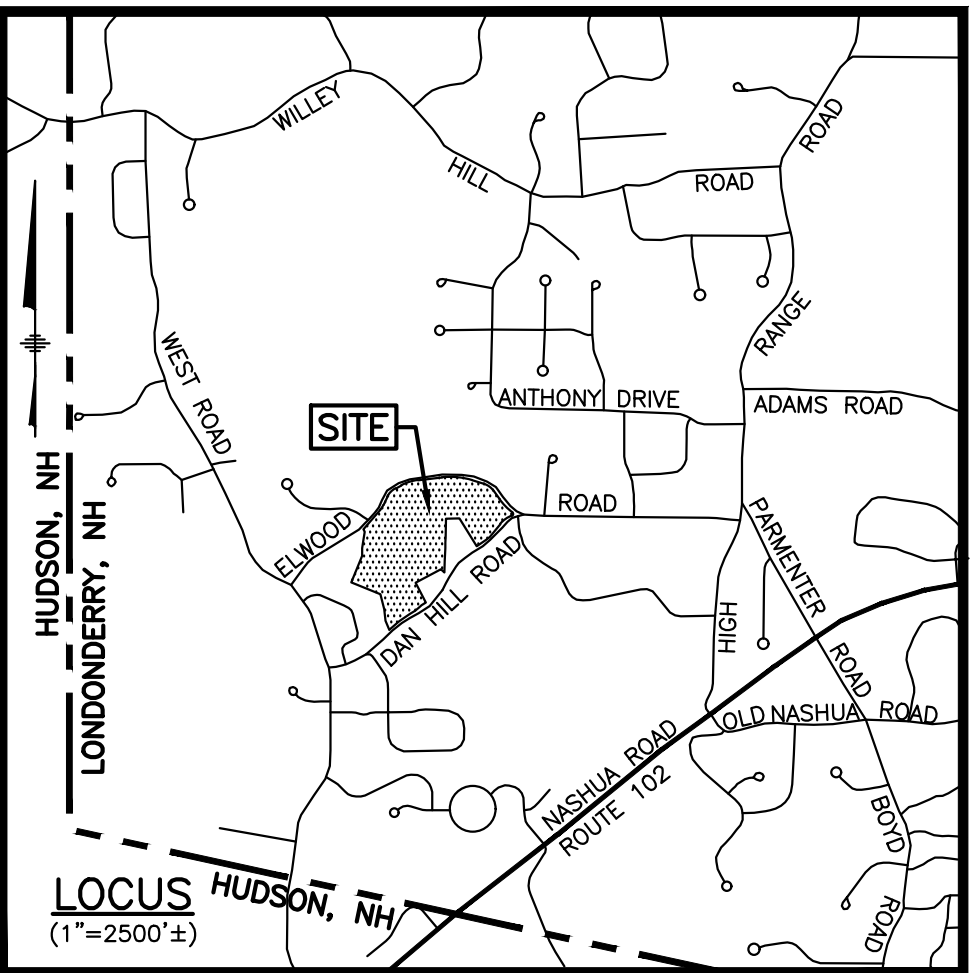
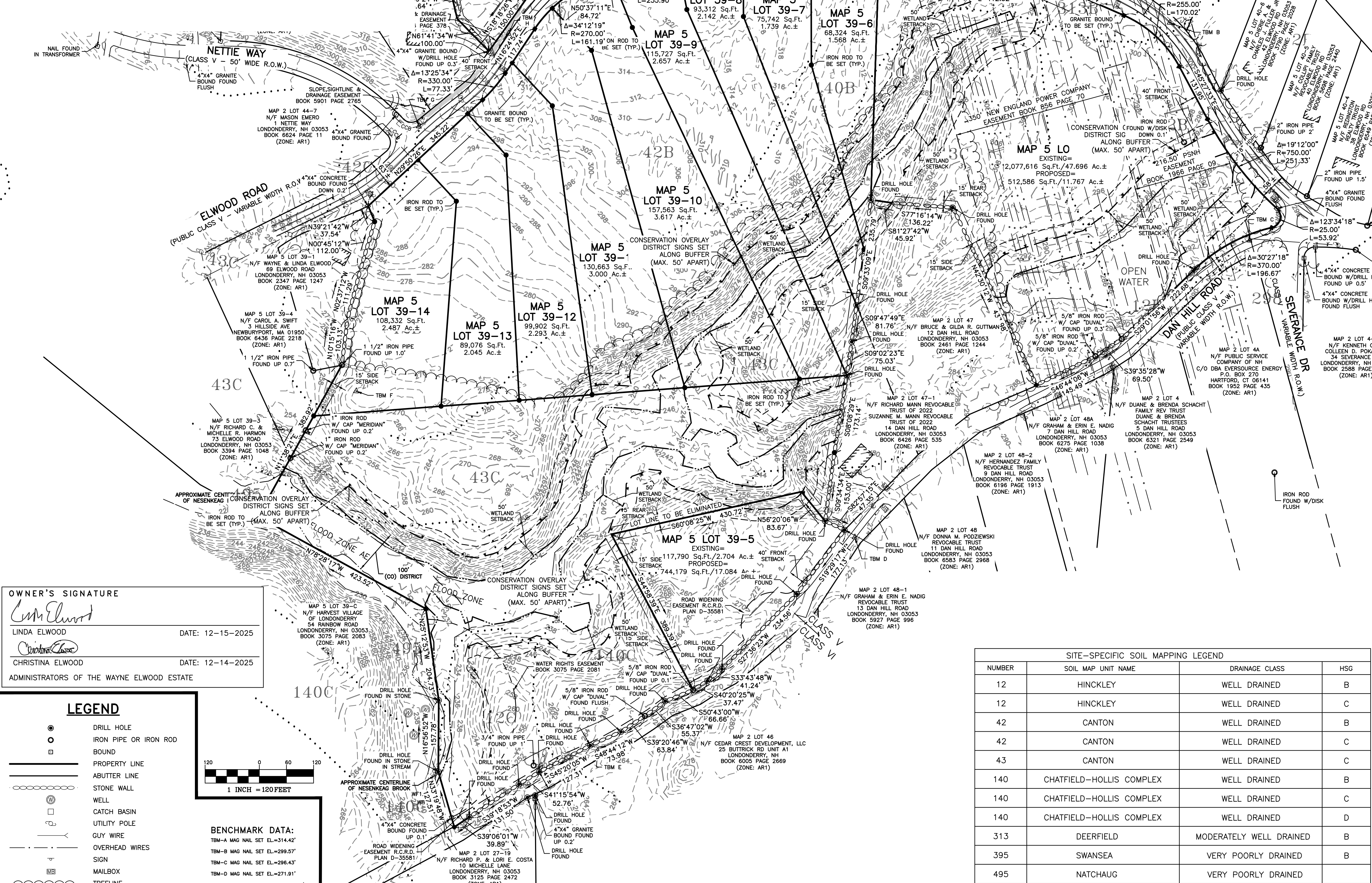
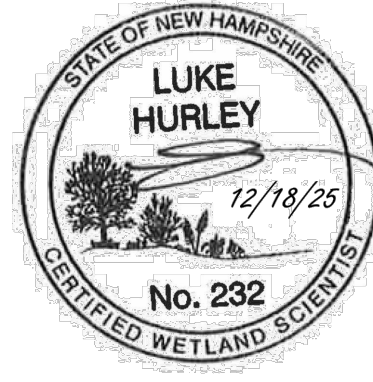
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____
 CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

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3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



- NOTES:**
1. THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 72.
 2. THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 3. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 4. THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 5. THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 6. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 7. A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 8. MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:

MIN LOT SIZE:	SOIL BASE
MIN LOT FRONTAGE:	150 FT
MIN FRONT YARD:	40 FT
MIN SIDE YARD:	15 FT
MIN REAR YARD:	15 FT

REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.

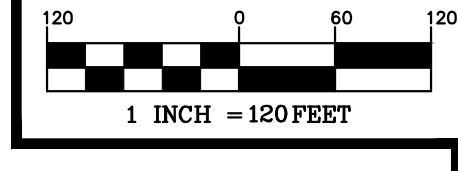
OWNER'S SIGNATURE

 LINDA ELWOOD DATE: 12-15-2025

 CHRISTINA ELWOOD DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



BENCHMARK DATA:

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SITE-SPECIFIC SOIL MAPPING LEGEND

NUMBER	SOIL MAP UNIT NAME	DRAINAGE CLASS	HSG
12	HINCKLEY	WELL DRAINED	B
12	HINCKLEY	WELL DRAINED	C
42	CANTON	WELL DRAINED	B
42	CANTON	WELL DRAINED	C
43	CANTON	WELL DRAINED	C
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	B
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	C
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	D
313	DEERFIELD	MODERATELY WELL DRAINED	B
395	SWANSEA	VERY POORLY DRAINED	B
495	NATCHAUG	VERY POORLY DRAINED	B

- REFERENCE PLANS:**
- | | |
|--|-------------------------------------|
| 1. ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN D-35581 | 10. R.C.R.D. PLAN C-7207 |
| 2. R.C.R.D. PLAN D-40736 | 11. R.C.R.D. PLAN C-6977 |
| 3. R.C.R.D. PLAN D-40130 | 12. R.C.R.D. PLAN C-3403 |
| 4. R.C.R.D. PLAN D-29792 | 13. R.C.R.D. PLAN C-3331 |
| 5. R.C.R.D. PLAN D-26466 | 14. R.C.R.D. PLAN B-8964 |
| 6. R.C.R.D. PLAN D-24128 | 15. R.C.R.D. PLAN BOOK 1966 PAGE 12 |
| 7. R.C.R.D. PLAN D-21841 | 16. R.C.R.D. PLAN 699 |
| 8. R.C.R.D. PLAN D-14671 | 17. R.C.R.D. PLAN D-7571 |
| 9. R.C.R.D. PLAN D-10214 | |

NHDES TOPOGRAPHIC SUBDIVISION PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
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 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
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 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS

SHEET 16 of 42

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

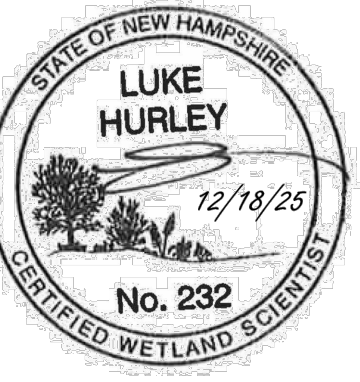
NO.	DATE	DESCRIPTION	BY

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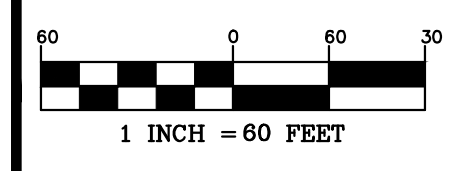
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LEGEND

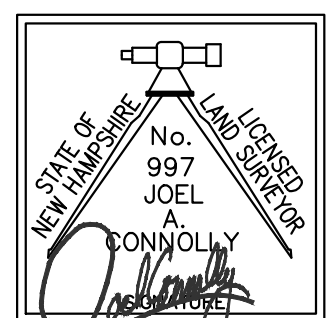
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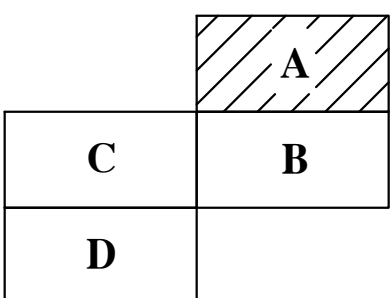
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 Christina Elwood DATE: 12-14-2025
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 JOEL A. CONNOLLY, LLS #997 DATE



KEY MAP



NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET A)

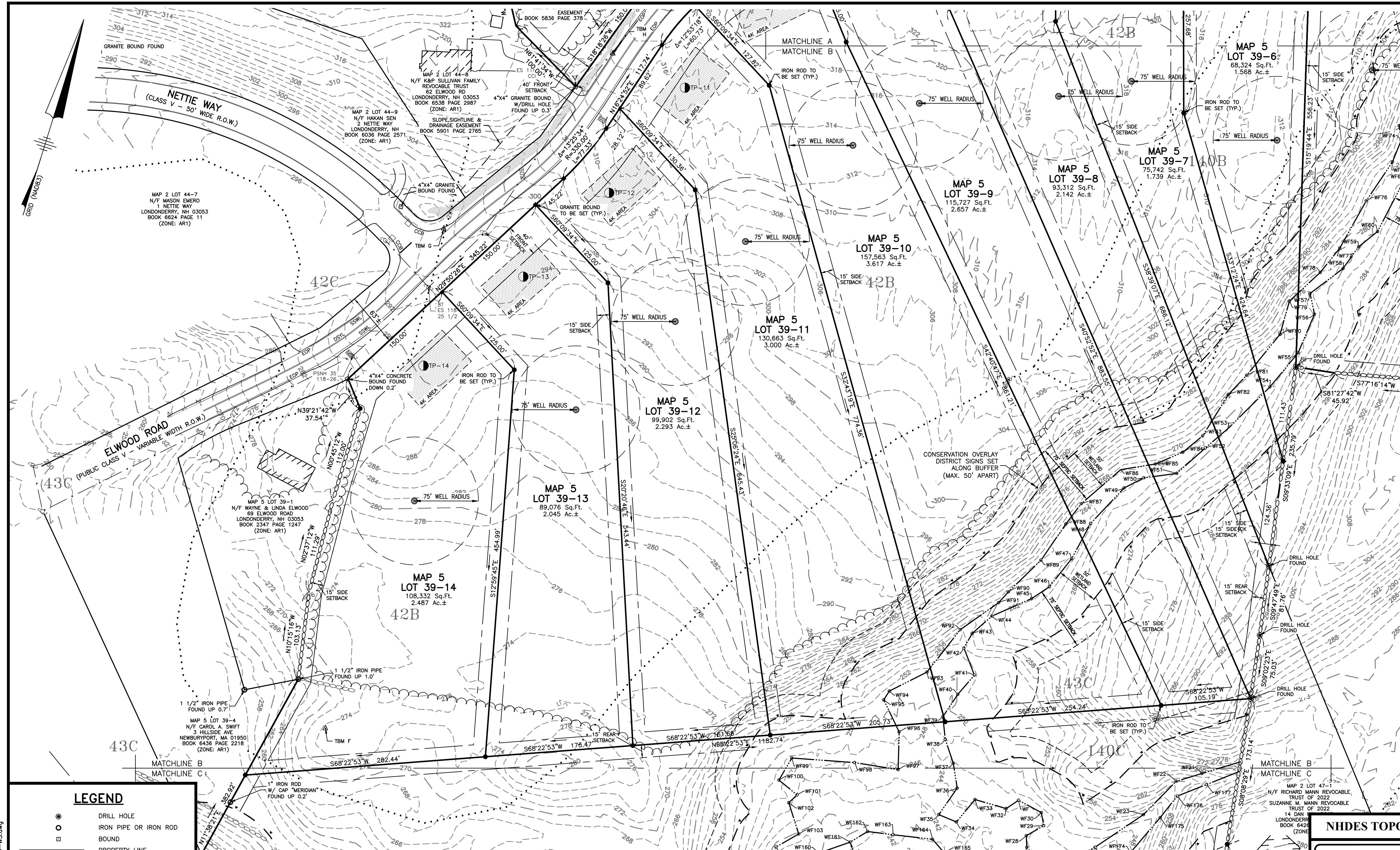
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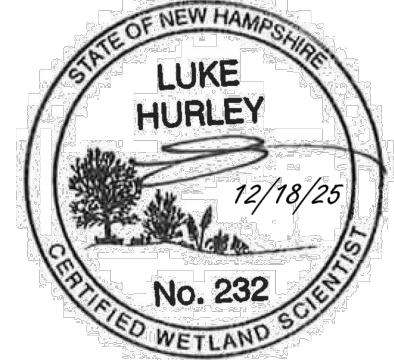
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____	ON DATE _____
CERTIFIED BY:	BY _____
CHAIRMAN _____	REVISIONS _____
SECRETARY _____	NO. _____ DATE _____ DESCRIPTION _____

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



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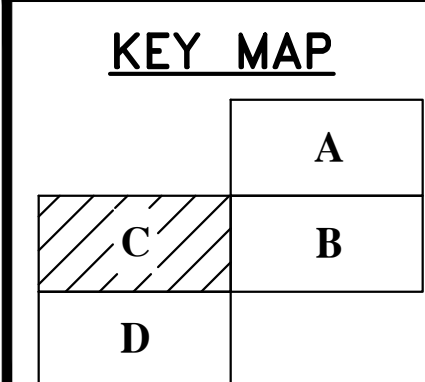
Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

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NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET C)

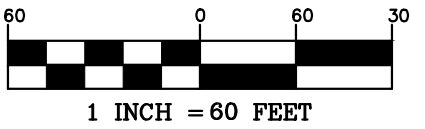
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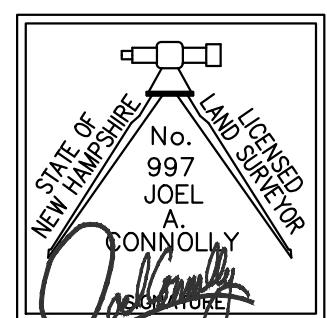
BENCHMARK DATA:

TBM-A MAG NAIL SET EL.-314.42'
 TBM-B MAG NAIL SET EL.-299.57'
 TBM-C MAG NAIL SET EL.-296.43'
 TBM-D MAG NAIL SET EL.-271.91'
 TBM-E HUB & TACK SET EL.-263.59'
 TBM-F HUB & TACK SET EL.-273.86'
 TBM-G MAG NAIL SET EL.-294.95'
 TBM-H MAG NAIL SET EL.-316.17'
 TBM-I MAG NAIL SET EL.-330.29'
 TBM-J SPIKE SET EL.-332.00'
 TBM-K SPIKE SET EL.-363.75'
 TBM-L SPIKE SET EL.-372.11'
 TBM-M SPIKE SET EL.-213.52'
 TBM-N SPIKE SET EL.-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



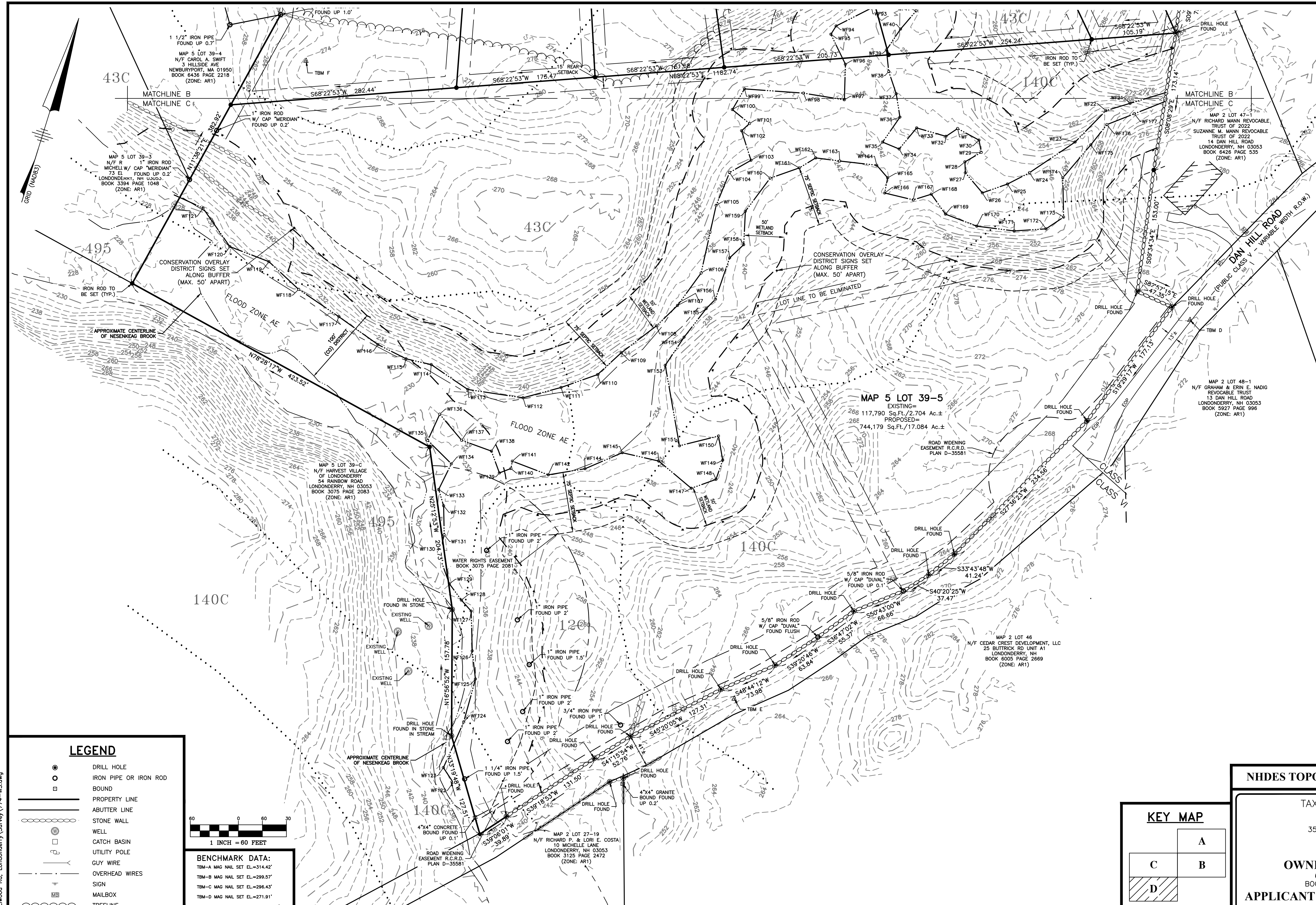
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

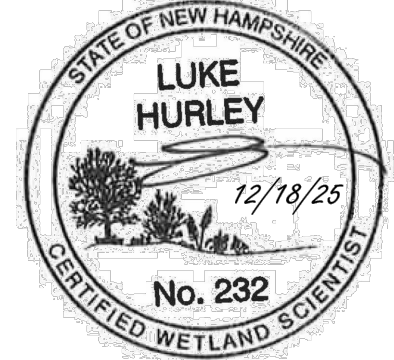
Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 20 of 42



WETLAND NOTES

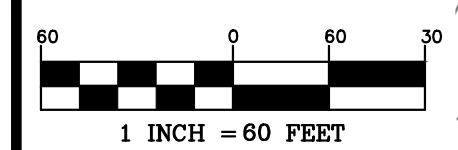
THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TREELINE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



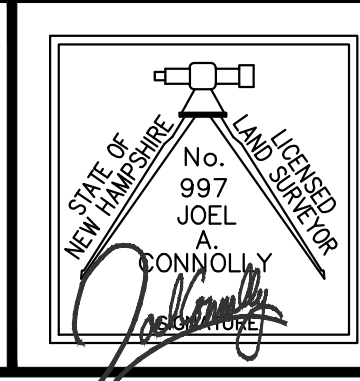
BENCHMARK DATA:

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TBM-B MAG NAIL SET EL.=299.57'
TBM-C MAG NAIL SET EL.=296.43'
TBM-D MAG NAIL SET EL.=271.91'
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TBM-L SPIKE SET EL.=372.11'
TBM-M SPIKE SET EL.=213.52'
TBM-N SPIKE SET EL.=208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



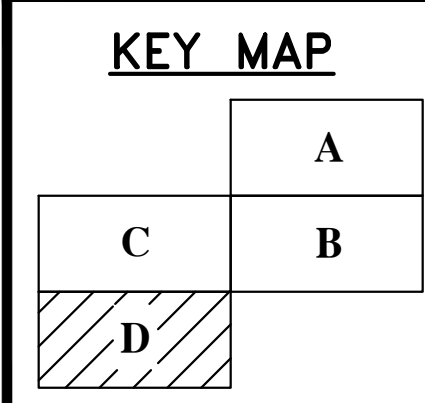
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____ ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET C)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025

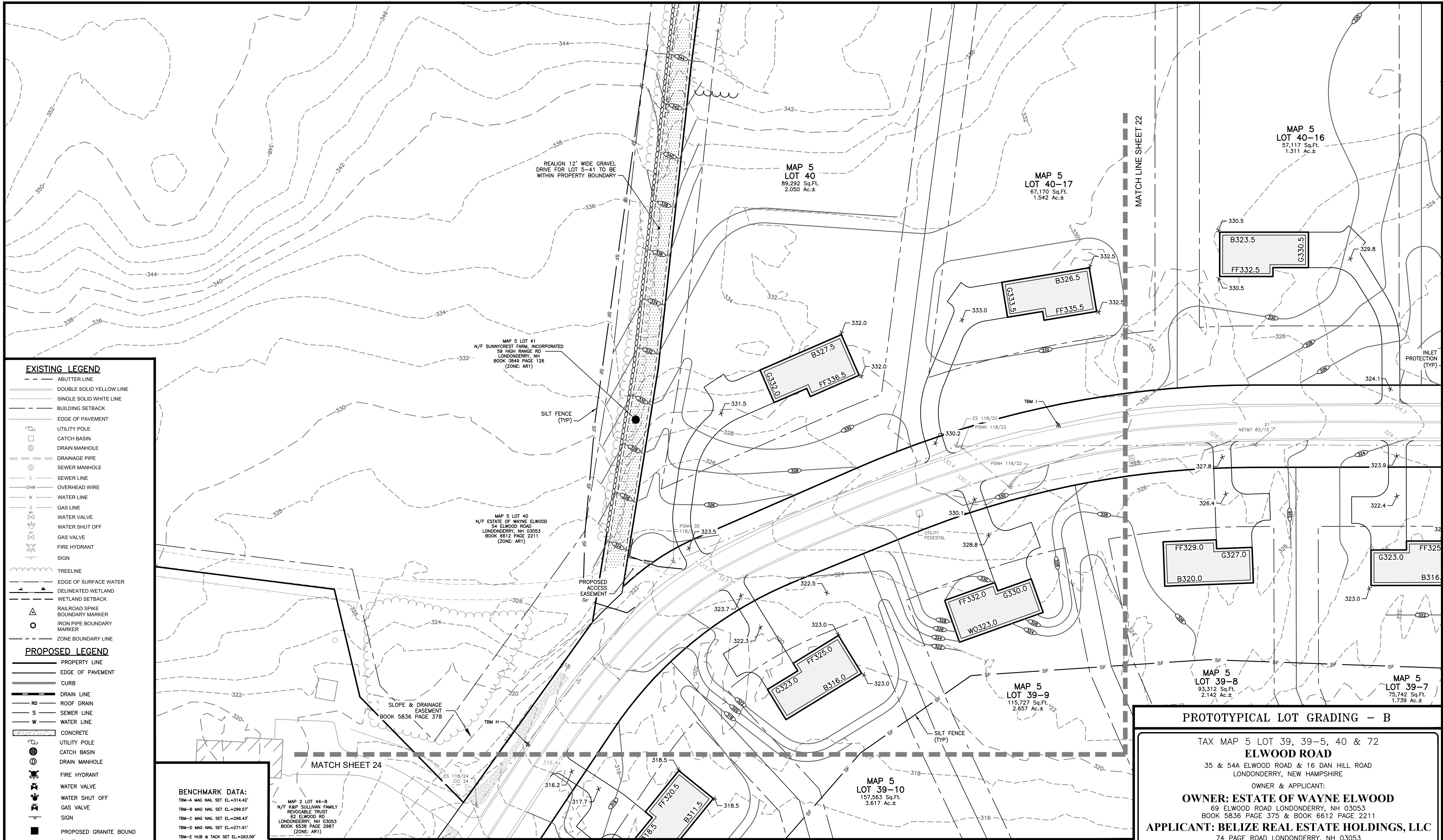
The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS

SHEET 21 of 42

NA:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-ProtoLot.dwg



EXISTING LEGEND

- ABUTTER LINE
- == DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- DRAINAGE PIPE
- SEWER MANHOLE
- SEWER LINE
- OVERHEAD WIRE
- WATER LINE
- GAS LINE
- WATER VALVE
- WATER SHUT OFF
- GAS VALVE
- FIRE HYDRANT
- SIGN
- TREELINE
- EDGE OF SURFACE WATER
- DELINEATED WETLAND
- WETLAND SETBACK
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER
- ZONE BOUNDARY LINE

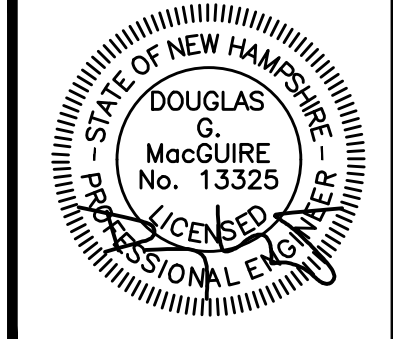
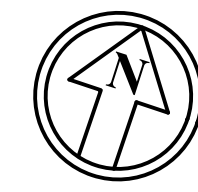
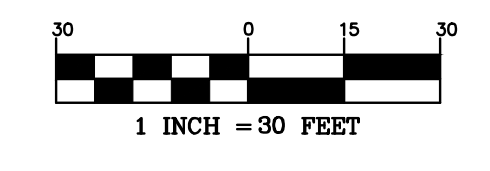
PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- CURB
- DRAIN LINE
- ROOF DRAIN
- S SEWER LINE
- W WATER LINE
- CONCRETE
- UTILITY POLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER SHUT OFF
- GAS VALVE
- SIGN
- PROPOSED GRANITE BOUND
- PAINT
- PROPOSED LIGHT POLE

E&S LEGEND:

- SF SILT SOCK BARRIER
- INLET PROTECTION

BENCHMARK DATA:
 TBM-A MAG NAIL SET EL.=314.42'
 TBM-B MAG NAIL SET EL.=299.57'
 TBM-C MAG NAIL SET EL.=298.43'
 TBM-D MAG NAIL SET EL.=271.91'
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 TBM-M SPIKE SET EL.=213.52'
 TBM-N SPIKE SET EL.=208.87'



NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

PROTOTYPICAL LOT GRADING - B

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

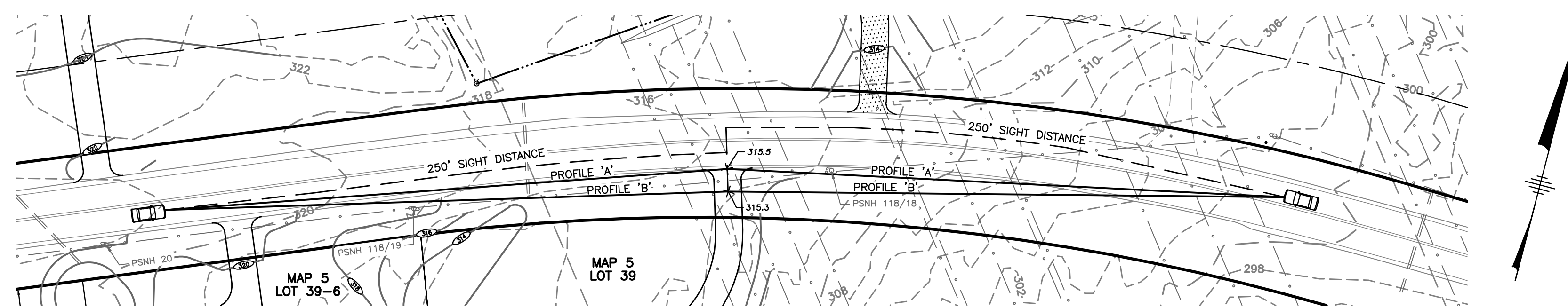
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=30' DATE: DEC. 12, 2025

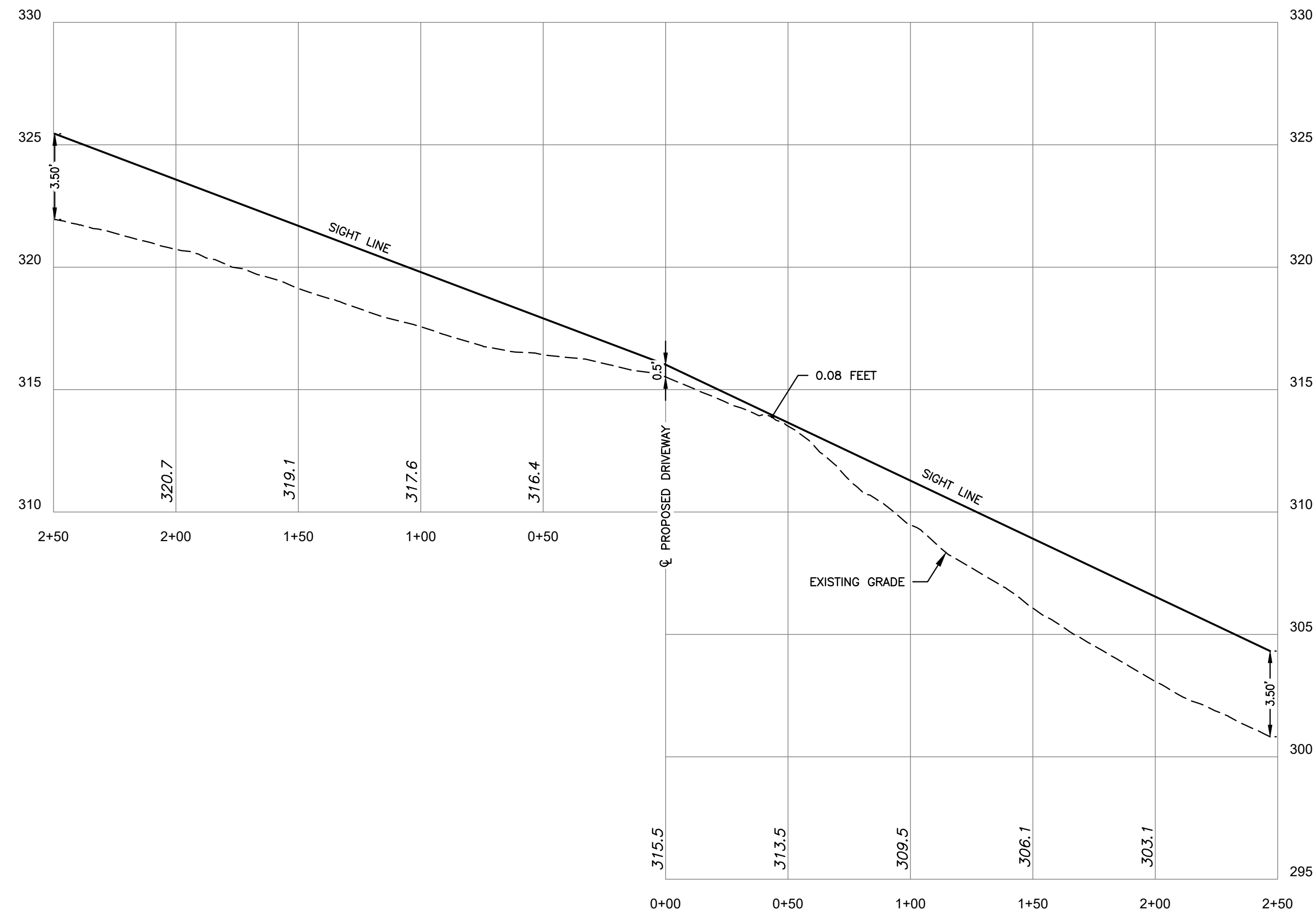
The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-ProtoLot

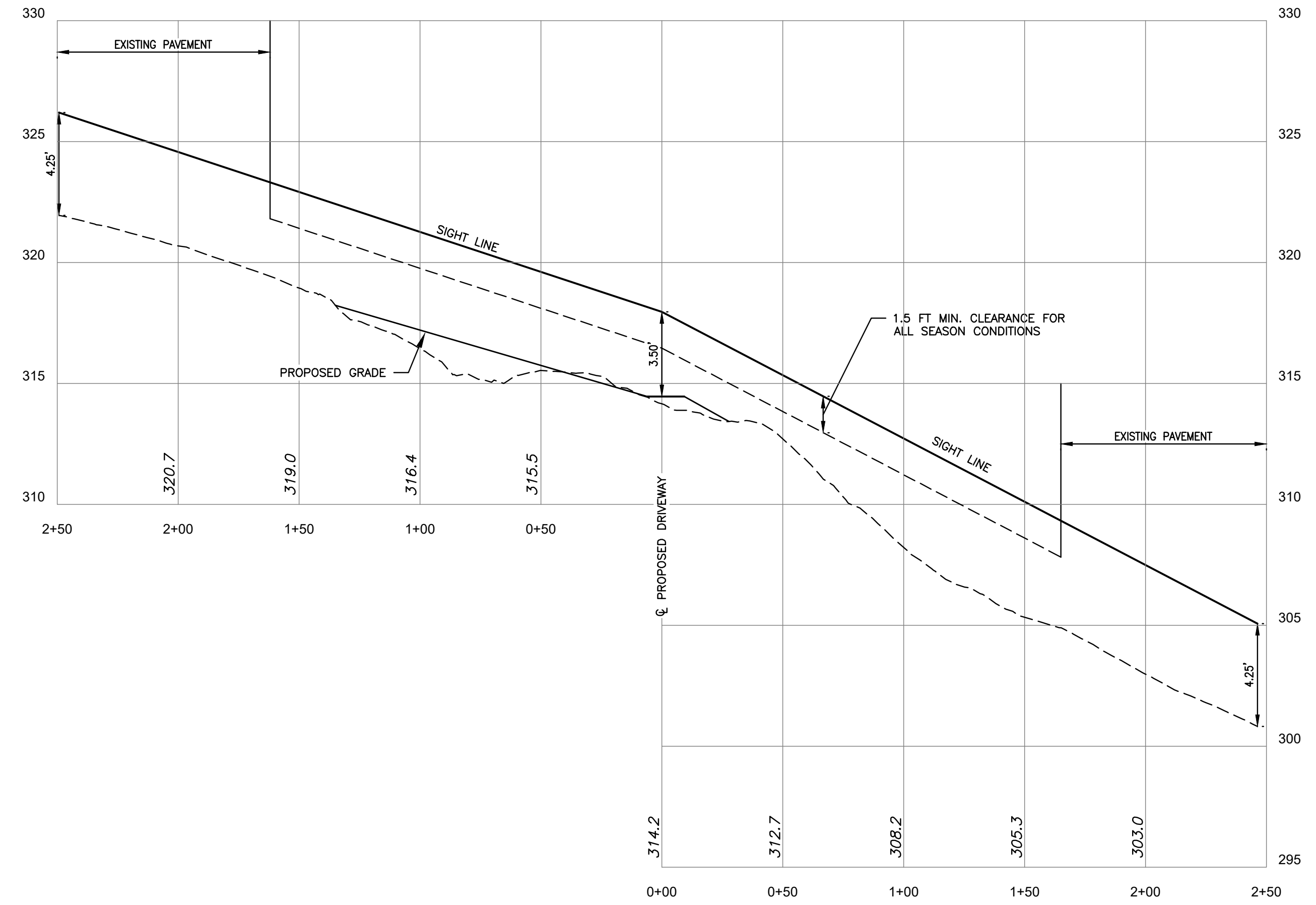
SHEET 23 of 42



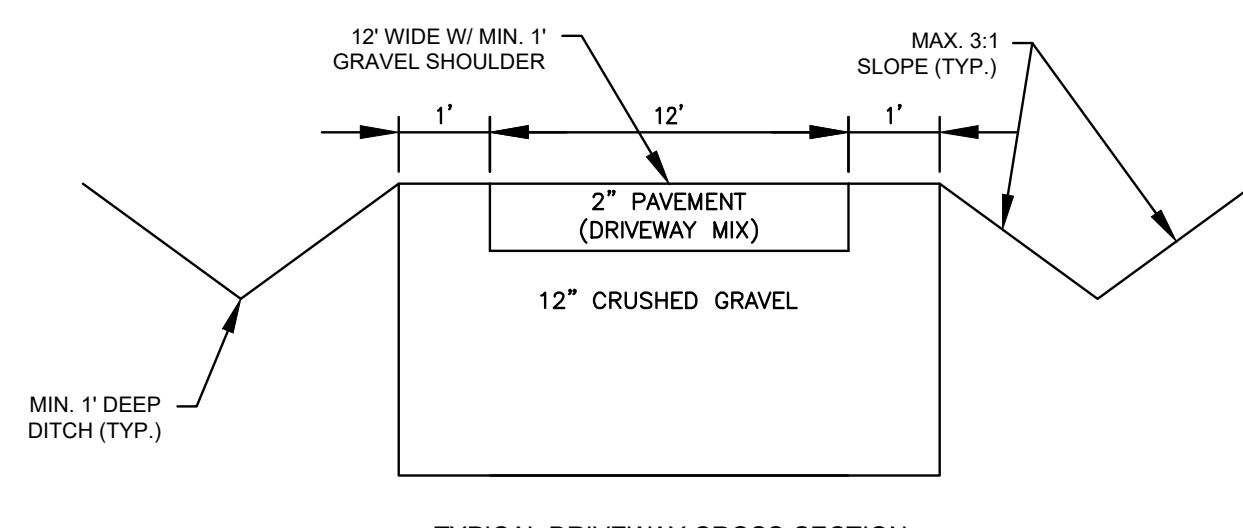
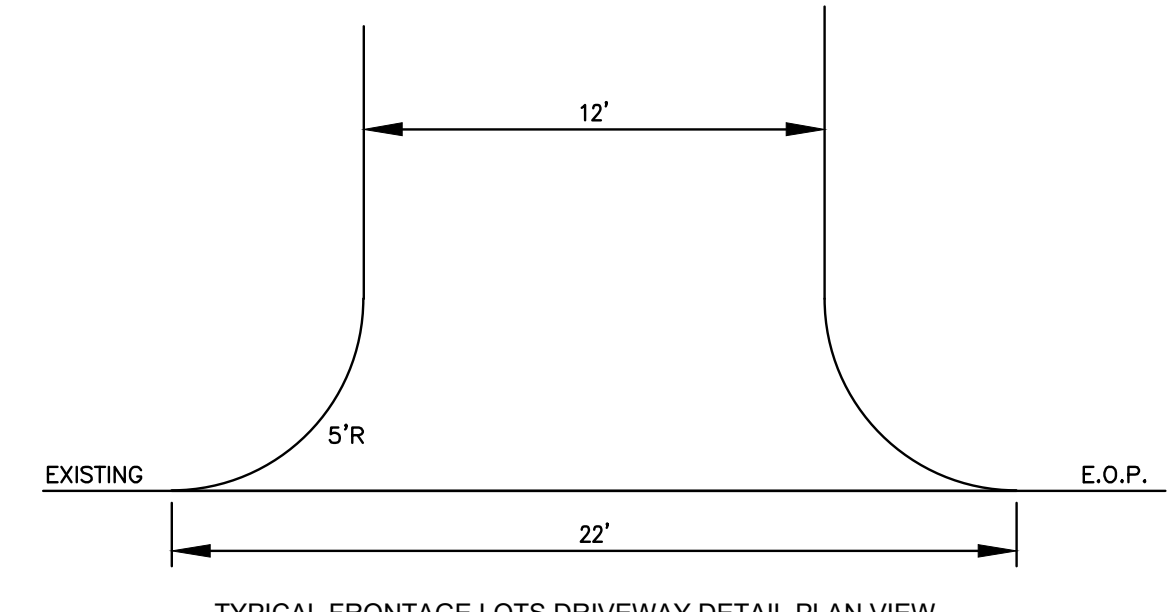
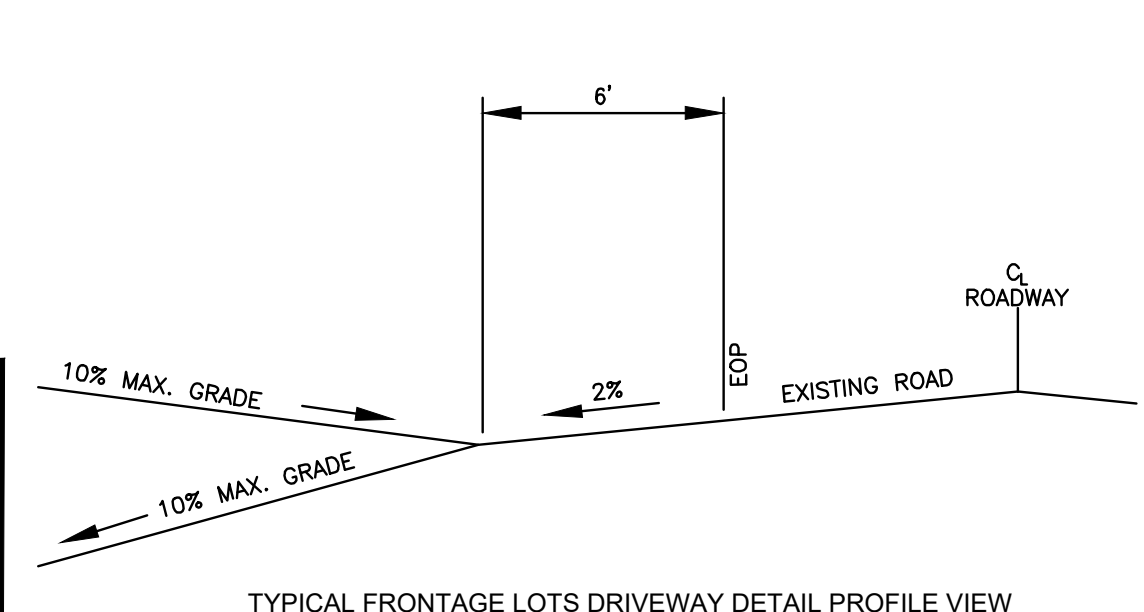
005-039 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

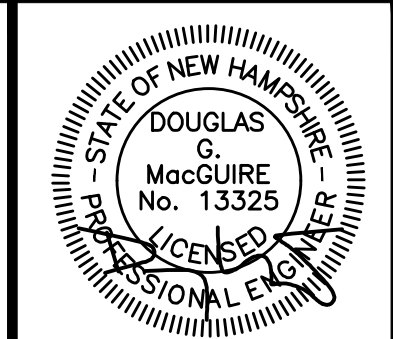


PROFILE 'B'
SCALE: 1"=40'H, 4'V



- EXISTING LEGEND**
- - - ABUTTER LINE
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - - - BUILDING SETBACK
 - EDGE OF PAVEMENT
 - UTILITY POLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - DRAINAGE PIPE
 - OVERHEAD WIRE
 - SIGN
 - RAILROAD SPIKE
 - BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF DRIVEWAY
 - PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - A

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

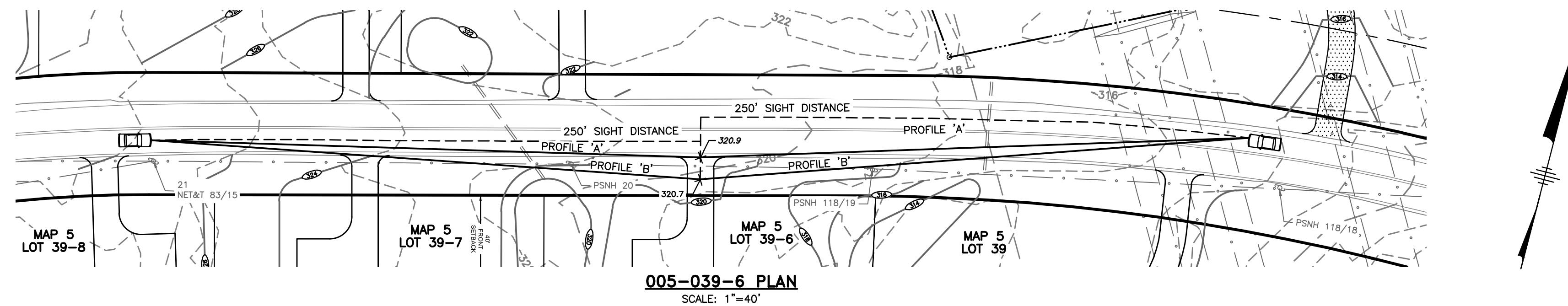
SCALE: 1"=40' DATE: DEC. 12, 2025

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

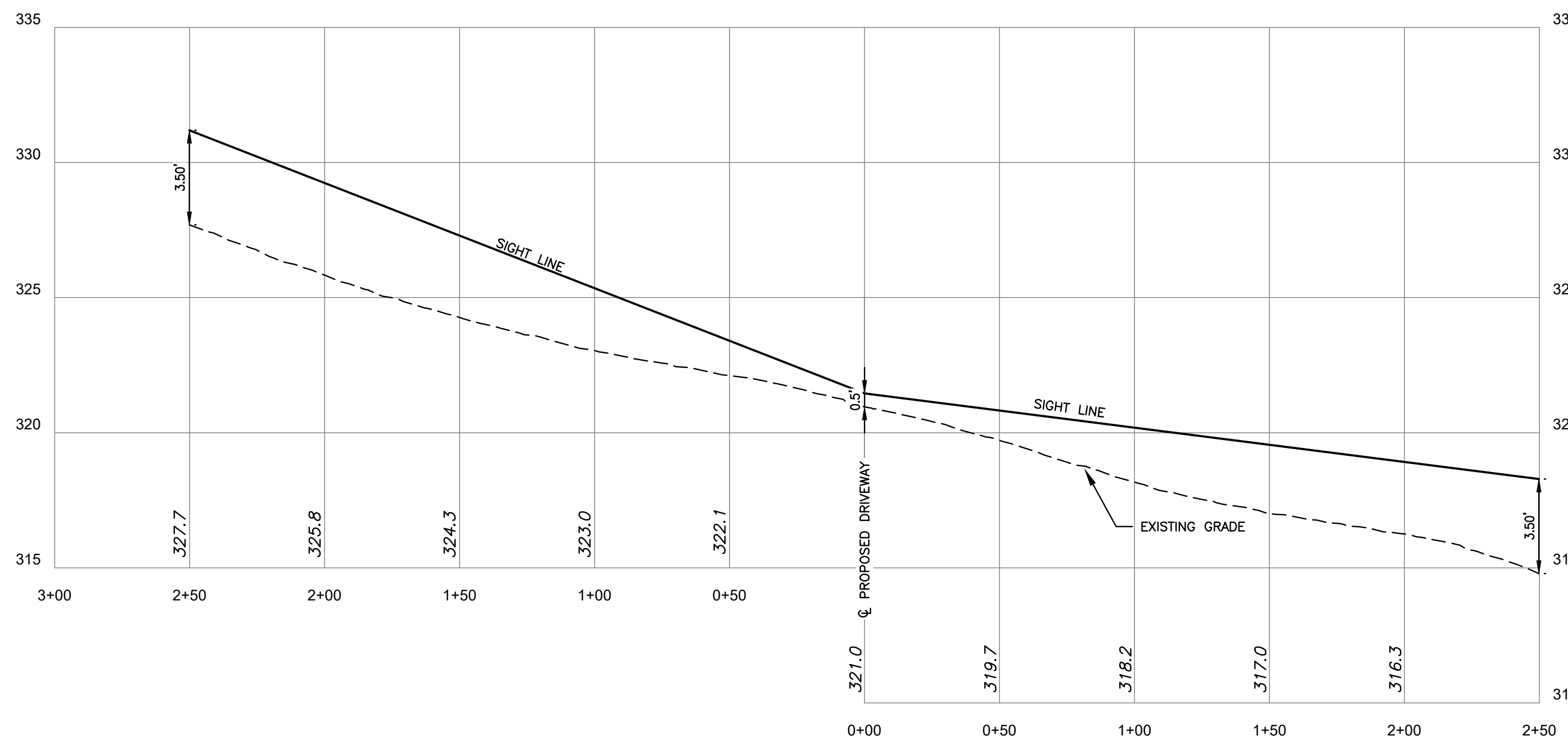
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 25 of 42

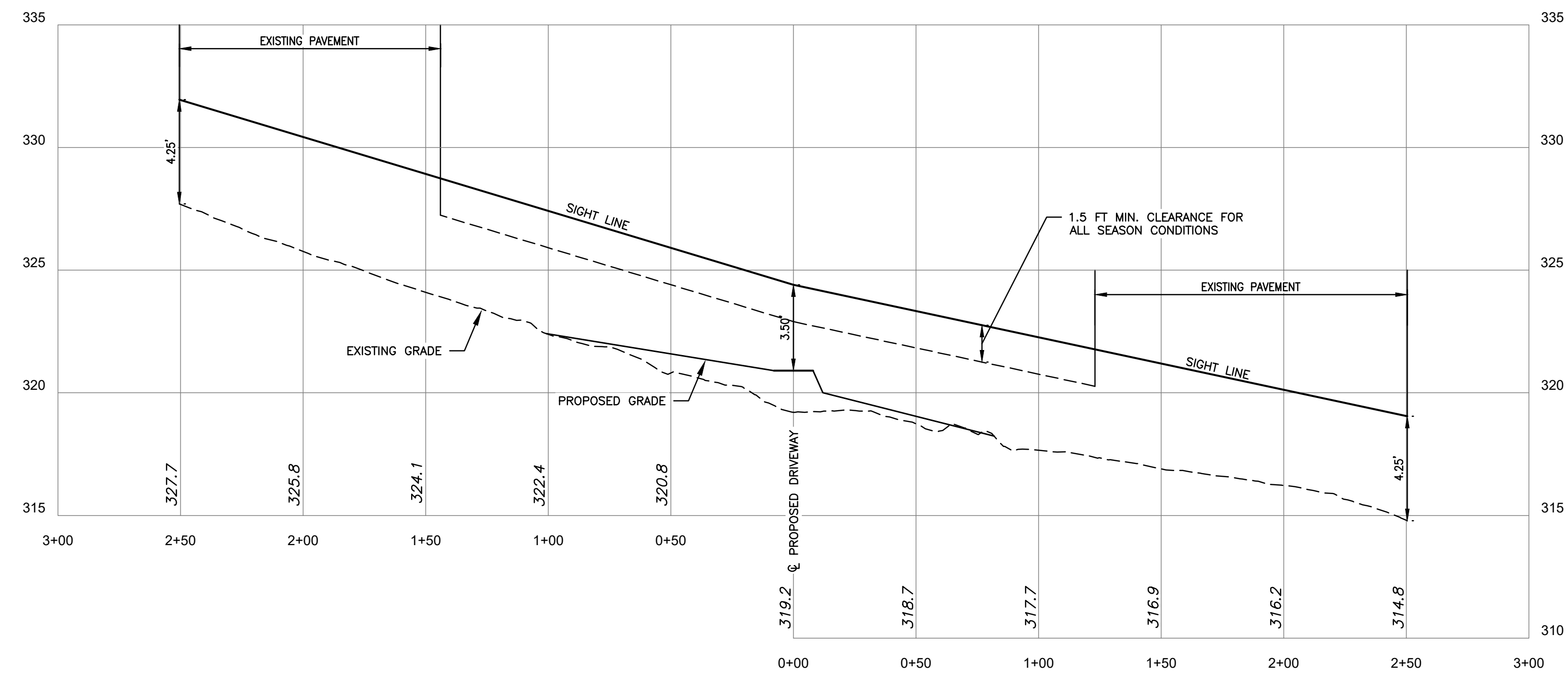
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-039-6 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

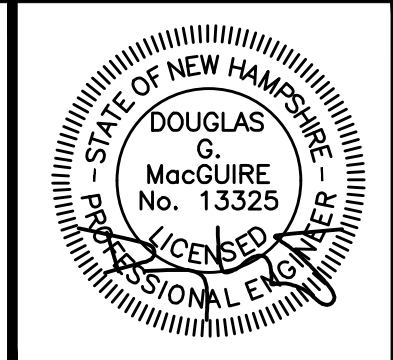


PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
OHW	OVERHEAD WIRE
---	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - B

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

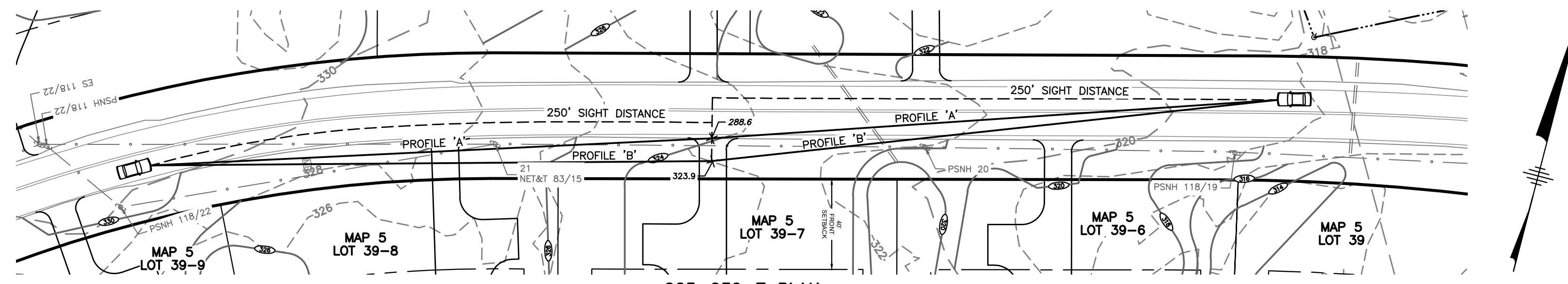
SCALE: 1"=40' DATE: DEC. 12, 2025

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Londonderry, NH 03053
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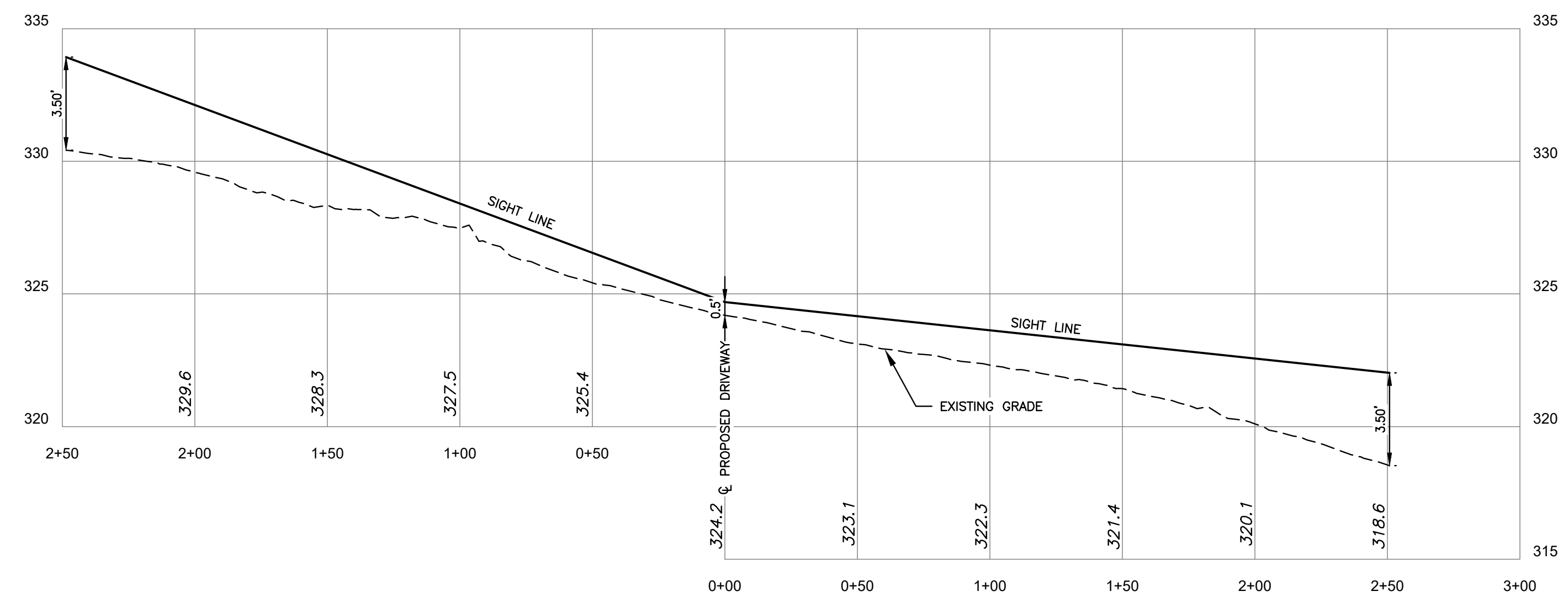
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 26 of 42

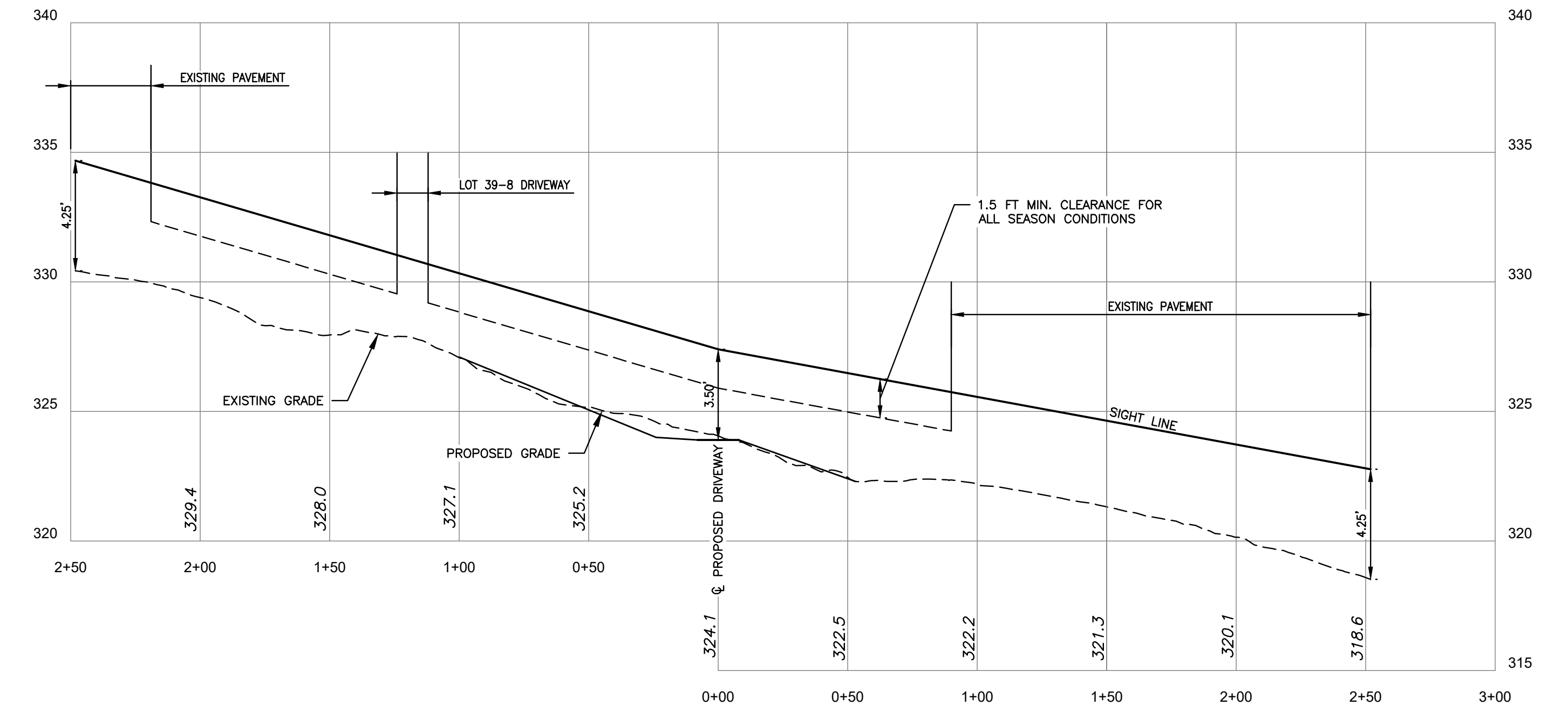
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg



005-039-7 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

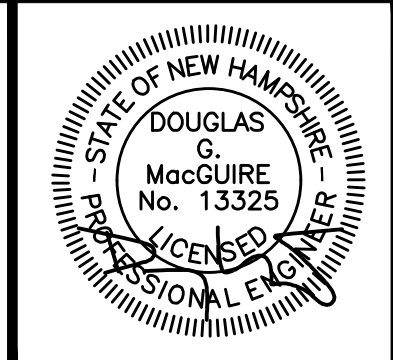
EXISTING LEGEND

- - - ABUTTER LINE
- == DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- DRAINAGE PIPE
- OHW OVERHEAD WIRE
- SIGN
- ▲ RAILROAD SPIKE
- △ BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - C

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

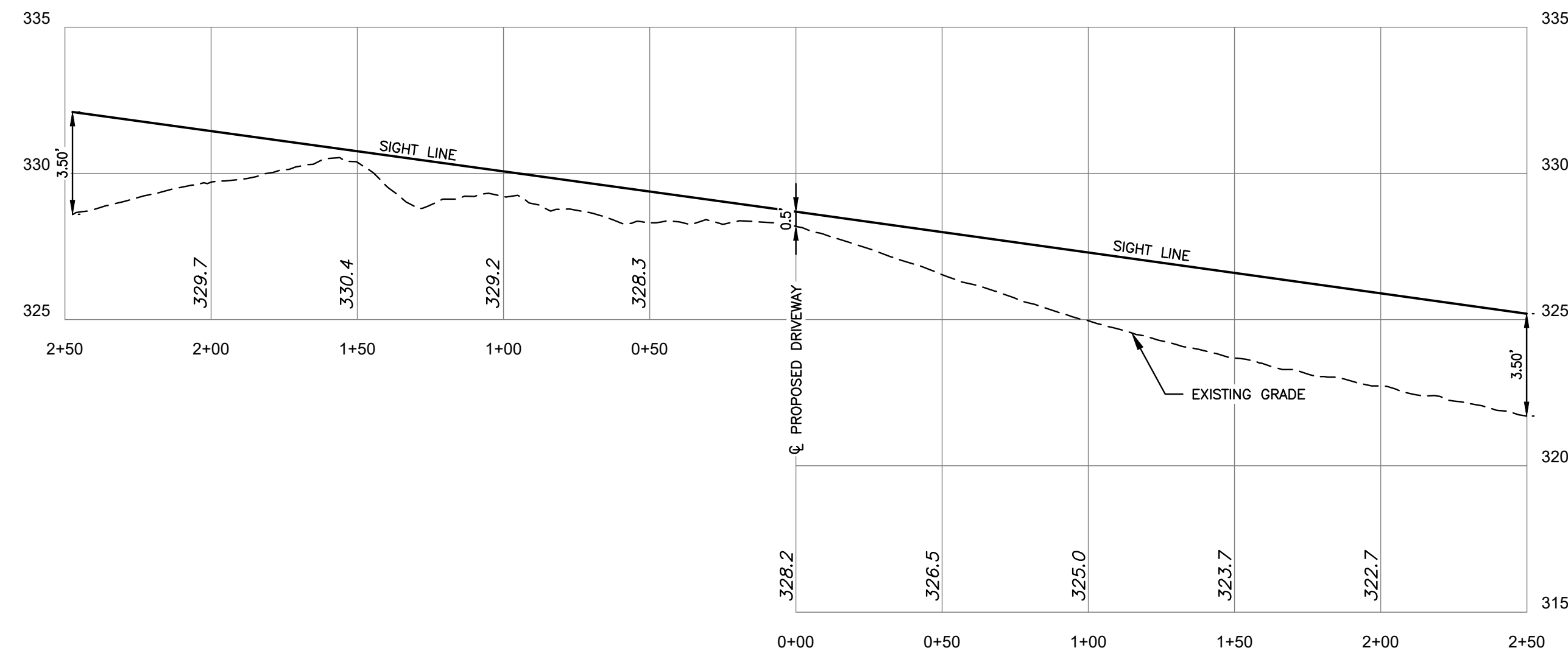
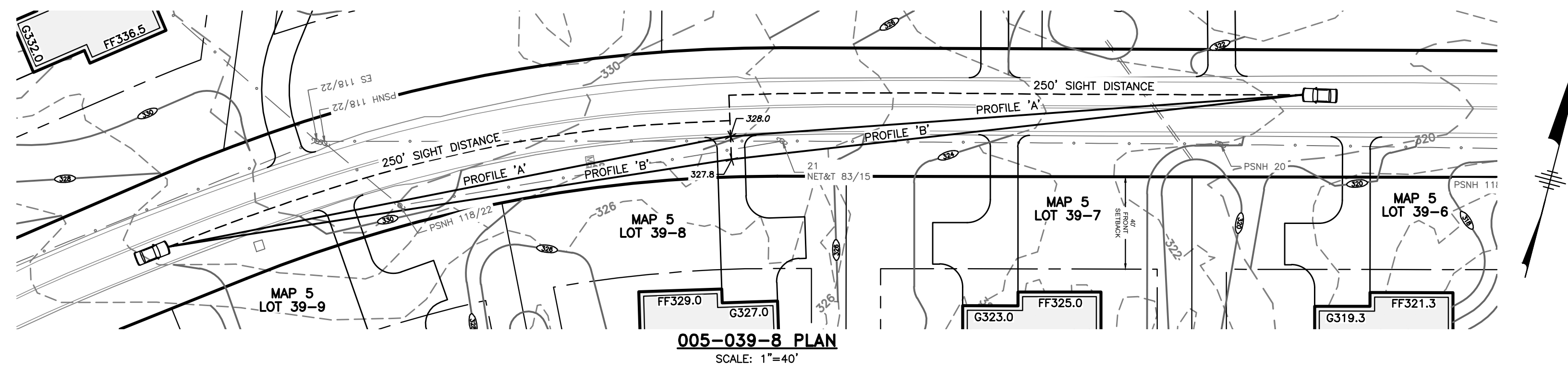
SCALE: 1"=40' DATE: DEC. 12, 2025

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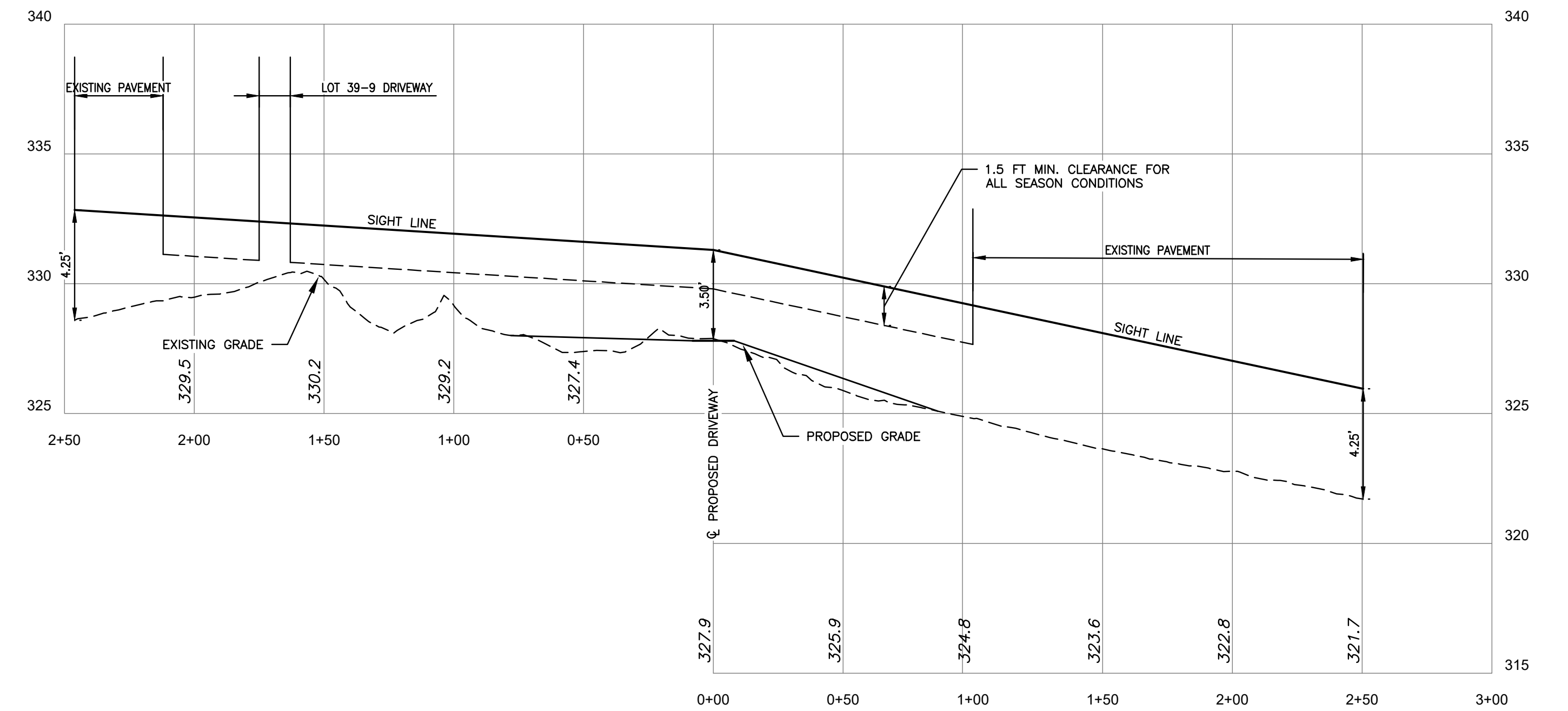
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 27 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND

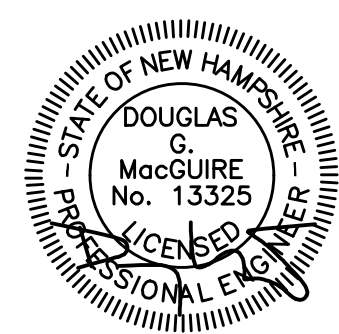
- - - - - ABUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - - - BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - D

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

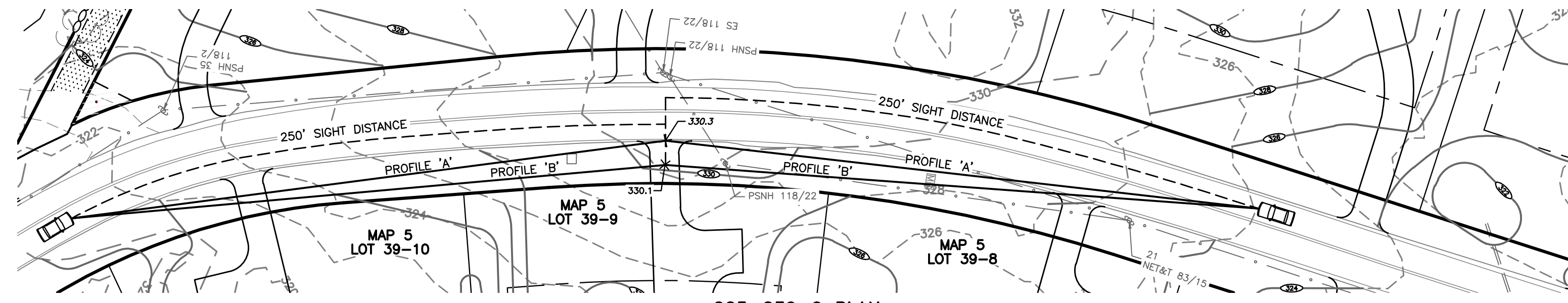
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40'

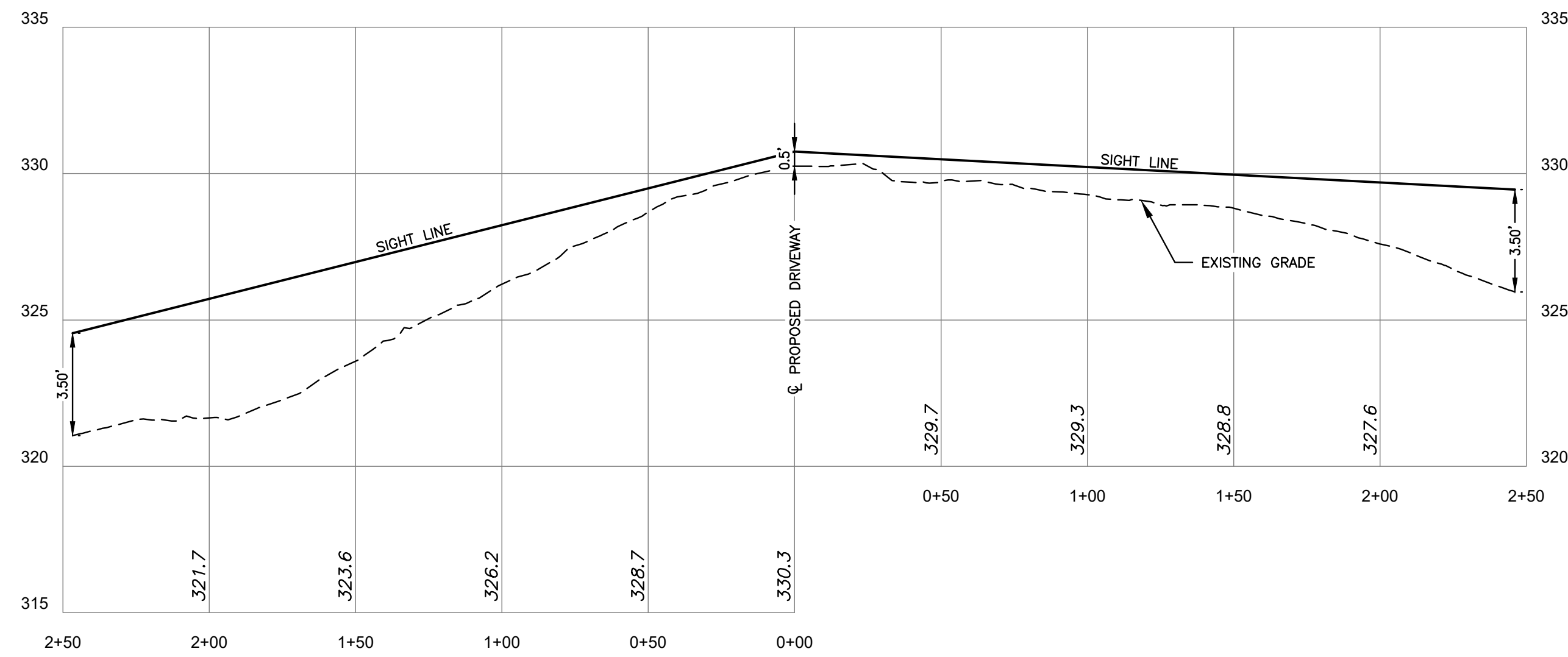
DATE: DEC. 12, 2025

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
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Engineers | Planners | Surveyors

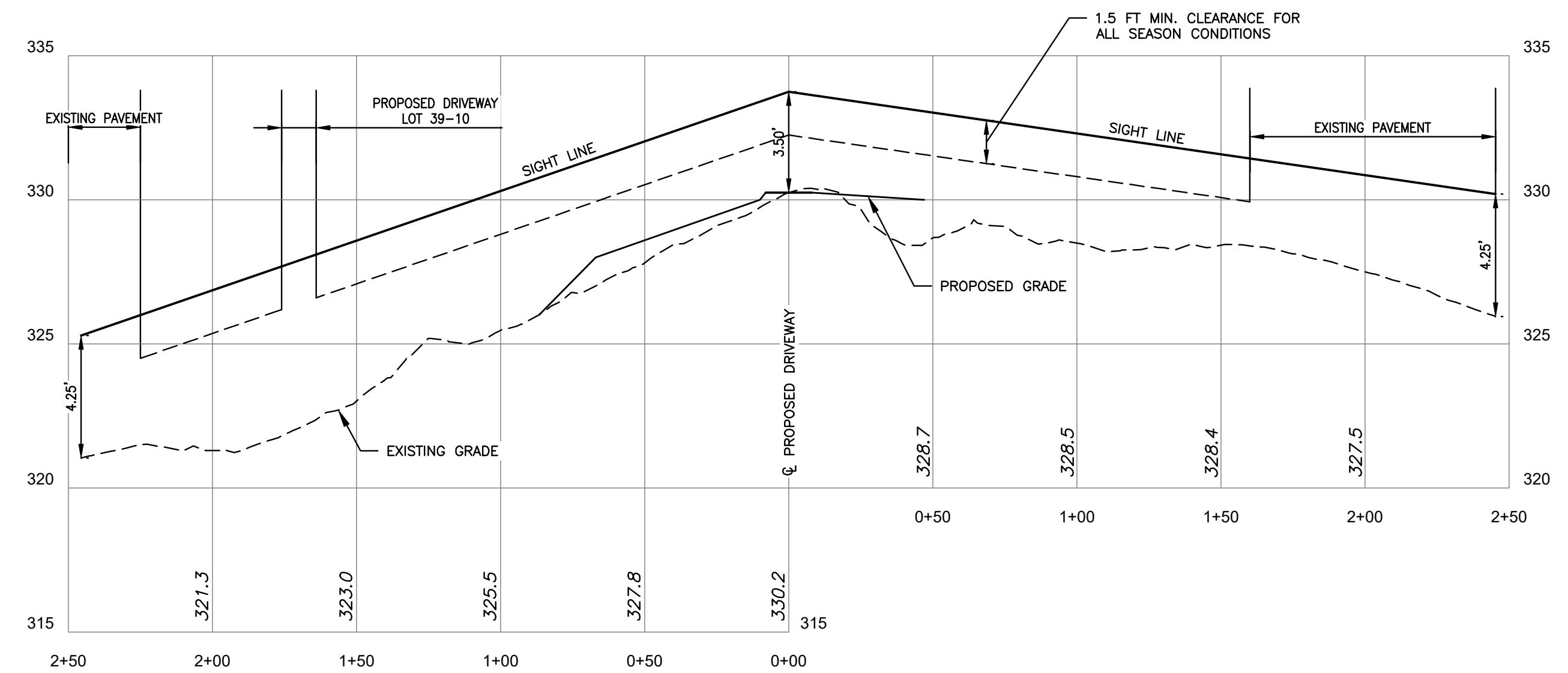
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-039-9 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND

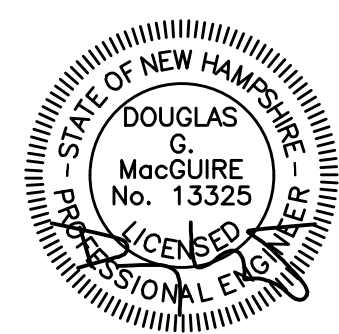
- BUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - E

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

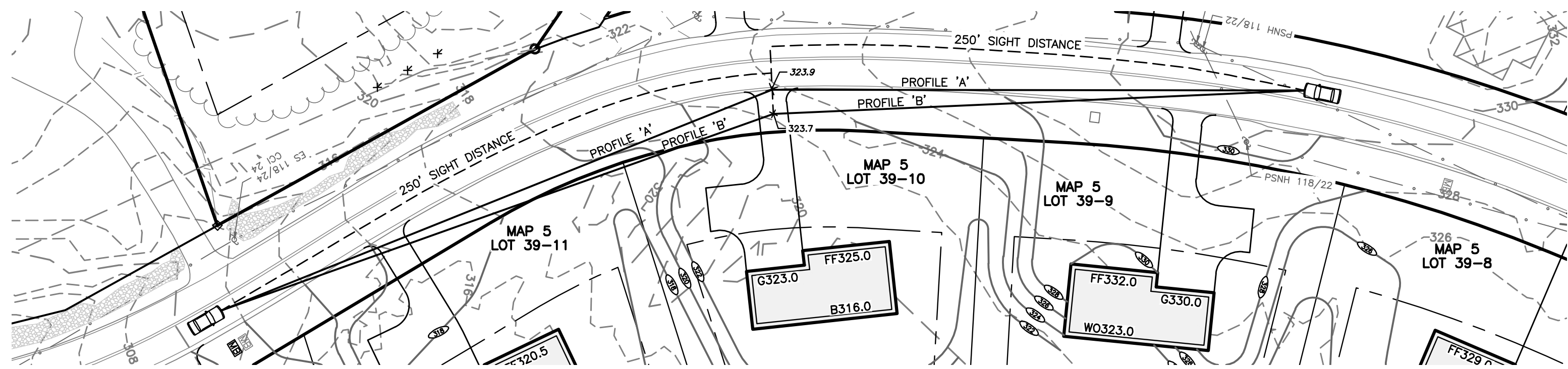
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

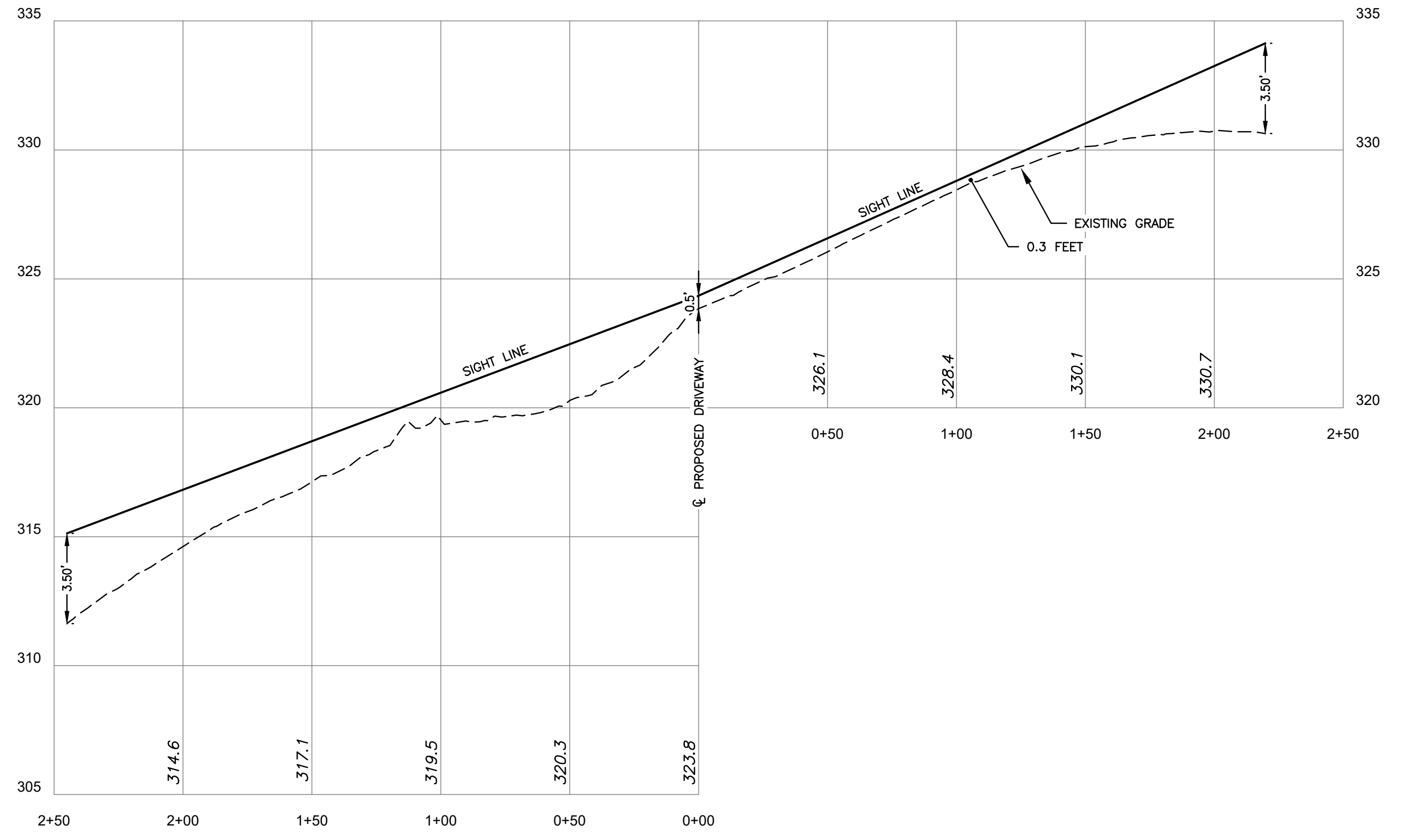
SCALE: 1"=40'

DATE: DEC. 12, 2025

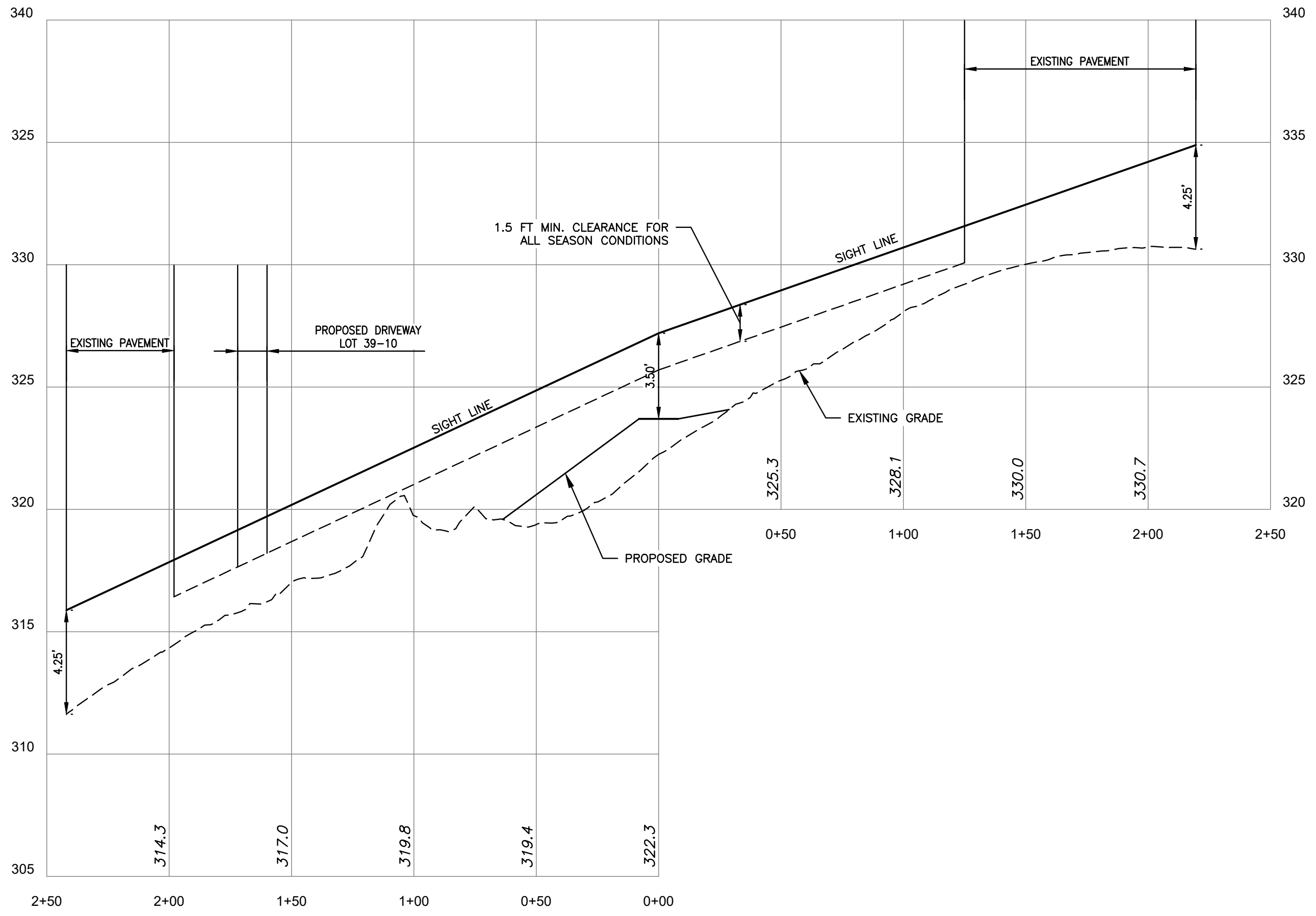
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-039-10 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



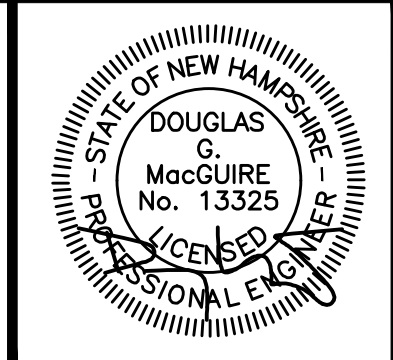
PROFILE 'B'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69-Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
○	DRAIN MANHOLE
---	DRAINAGE PIPE
---	OVERHEAD WIRE
---	SIGN
△	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - F

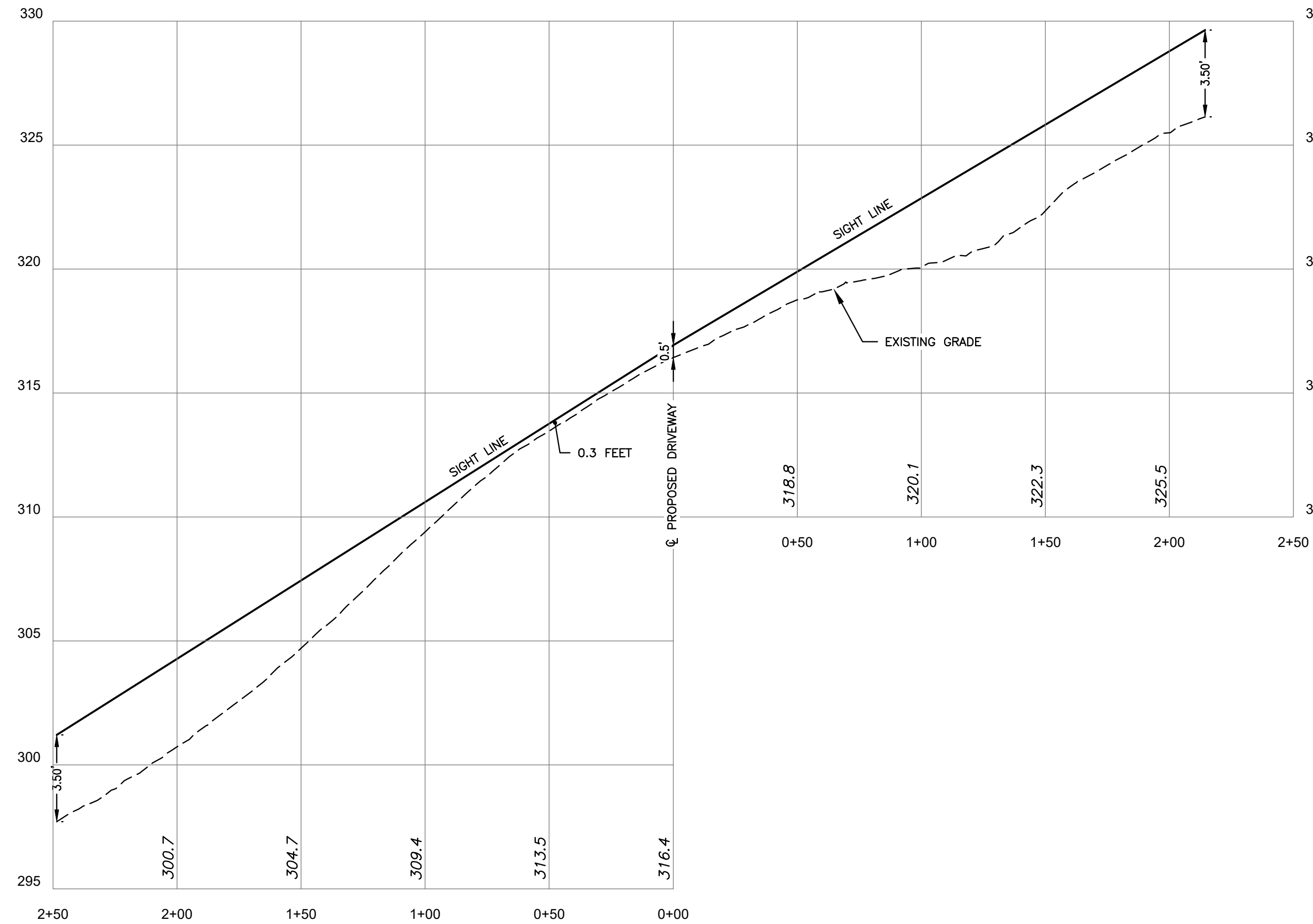
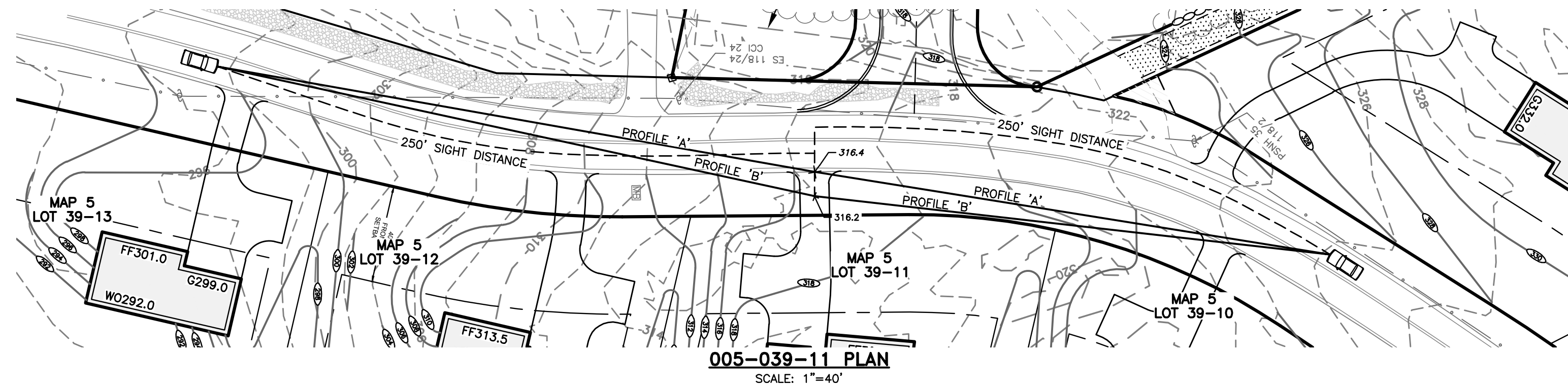
TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

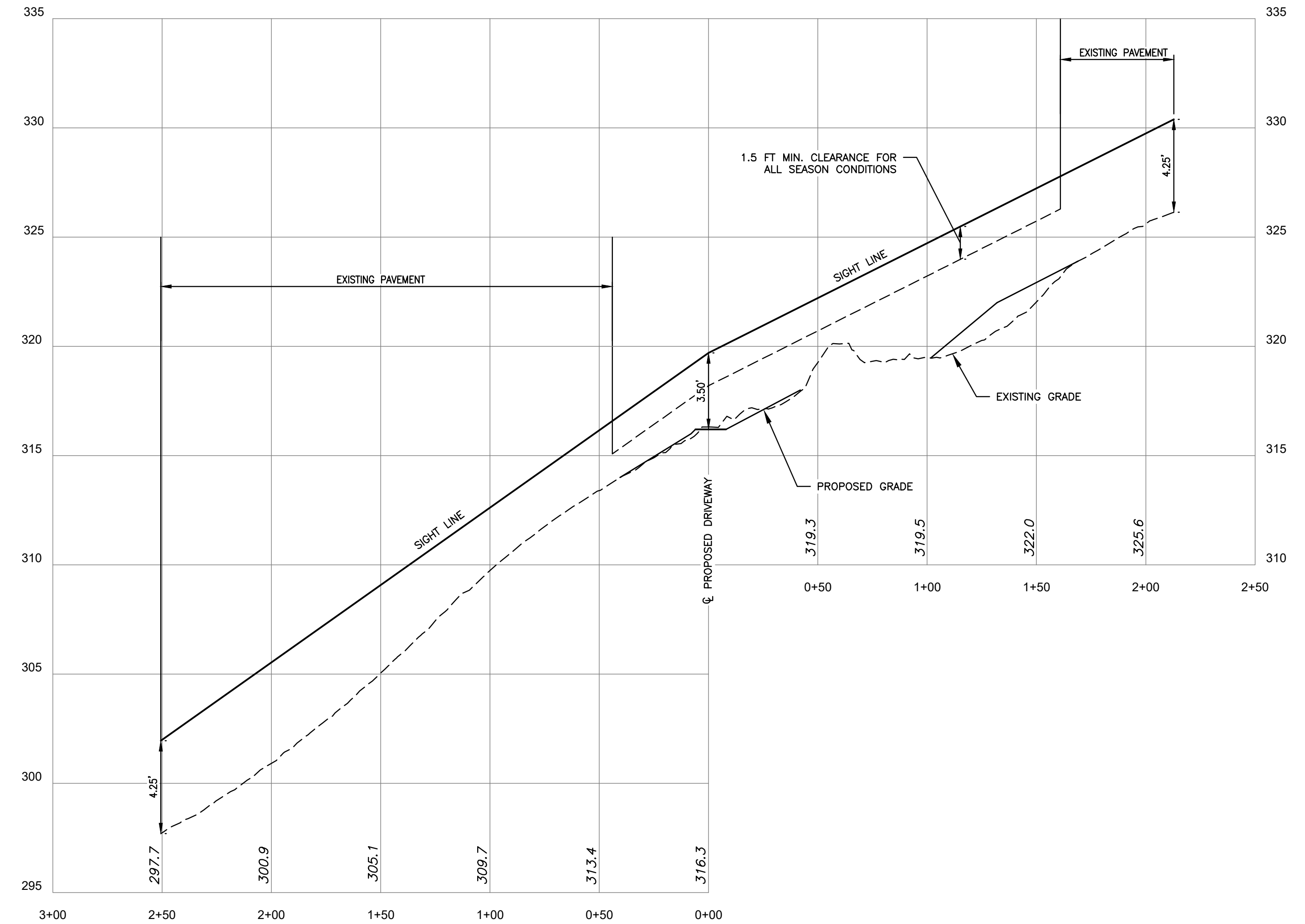
SCALE: 1"=40' DATE: DEC. 12, 2025

<p>The Dubay Group, Inc. 136 Harvey Rd. Bldg B101 Londonderry, NH 03053 603-458-6462 - www.thedubaygroup.com Engineers Planners Surveyors</p>	Drawn By: JHD
	Checked By: DGM
	Project: 774
	File: 774-Sight Dist

SHEET 30 of 42



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND

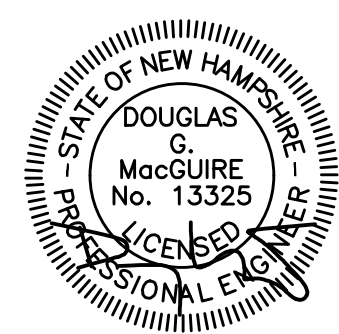
- BUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OH-W OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - G

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

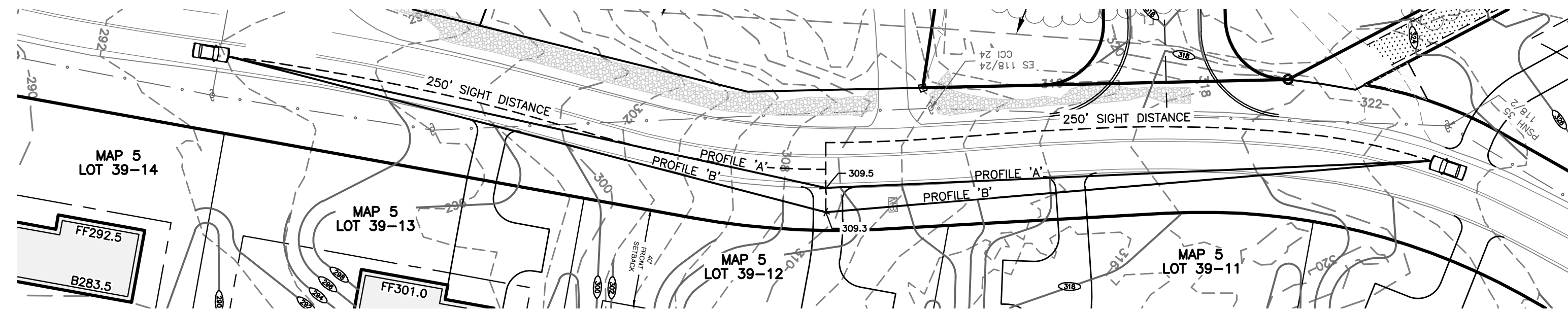
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

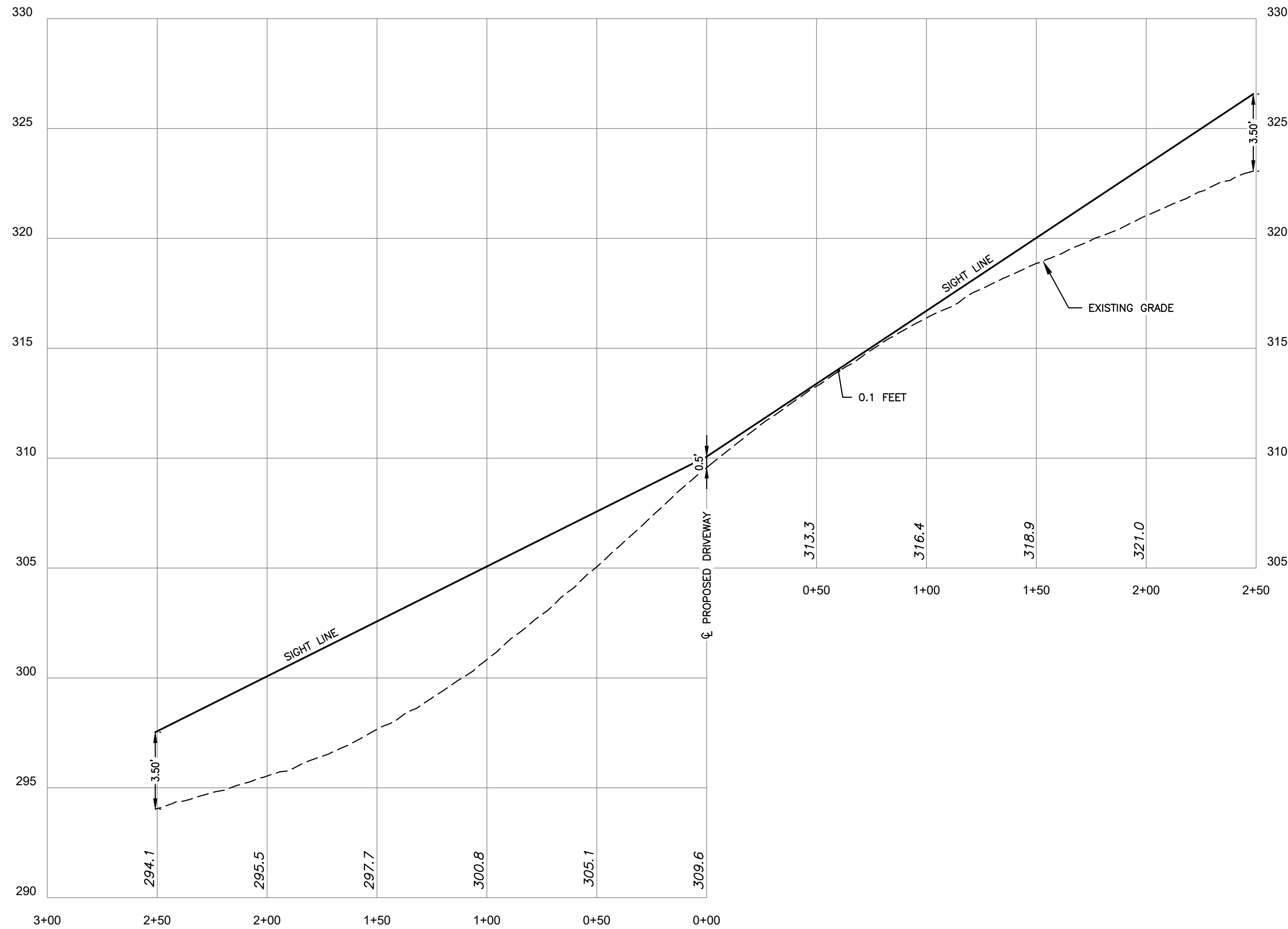
SCALE: 1"=40'

DATE: DEC. 12, 2025

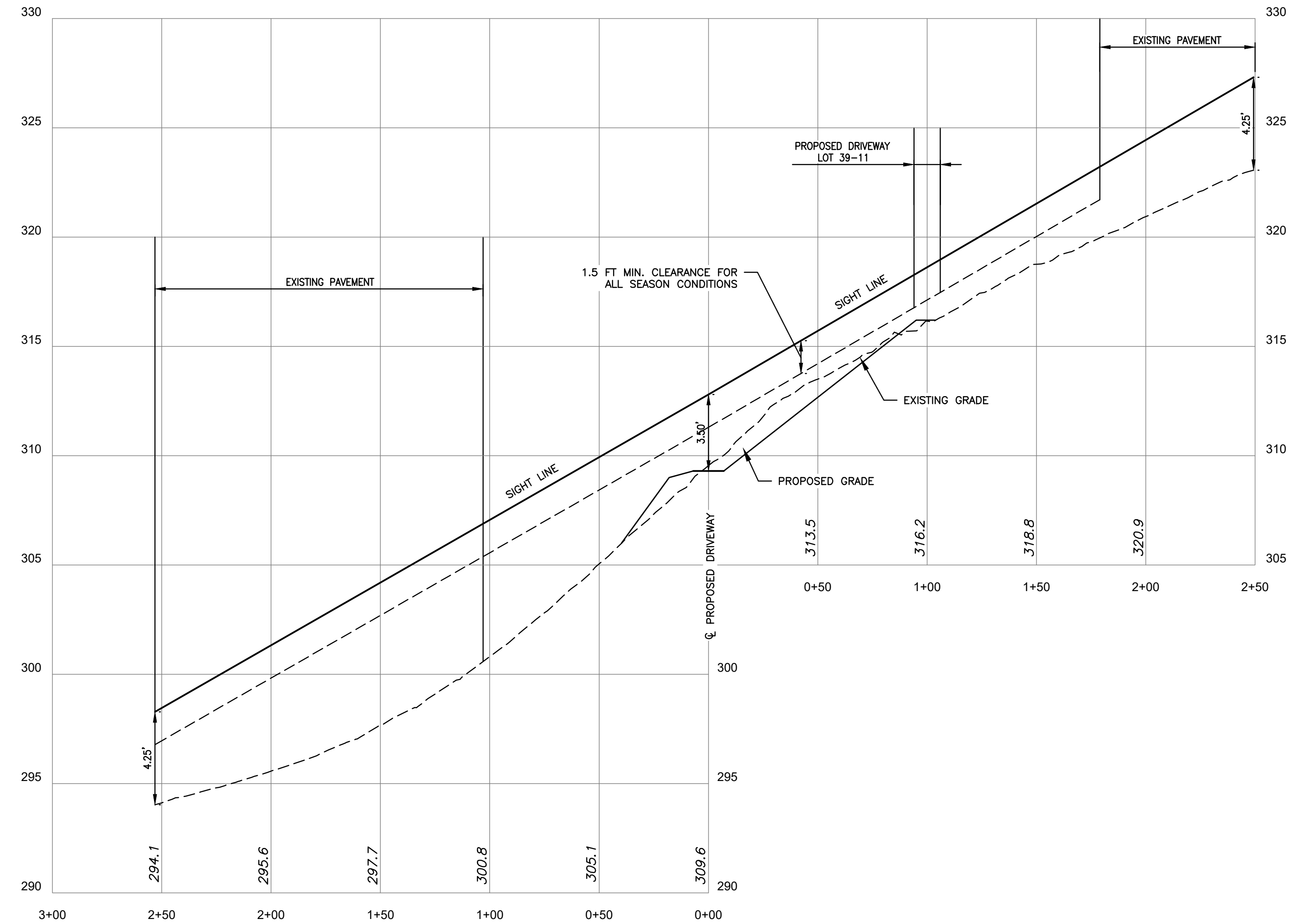
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-039-12 PLAN
SCALE: 1"=40'



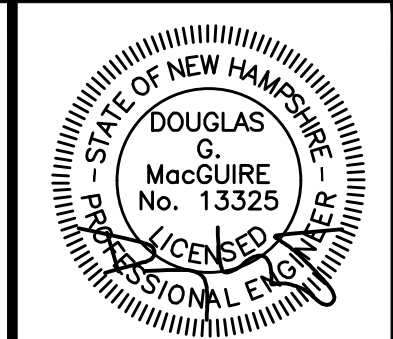
PROFILE 'A'
SCALE: 1"=40'H, 4"V



PROFILE 'B'
SCALE: 1"=40'H, 4"V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
⊕	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
△	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER
PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - H

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

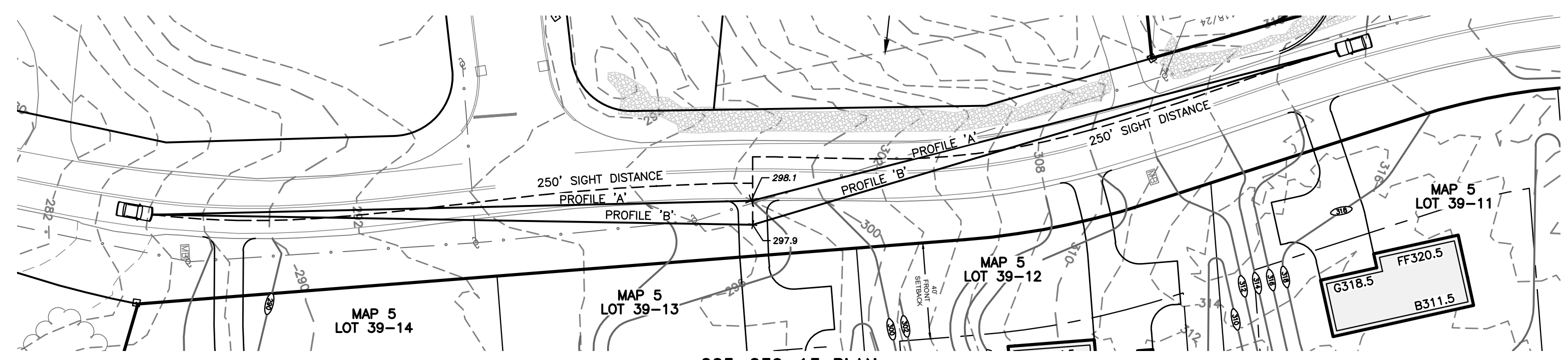
SCALE: 1"=40' DATE: DEC. 12, 2025

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Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
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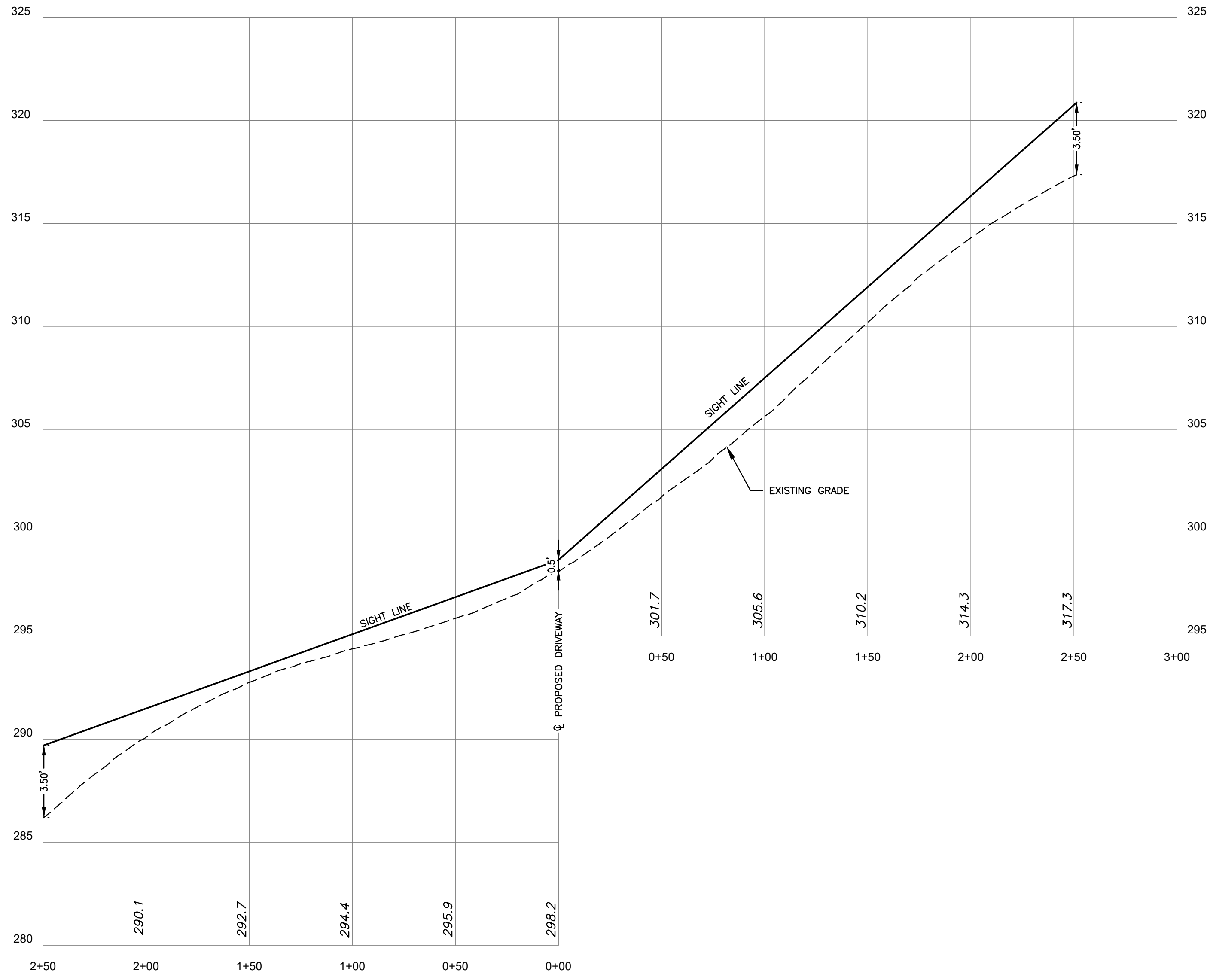
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 32 of 42

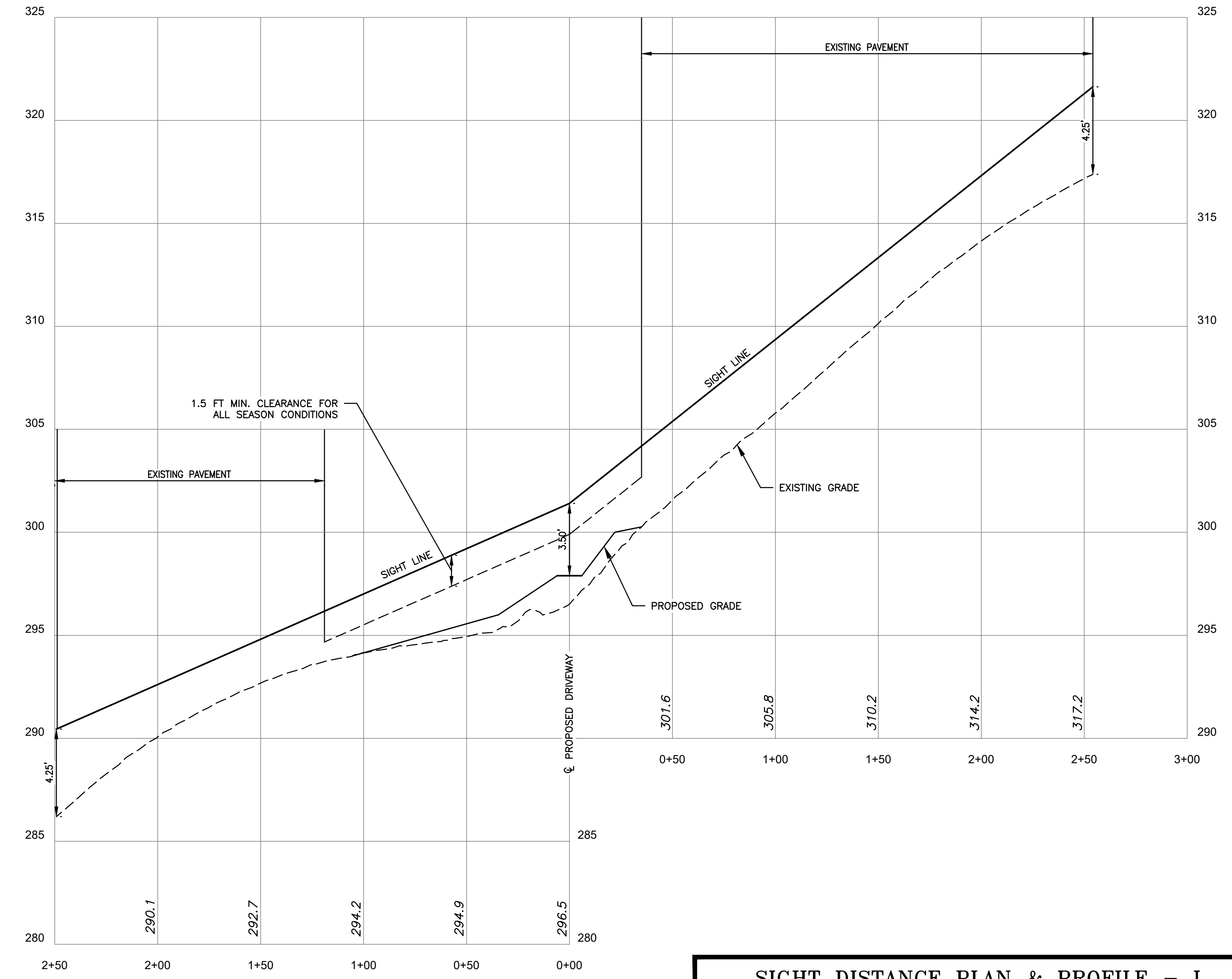
N:\PROJECTS\774-Vermont-69-Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-039-13 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

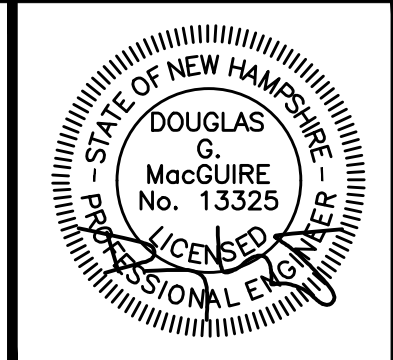


PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - I

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

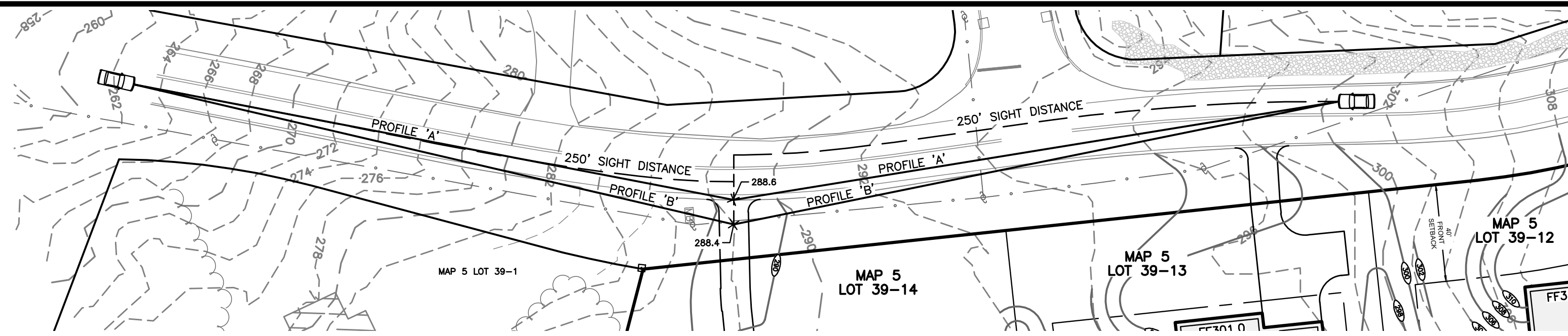
SCALE: 1"=40' DATE: DEC. 12, 2025

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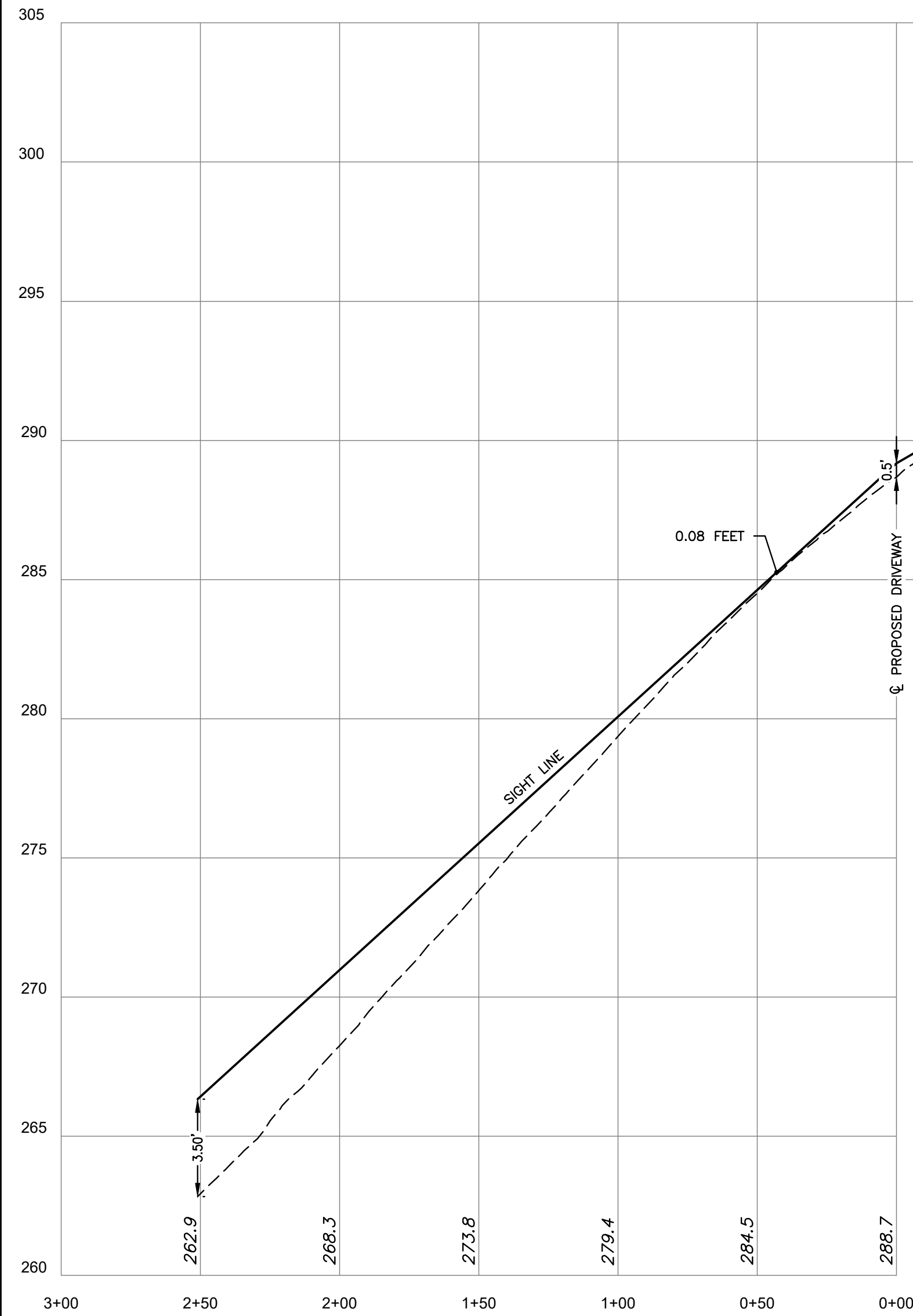
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 33 of 42

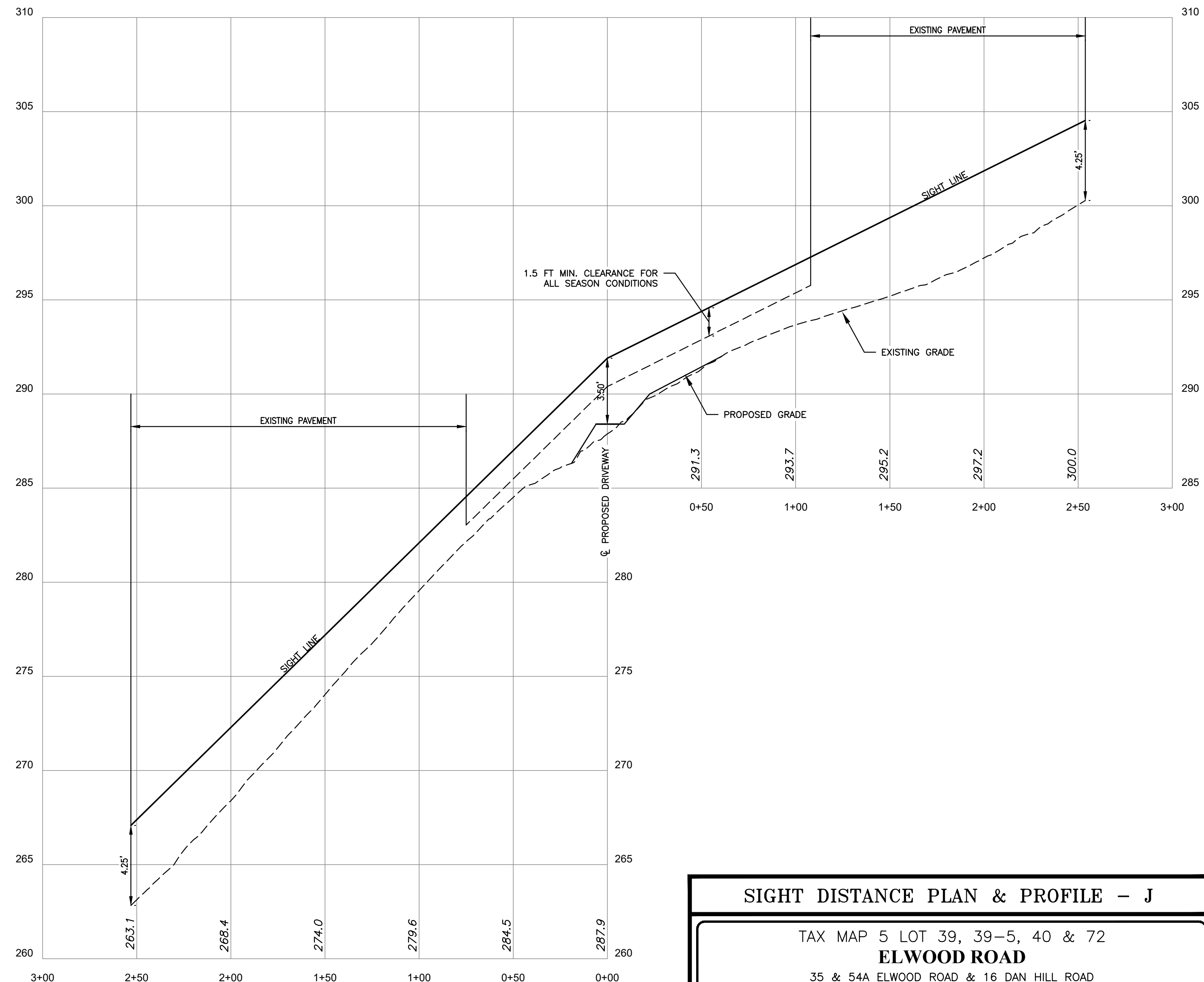
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005-039-14 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND

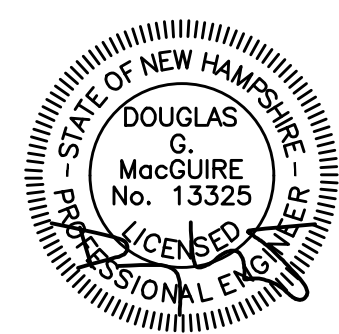
- ABUTTER LINE
- == DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - BUILDING SETBACK
- EDGE OF PAVEMENT
- ⊕ UTILITY POLE
- ⊙ CATCH BASIN
- ⊙ DRAIN MANHOLE
- DRAINAGE PIPE
- OHW OVERHEAD WIRE
- SIGN
- ▲ RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - J

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

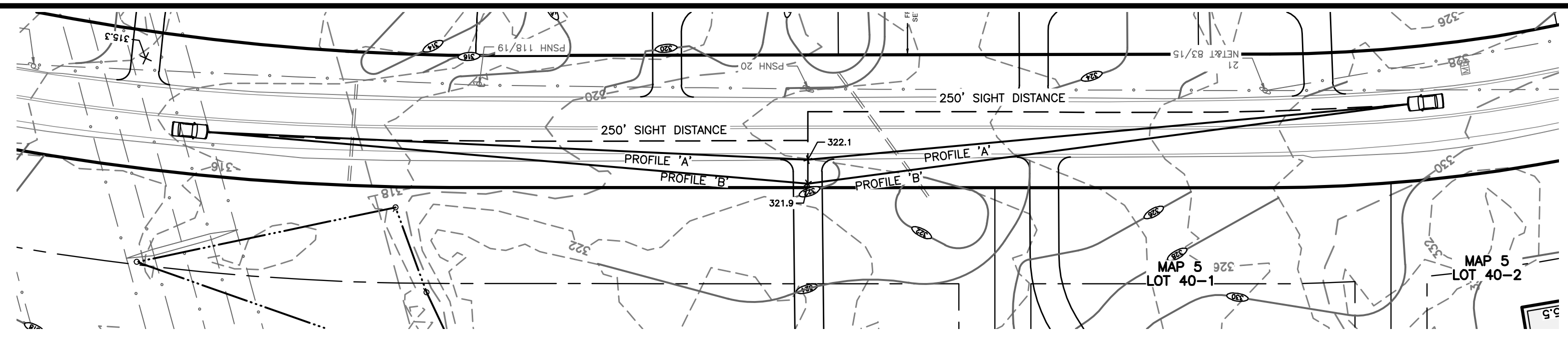
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40'

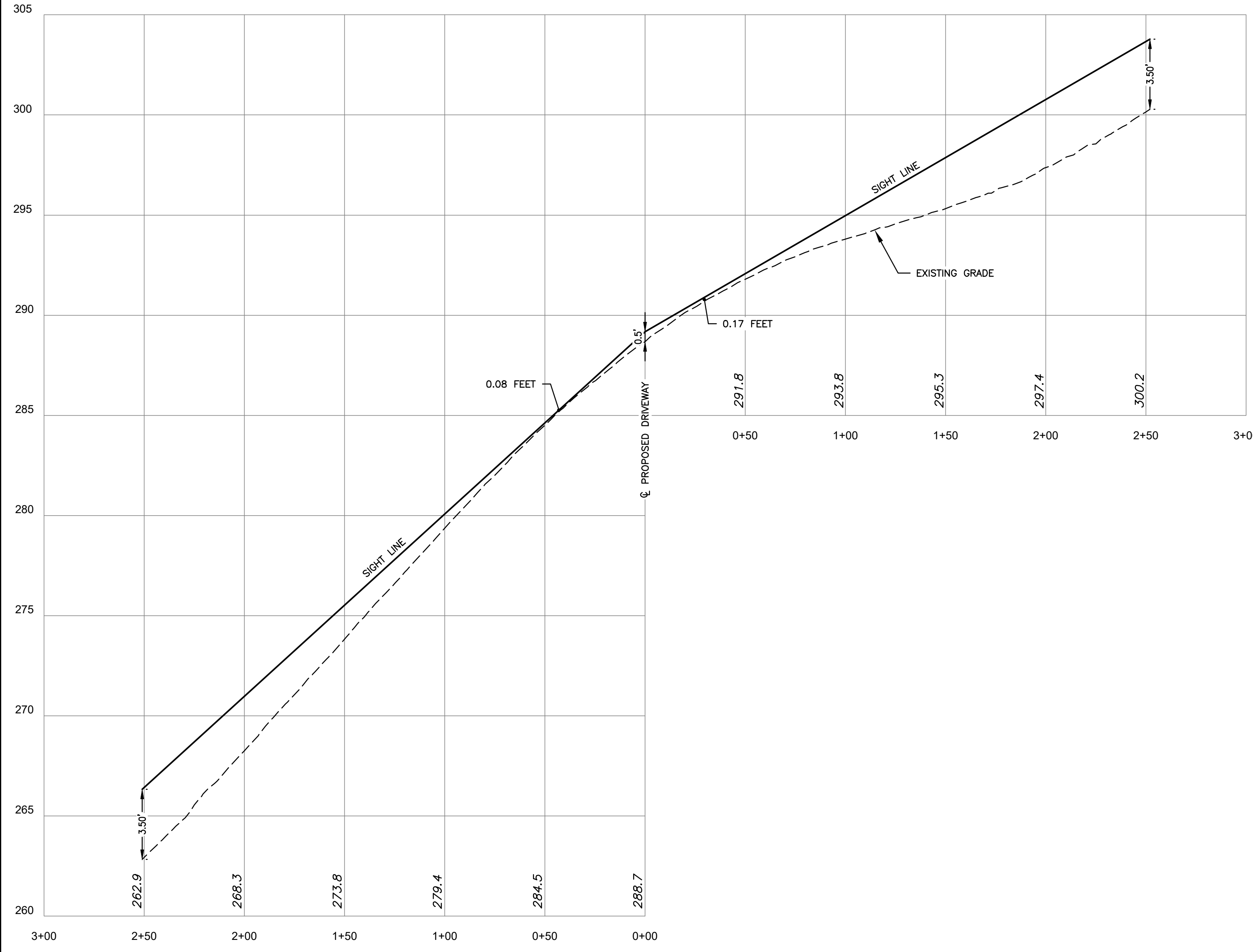
DATE: DEC. 12, 2025

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Londonderry, NH 03053
603-458-6462 - www.thedubaiygroup.com
Engineers | Planners | Surveyors

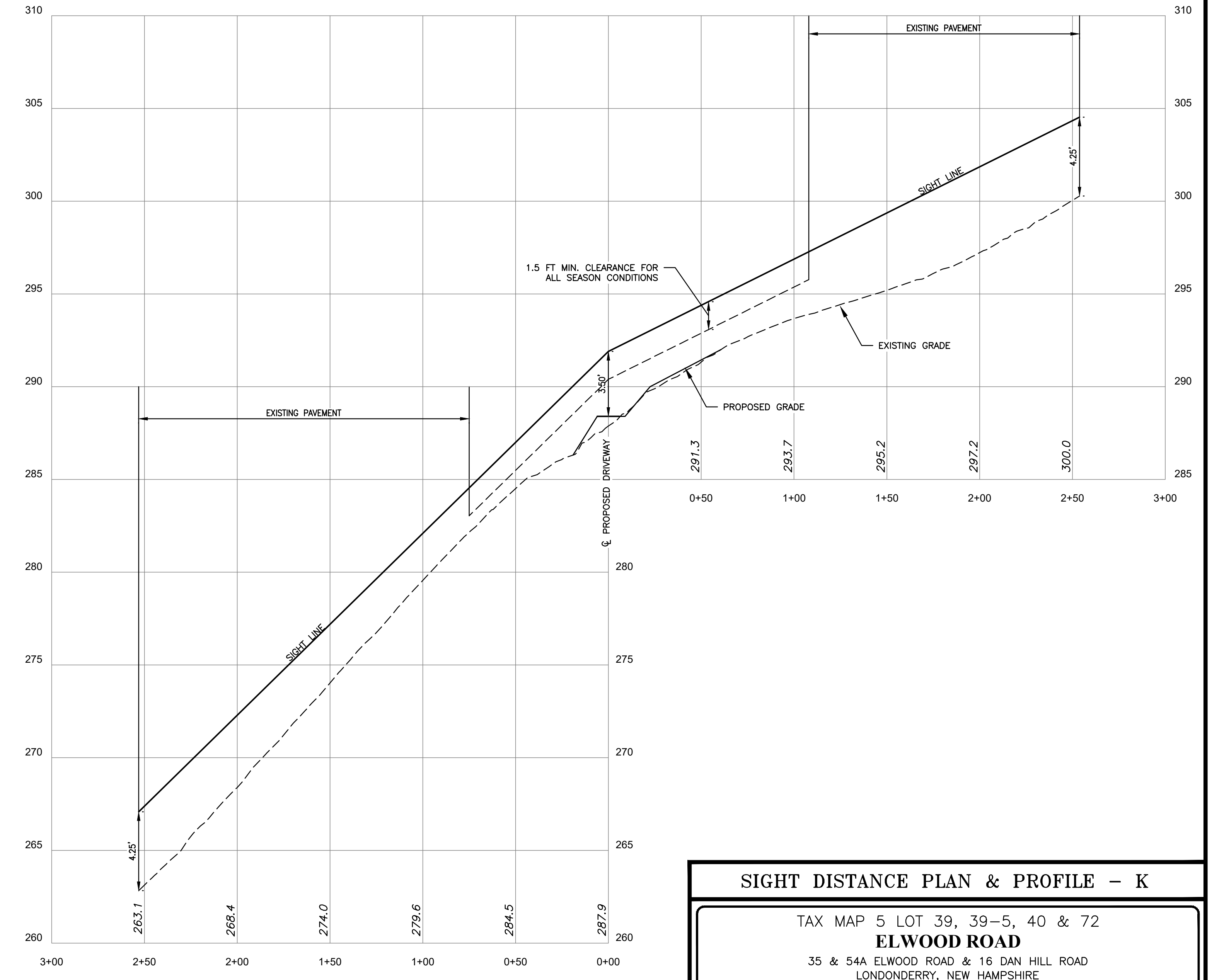
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-040 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



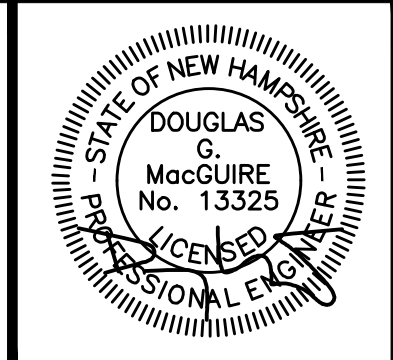
PROFILE 'B'
SCALE: 1"=40'H, 4'V

SIGHT DISTANCE PLAN & PROFILE - K

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053
 SCALE: 1"=40' DATE: DEC. 12, 2025

- EXISTING LEGEND**
- - - ABUTTER LINE
 - == DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - - - BUILDING SETBACK
 - EDGE OF PAVEMENT
 - ⊕ UTILITY POLE
 - ⊙ CATCH BASIN
 - ⊙ DRAIN MANHOLE
 - DRAINAGE PIPE
 - OVERHEAD WIRE
 - SIGN
 - △ RAILROAD SPIKE
 - △ BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF DRIVEWAY
 - PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

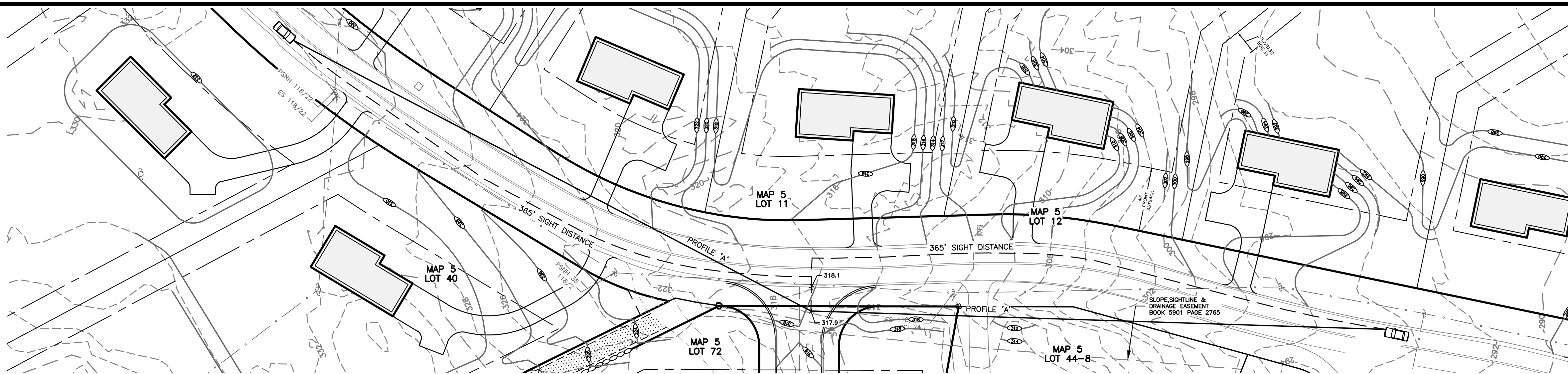
I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
 DOUGLAS MACGUIRE, PE DATE

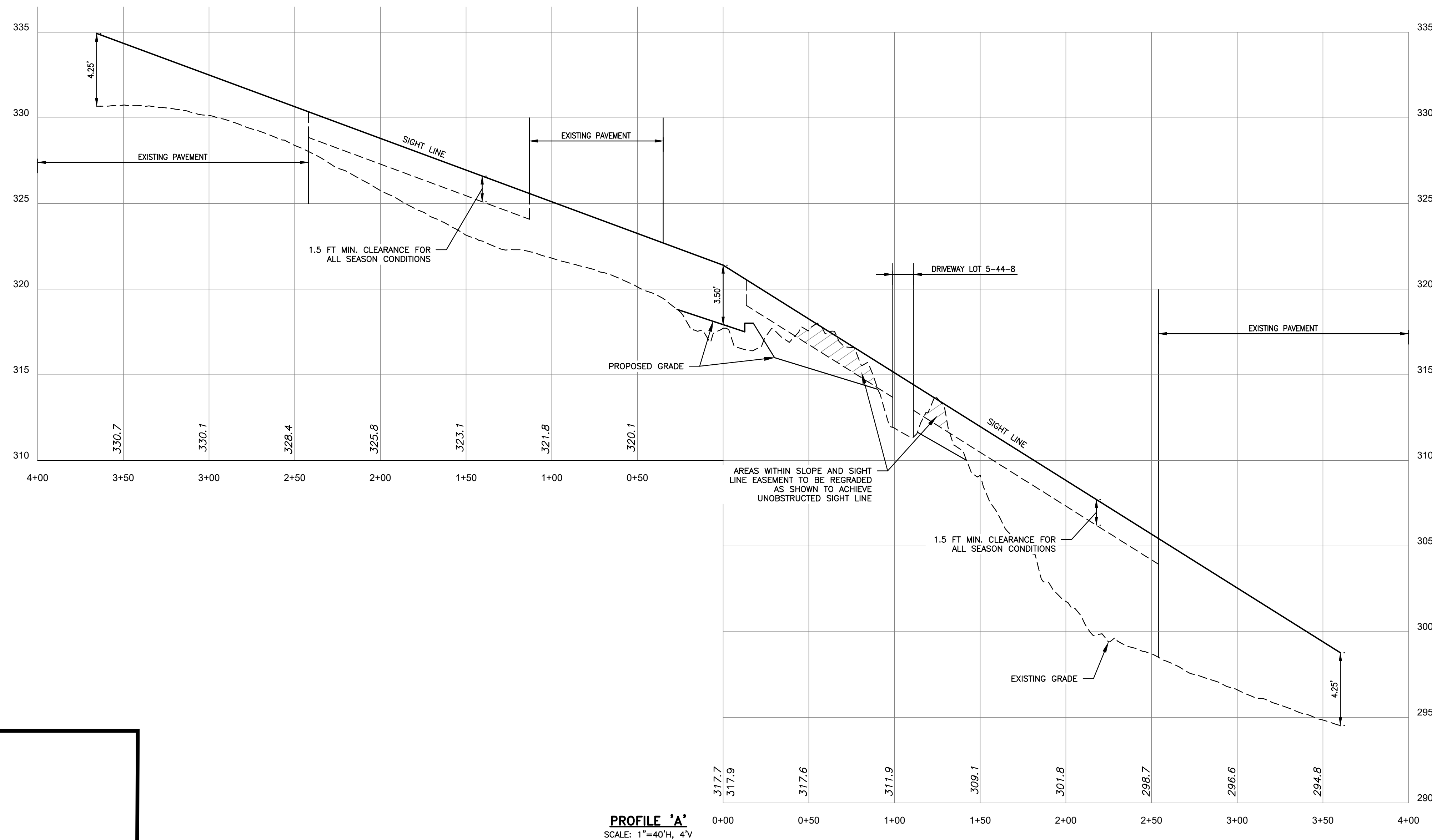
The Dubai Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaiygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-Sight Dist
 SHEET 35 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-072 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND

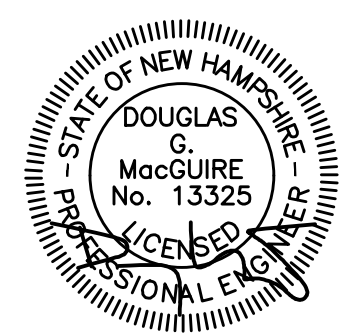
- BUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OHW OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 365' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - L

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

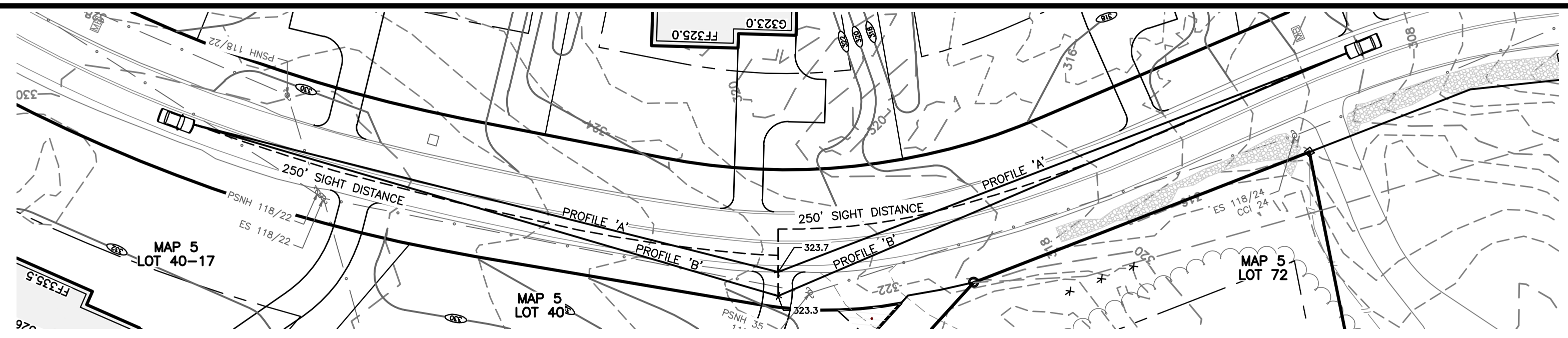
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

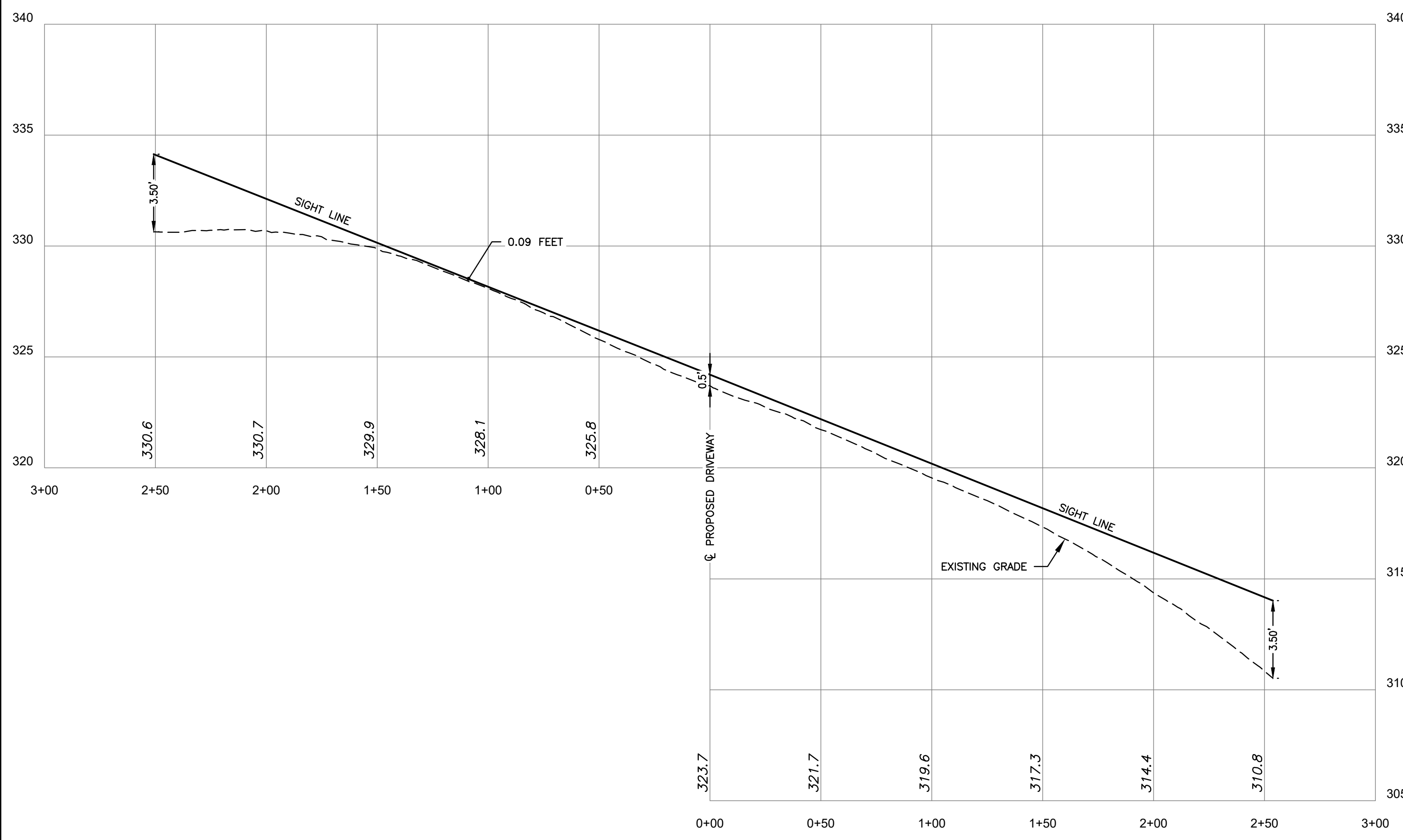
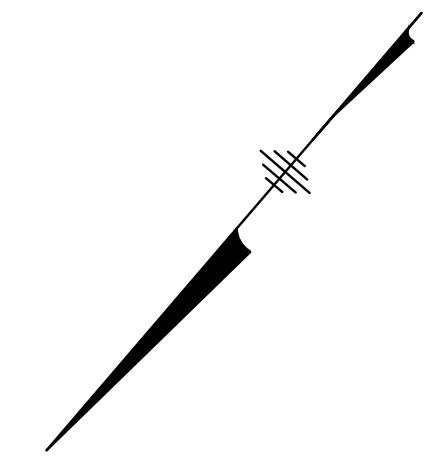
SCALE: 1"=40'

DATE: DEC. 12, 2025

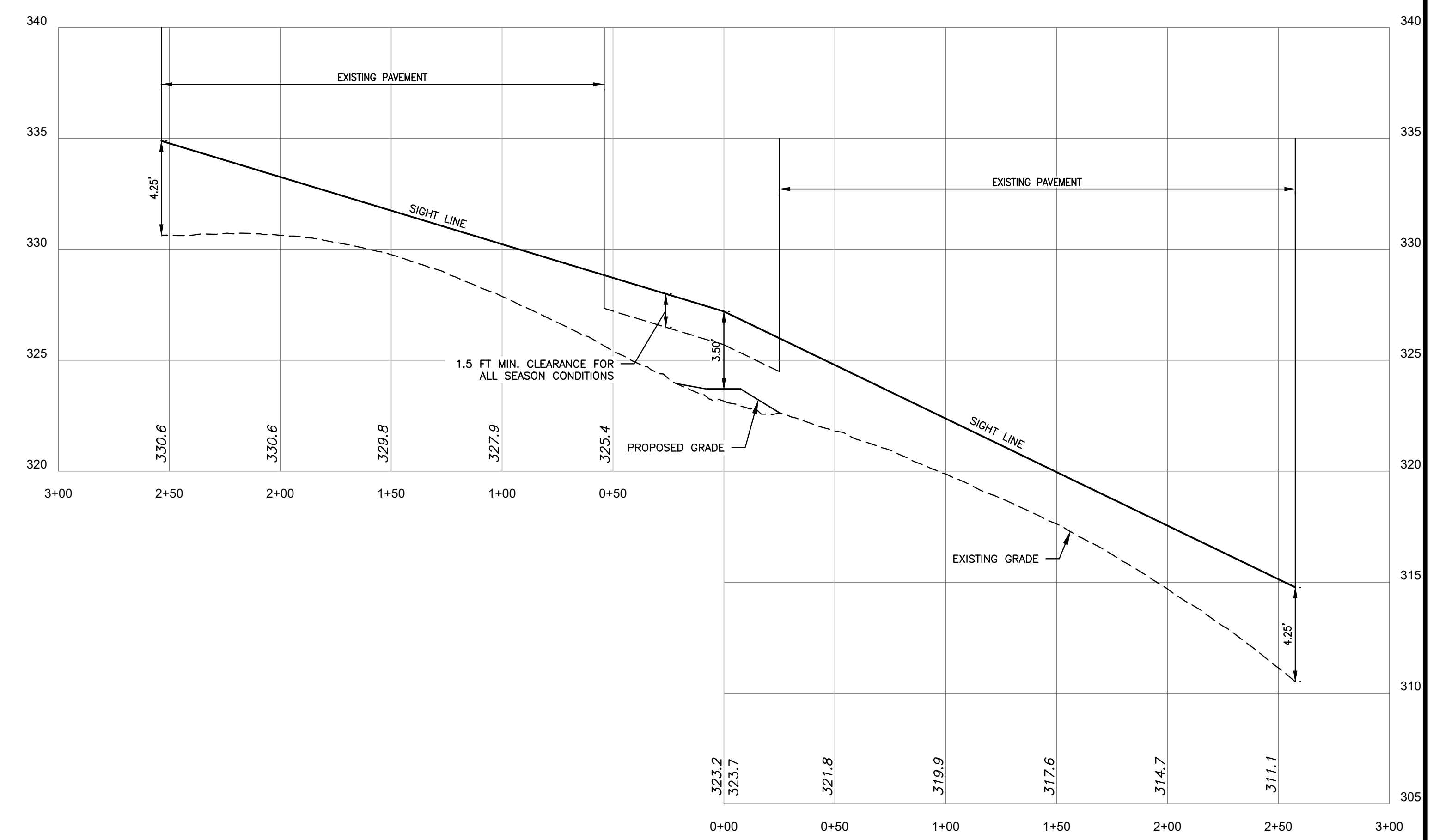
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-040 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

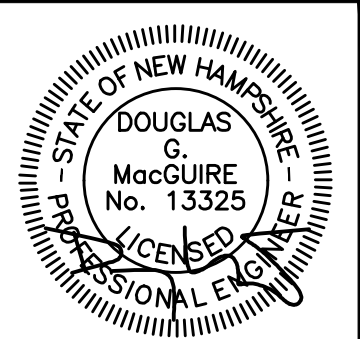


PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - L

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

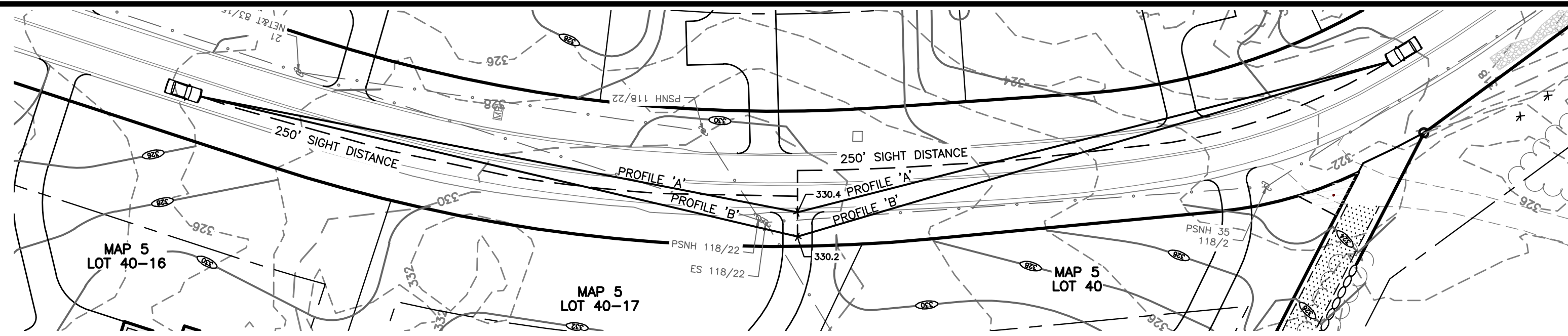
SCALE: 1"=40' DATE: DEC. 12, 2025

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136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

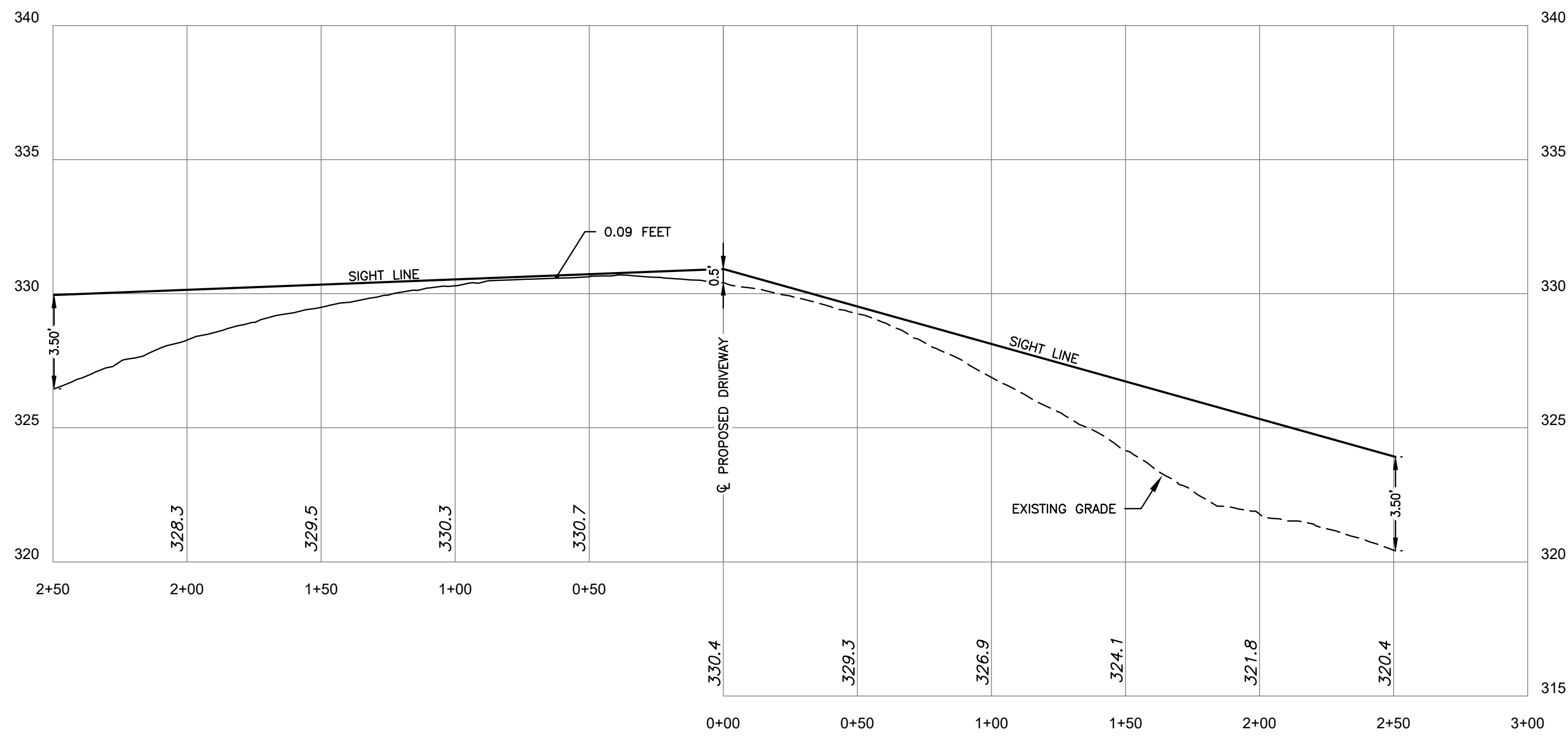
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 37 of 42

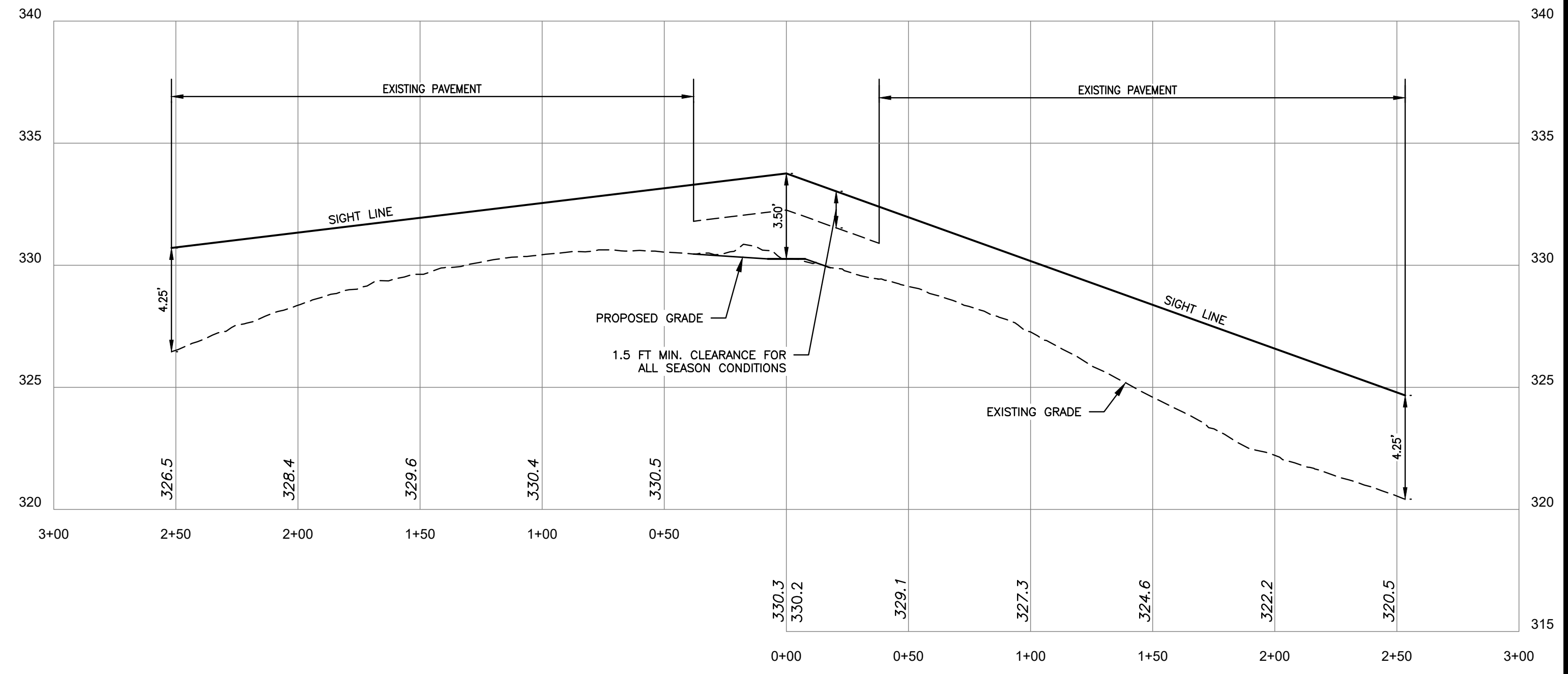
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005-040-17 PLAN
SCALE: 1"=40'



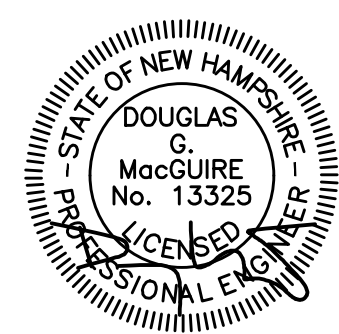
PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
—	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER
PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINE TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - M

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

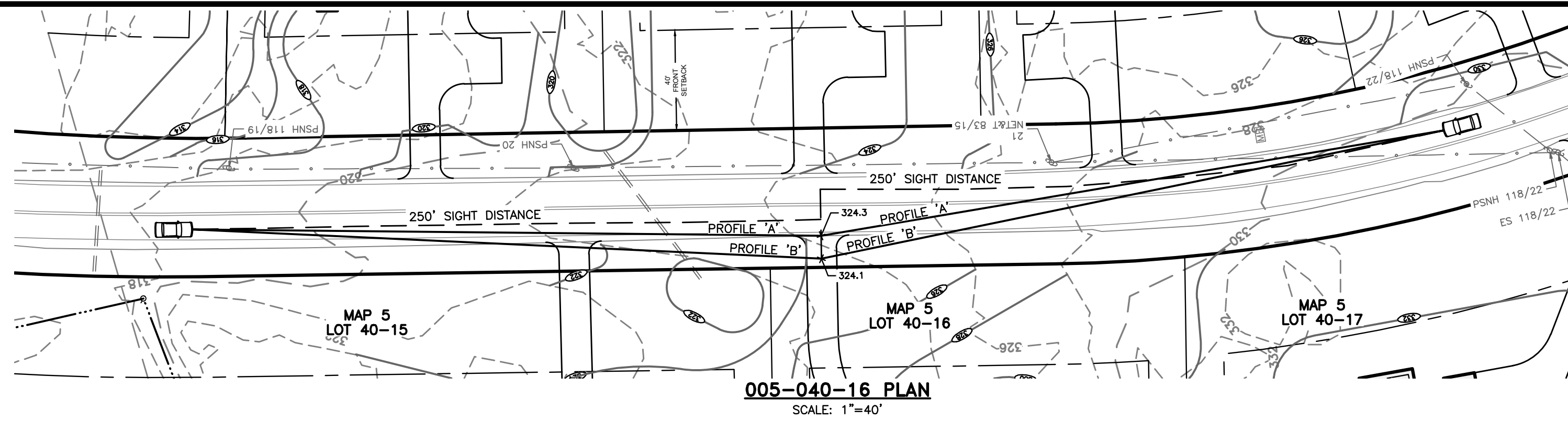
SCALE: 1"=40' DATE: DEC. 12, 2025

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Londonderry, NH 03053
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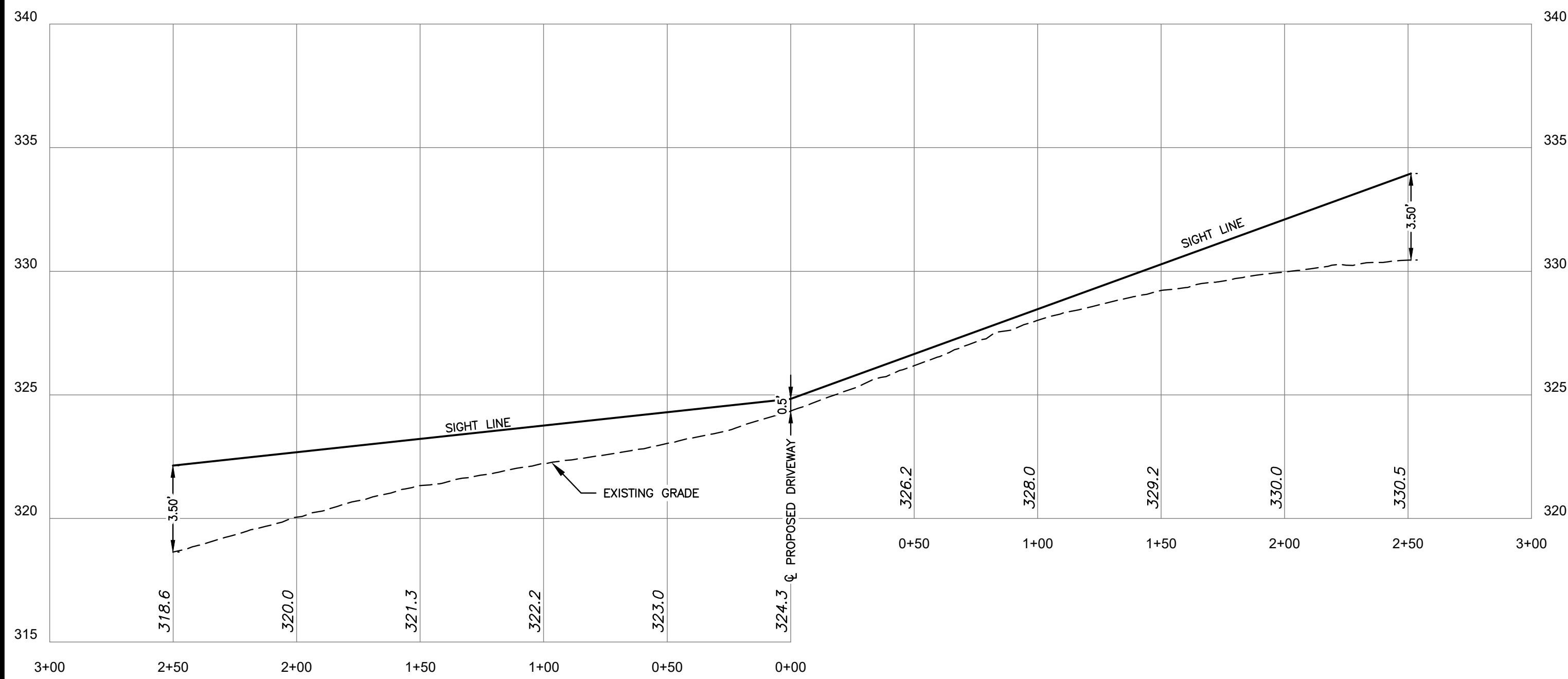
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 38 of 42

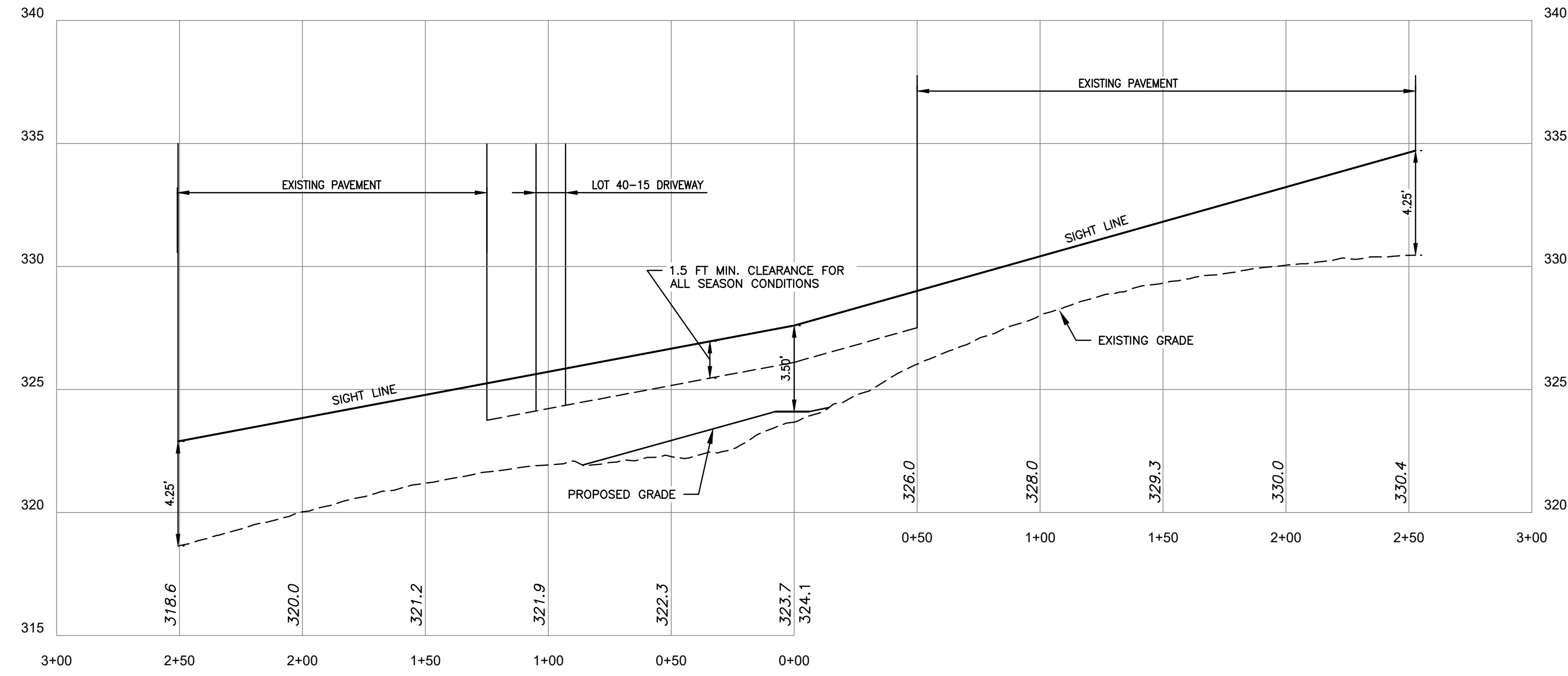
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg



005-040-16 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

SIGHT DISTANCE PLAN & PROFILE - N

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40'

DATE: DEC. 12, 2025

EXISTING LEGEND

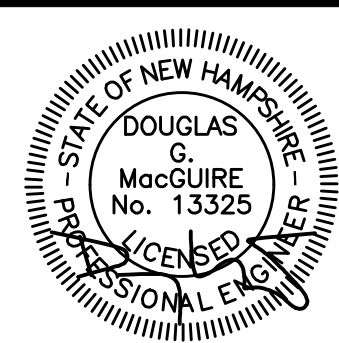
- ABUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
- THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

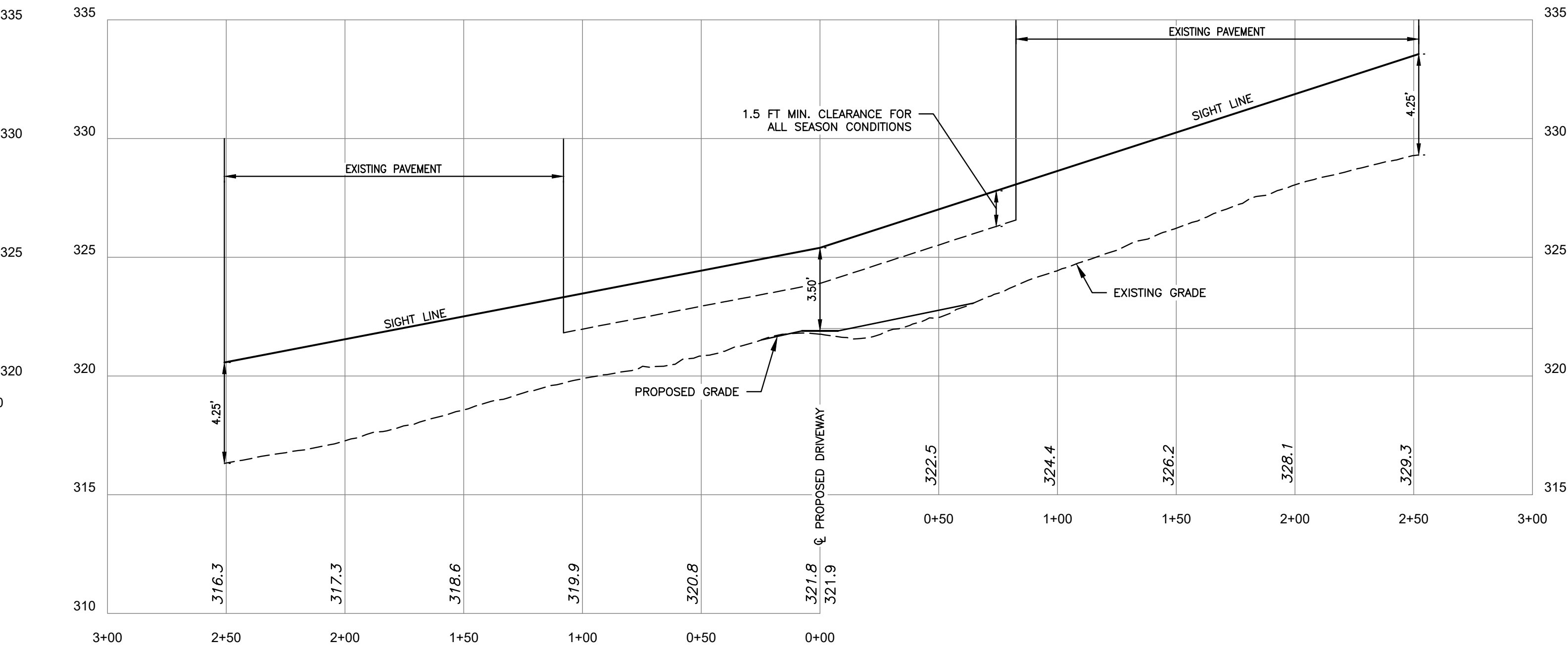
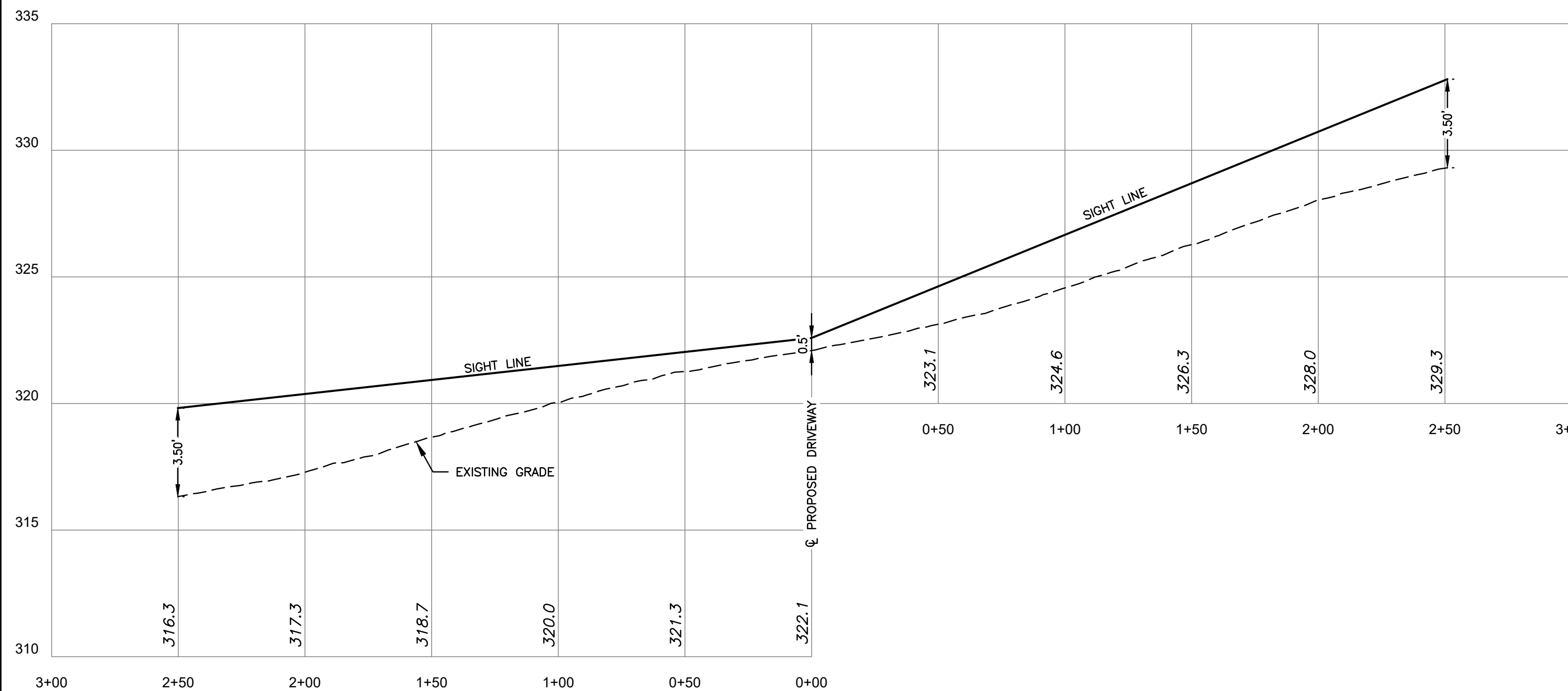
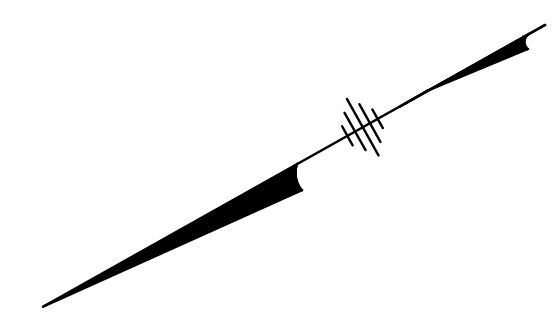
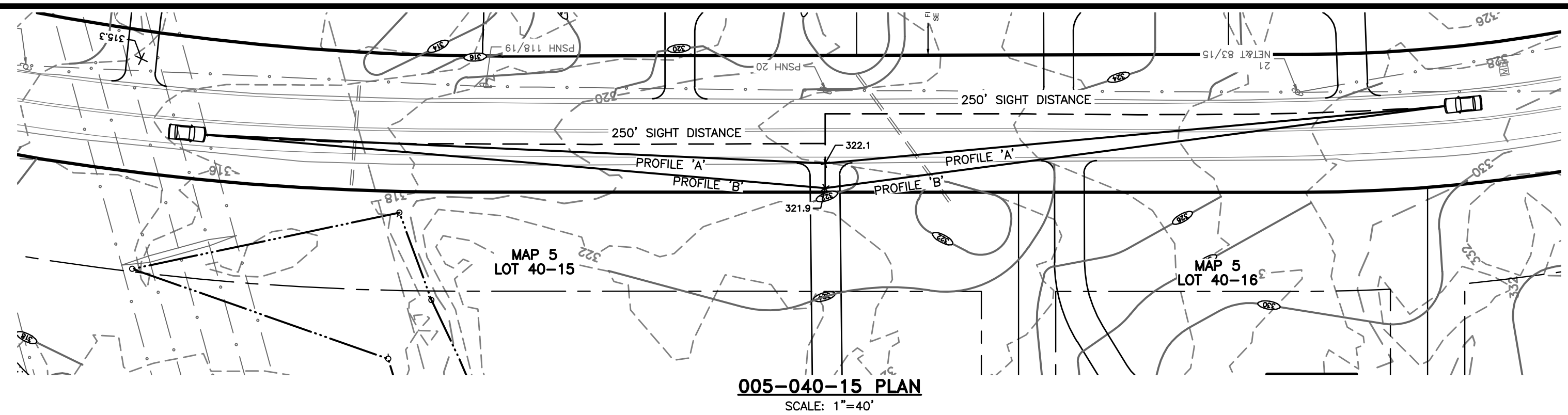
I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

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603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

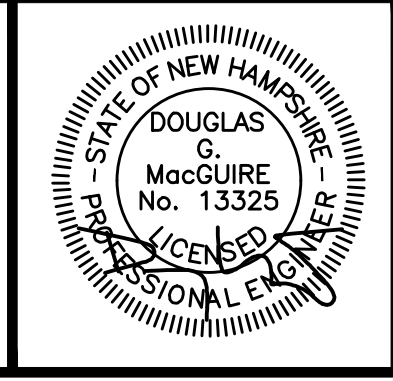


N:\PROJECTS\774-Vermont-69-Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
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—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

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DGM
DOUGLAS MACGUIRE, PE
DATE: 11/15/2025

SIGHT DISTANCE PLAN & PROFILE - 0

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40' DATE: DEC. 12, 2025

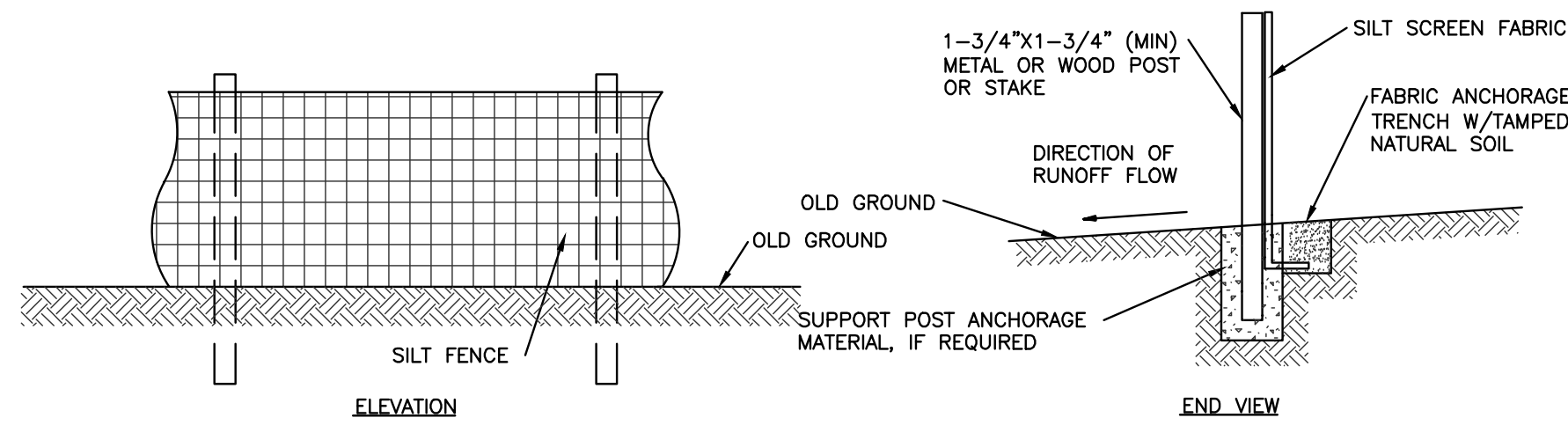
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603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By:	JHD
Checked By:	DGM
Project:	774
File:	774-Sight Dist

SHEET 40 of 42

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER CONTROLS, IE SILT FENCE AND/OR SILT SOX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
2. CONSTRUCT TEMPORARY CONSTRUCTION EXIT IF NEEDED.
3. CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
4. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED. SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.
5. SHAPE ANY APPLICABLE DITCHES AND/OR SWALES.
6. PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES AS APPLICABLE.
7. BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
8. PLANT POTENTIAL LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
9. PAVE DRIVEWAY.
10. REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.



CRITERIA FOR SILT FENCES:

1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lbs)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MULLEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE STRENGTH (lbs)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE

- 2) FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 3) PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE:

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

CONSTRUCTION SPECIFICATIONS:

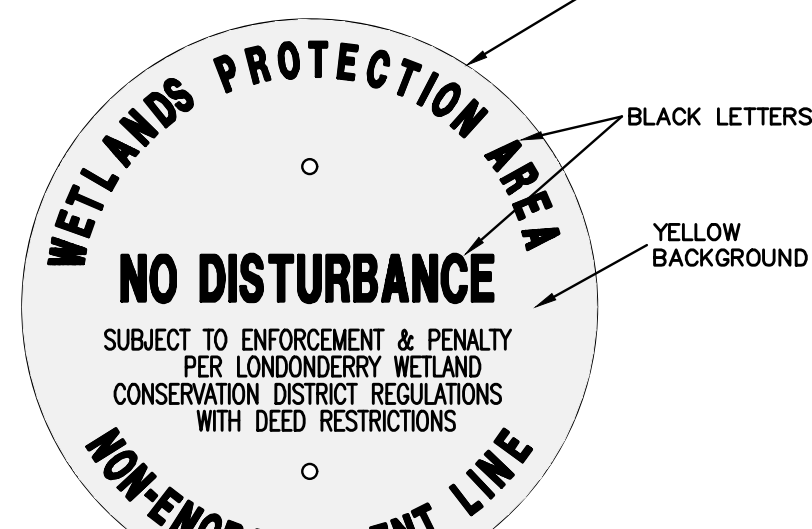
- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN STAKES EVERY 12 INCHES.
- 4) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO WOOD STAKE.
- 5) POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND, AND OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 6) MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILTATION FENCING DETAIL

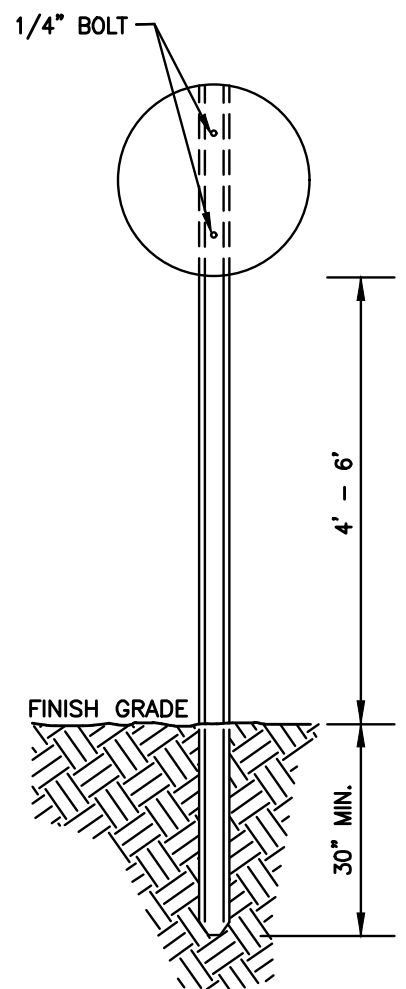
NOT TO SCALE

NOTES:

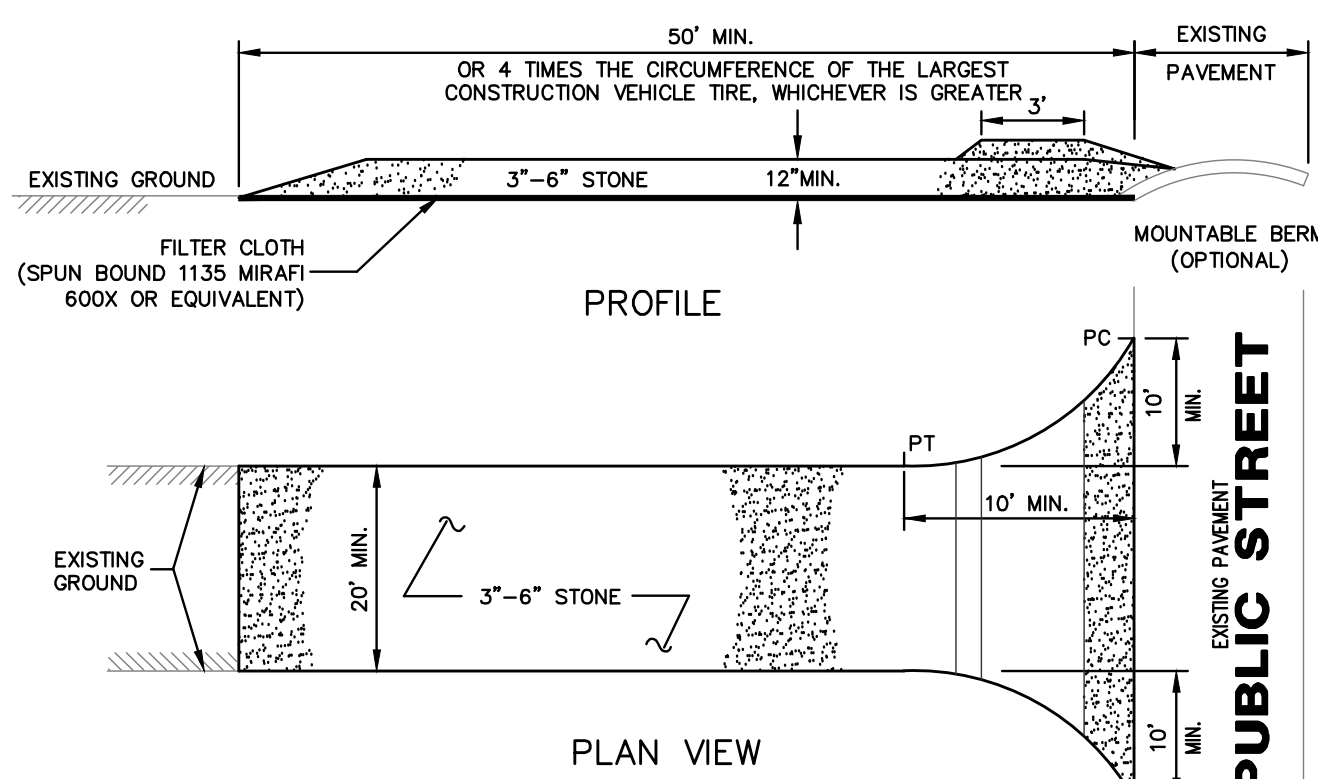
1. TAGS SHALL BE PLACED IN NEAREST TREE ALONG 50' WETLANDS BUFFER.
2. IN AREAS WHERE THERE ARE NO TREES, SIGN POSTS SHALL BE USED AND INSTALLED, SEE SIGN POST DETAIL.
3. PROVIDED BY QUALITY NAME PLATE, INC. (1-800-385-2220)



WETLAND MARKER
NOT TO SCALE



STANDARD POST MATTING INSTALLATION
NOT TO SCALE

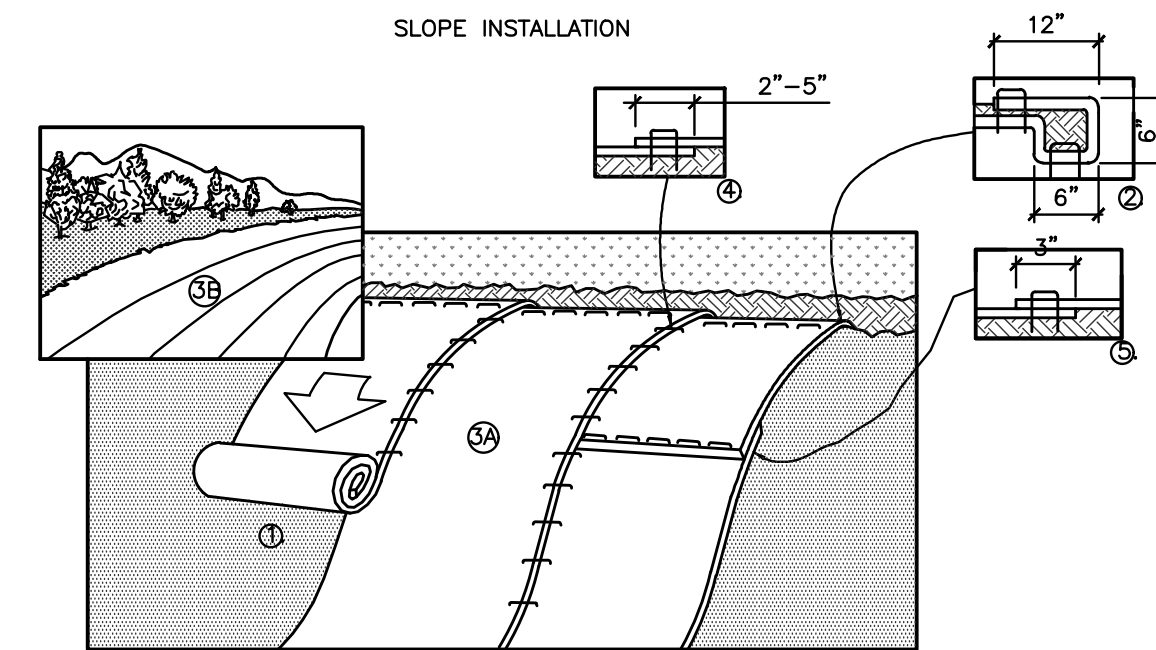


NOTES

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA-SCS STABILIZED TRACKING PAD

NOT TO SCALE

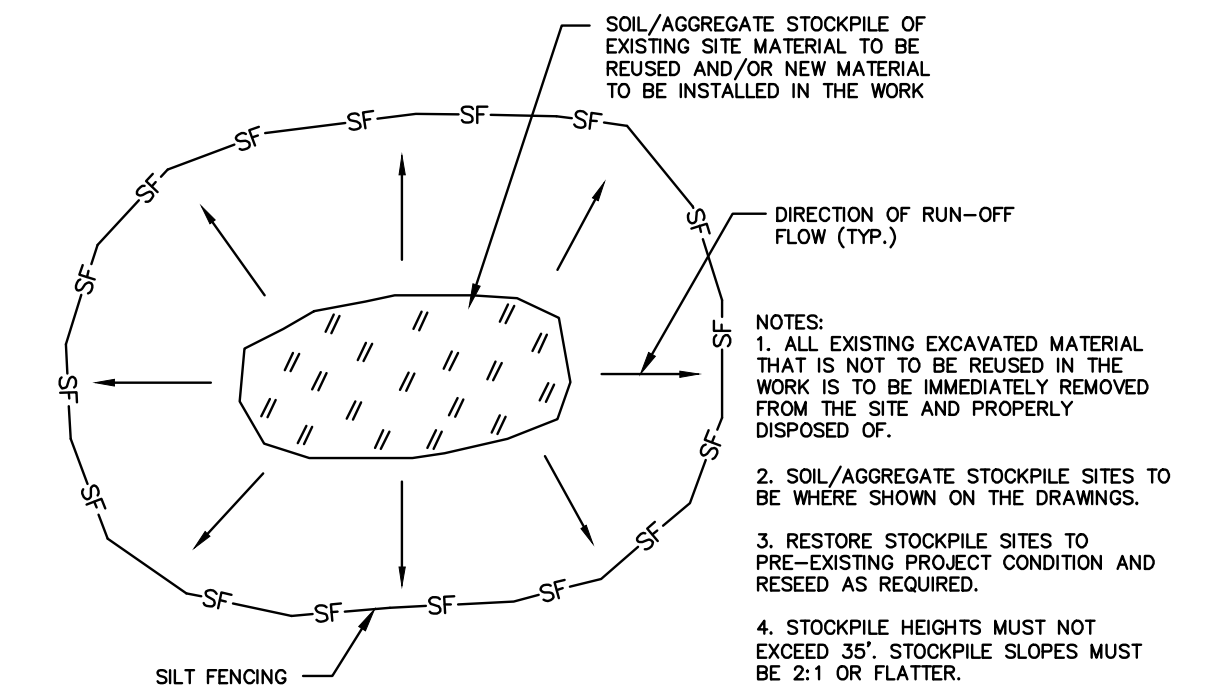


MATTING INSTALLATION NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6\"/>

SLOPE PROTECTION EROSION CONTROL MATTING

NOT TO SCALE

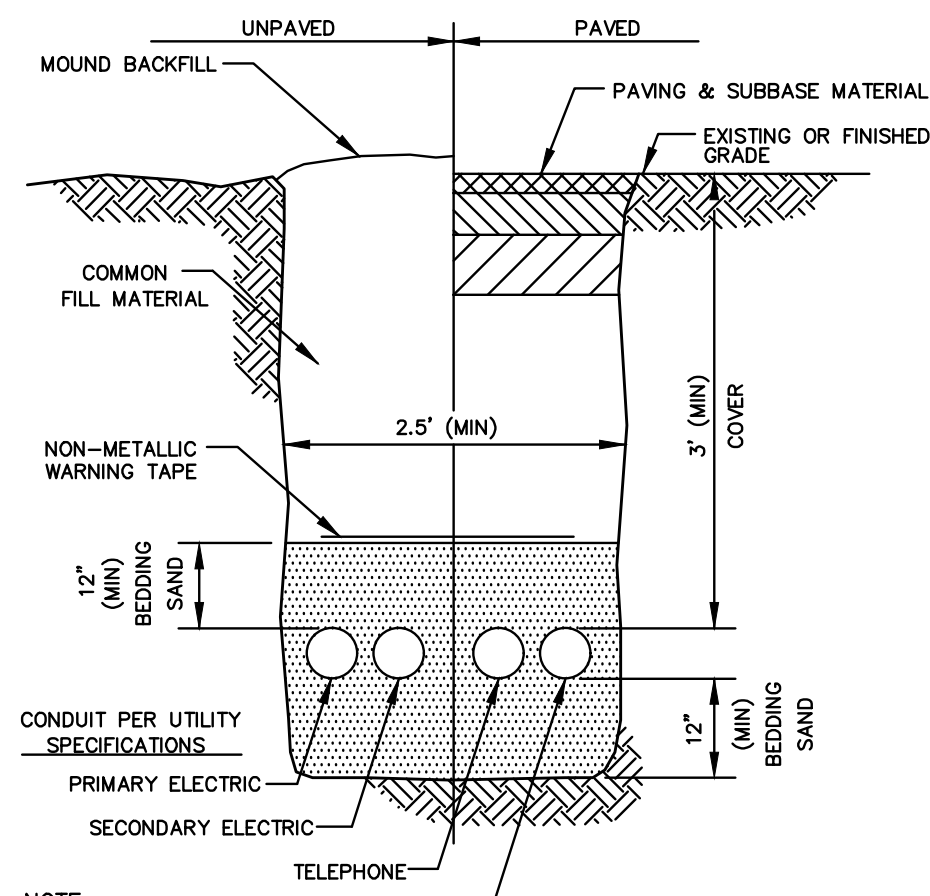


NOTES

1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
4. STOCKPILE MUST BE SEEDED AND/OR MULCHED PRIOR TO ONSET OF WINTER OPERATIONS.
5. OPERATION CONTROL SEED MIX SHALL BE SOWN IN ALL INACTIVE CONSTRUCTION AREAS THAT WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE.

MATERIALS STOCKPILE DETAIL

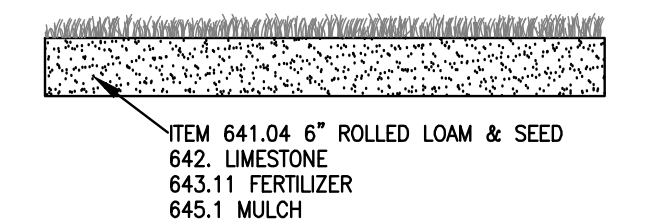
NOT TO SCALE



CONDUIT TRENCH DETAIL

NOT TO SCALE

NOTE: INFORMATION IS APPROXIMATE. CONTRACTOR SHALL FOLLOW JURISDICTIONAL UTILITY COMPANY STANDARDS



LOAM & SEED DETAIL

NOT TO SCALE

NOTE:

SEEDING SHALL BE MIN ONE POUND OF PERENNIAL GRASS SEED PER 50 SQ YD AREAS PER 704.1.2.

DETAIL SHEET - 1

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

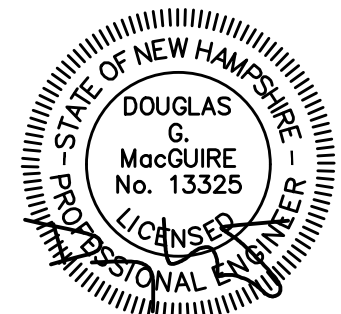
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: AS NOTED

DATE: DEC. 12, 2025



The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-DETAILS

SHEET 41 of 42

NO.	DATE	DESCRIPTION	BY

REVISIONS

Post Construction Operation and Maintenance Plan

MAINTENANCE SCHEDULE		
Frequency	Actions	Follow-up
Weekly (or after rain event)	Erosion Inspection	Take corrective action(s) if required
Quarterly	Complete Stormwater Inspection Report Reviewing all structures and BMP's	File Stormwater Inspection Report and take any corrective actions as needed
Semi Annually	Perform sediment removal from all structures and pipes as needed	Note any problem areas and inspect as necessary

Property Owners:

Belize Real Estate Holding, LLC
74 Page Road
Londonderry, NH 03053

Responsible Parties:

Installation/Operation & Maintenance:

Belize Real Estate Holding, LLC
74 Page Road
Londonderry, NH 03053

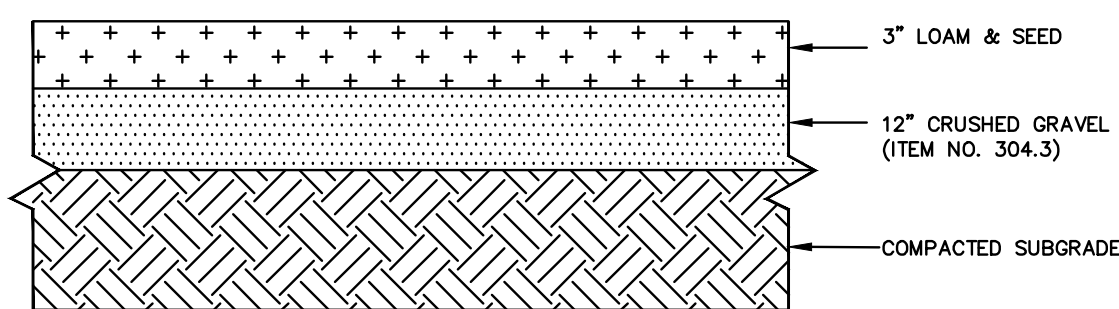
The owner (and all subsequent owners) shall be responsible for the installation of the drainage mitigation system and ongoing maintenance of the system(s). They shall include separate line items for the operation and maintenance of the systems in their yearly budget. Qualified personnel shall perform the required inspections. The responsible party will maintain records of all inspection reports and be accountable for implementation of any maintenance recommendations required by the inspector. All required maintenance shall be performed by a qualified contractor experienced with the particular BMP requiring the maintenance. All Stormwater related items and the respective operation and maintenance requirements for each have been detailed in the subsequent sections of the plan. Copies of maintenance records are to be provided to the Town Public Works on an annual basis.

Proposed Site BMP's

a) Detention Basin

Inspect soil and repair eroded areas monthly. Re-mulch void areas as needed. Remove litter and debris monthly. Treat diseased vegetation as needed. Remove and replace dead vegetation twice per year (spring and fall).

Basin Maintenance Schedule		
Activity	Time of Year	Frequency
Inspect & remove trash	Year round	Monthly
Mulch	Spring	Annually
Remove dead vegetation	Fall or Spring	Annually
Replace dead vegetation	Spring	Annually
Replace entire media & all vegetation	Late Spring/early Summer	As needed



TYPICAL MAINTENANCE ACCESS PATH SECTION DETAIL
NOT TO SCALE

Stormwater Inspection Report

Project Name _____ Location _____
 Date of Inspection _____ Start/End _____
 Inspector's Name(s) _____
 Inspector's Title(s) _____
 Inspector's Contact Info _____
 Type of Inspection _____
 Regular Pre-storm event During storm event Post-storm event
 Do you suspect that discharges may have occurred since the last inspection?
 Yes No
 Are there any discharges at the time of inspection?
 Yes No

BMP Description	BMP Installed and Operating Properly?	Corrective Action Needed	Date for corrective action/responsible person
A Detention Basins/Forebay	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Basin bottom or trench surface clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Inlet/Inflow pipes clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Overflow spillway clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Outlet clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Other Comments:

Inspection and Report prepared by:

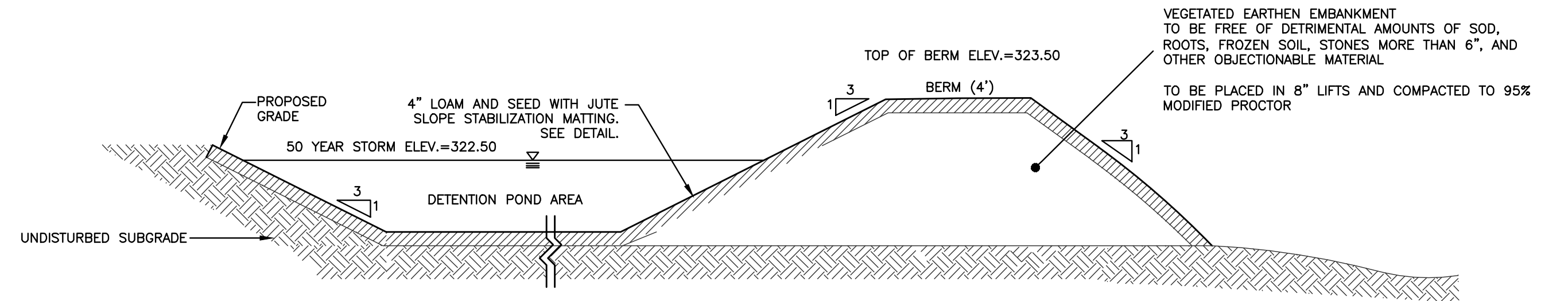
Print name: _____

Signature: _____ Date: _____

Copies to: _____

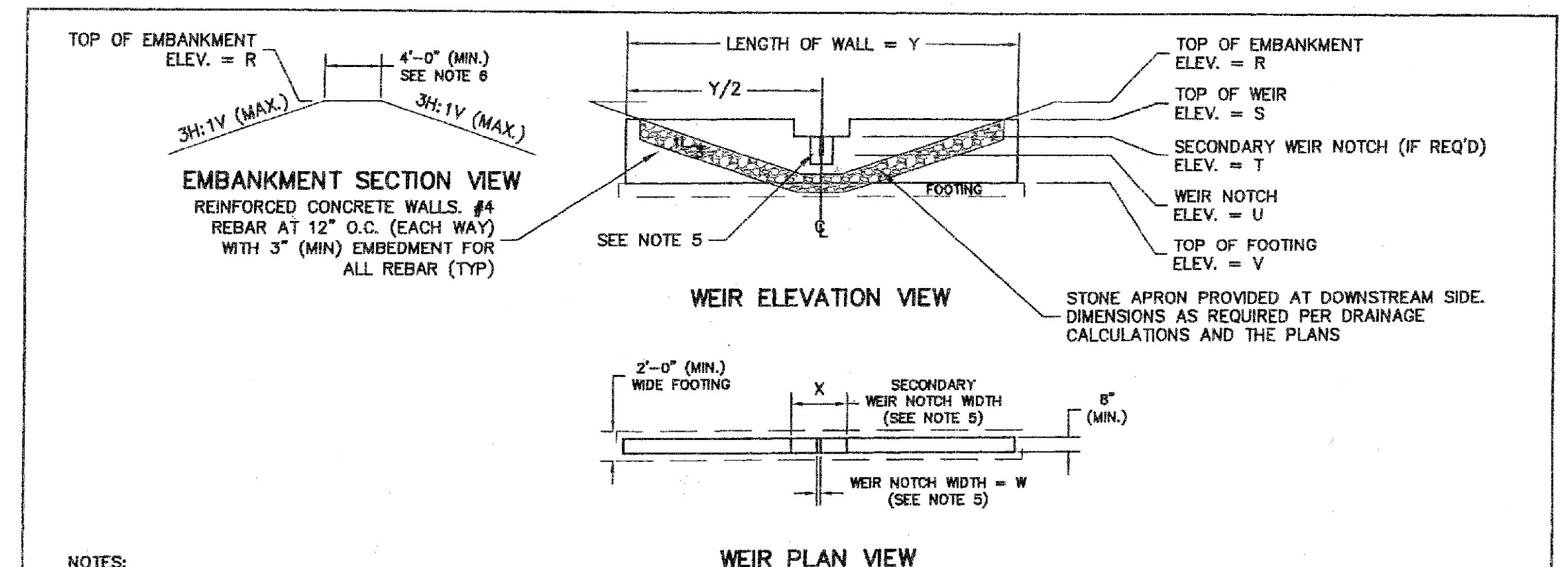
Owner: _____

City: _____



TYPICAL POND SECTION & PRINCIPLE SPILLWAY PROFILE DETAILS
NOT TO SCALE

NOTE:
 THE OWNER (AND ALL SUBSEQUENT OWNERS) SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE MITIGATION SYSTEM AND ONGOING MAINTENANCE OF THE SYSTEM(S). THEY SHALL INCLUDE SEPARATE LINE ITEMS FOR THE OPERATION AND MAINTENANCE OF THE SYSTEMS IN THEIR YEARLY BUDGET. QUALIFIED PERSONNEL SHALL PERFORM THE REQUIRED INSPECTIONS. THE RESPONSIBLE PARTY WILL MAINTAIN RECORDS OF ALL INSPECTION REPORTS AND BE ACCOUNTABLE FOR IMPLEMENTATION OF ANY MAINTENANCE RECOMMENDATIONS REQUIRED BY THE INSPECTOR. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR EXPERIENCED WITH THE PARTICULAR BMP REQUIRING THE MAINTENANCE. ALL STORMWATER RELATED ITEMS AND THE RESPECTIVE OPERATION AND MAINTENANCE REQUIREMENTS FOR EACH HAVE BEEN DETAILED IN THE SUBSEQUENT SECTIONS OF THE PLAN. COPIES OF MAINTENANCE RECORDS ARE TO BE PROVIDED TO THE TOWN PUBLIC WORKS ON AN ANNUAL BASIS.



NOTES:

- ALL CEMENT CONCRETE TO BE 4000 PSI (MIN).
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING DESIGN DETAILS AND STEEL REINFORCING PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- LOW FLOW STRUCTURE CAN BE USED AT DETENTION BASINS WITH INFLOWS OF LESS THAN 3 CFS.
- CONTROL WEIRS SHALL BE CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2 INCHES.
- CONTROL WEIR(S) SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIR LESS THAN 2 INCHES ATTACHED PER EXHIBIT D107. STAINLESS STEEL SHALL BE GRADE 316.
- MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 50-YEAR STORM ELEVATION.

LOCATION	ELEVATIONS/DIMENSIONS							
	R	S	T	U	V	W	X	Y
	323.50	322.50	321.00	320.00	365.00	1	2.33	20

*TABLE USES UNITS OF FEET.

TYPICAL LOW FLOW OUTLET STRUCTURE AT DETENTION BASINS

NOT TO SCALE
EXHIBIT D109

DETAIL SHEET -2

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

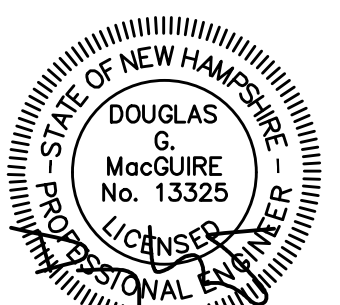
SCALE: AS NOTED

DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-DETAILS

SHEET 42 of 42



NO.	DATE	DESCRIPTION	BY