

ROCKPOINT COMMONS SITE PLAN

225 ROCKINGHAM ROAD LONDONDERRY, NEW HAMPSHIRE

NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSTRUCTION OF FORTY (40) TWO-STORY RESIDENTIAL RENTAL UNITS IN THREE (3) BUILDINGS AND ASSOCIATED FACILITIES ON TAX MAP 15 LOT 126 FOR A TOTAL OF 64,000 SF (GROSS).
- OWNER OF RECORD:
TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NH 03051
BOOK 6622 PAGE 362
- LOT AREA: PARCEL AREA: 261,191 S.F. OR 6.000 AC.
- THE PARCEL IS IN THE COMMERCIAL II (C-II) ZONING DISTRICT AND ROUTE 28 PERFORMANCE OVERLAY DISTRICT.
- DIMENSIONAL REQUIREMENTS:

C-II REQ.	PROPOSED
MINIMUM LOT AREA: 1 ACRE	6 ACRES
MINIMUM LOT FRONTAGE: 150'	227.63'
MINIMUM FRONT SETBACK: 60'	95'
MINIMUM SIDE SETBACK: 30'	66'
MINIMUM REAR SETBACK: 30'	209'
MAXIMUM BUILDING HEIGHT: 45'	43'
MAXIMUM BUILDING COVERAGE: 25%	12.7%
MINIMUM GREEN SPACE AREA: 33%	67.6%
MAXIMUM IMPERVIOUS COVERAGE: 66%	32.4%
GREEN SPACE BUFFER (ENCLOSED PERIMETER)	15'
GREEN SPACE BUFFER (ABUTTING PUBLIC R.O.W.)	30'
- THE LOT IS CURRENTLY A SINGLE FAMILY RESIDENCE.
- PARKING REQUIREMENTS: (Sec 3.09)
40 UNIT RESIDENTIAL @ 2 SP/UNIT (STATE LAW 1.5 SPACES PER UNIT)
80 SPACES REQUIRED, 81 SPACES PROVIDED (INCLUDING 4 HANDICAP SPACES)
- THE SITE IS SERVICED BY MANCHESTER WATER WORKS AND TOWN OF LONDONDERRY SEWER.
- ZBA CASES: NO ZBA CASES WERE FOUND.
- HORIZONTAL DATUM IS BASED ON STATE PLANE AND VERTICAL DATUM IS NAVD 1988 DERIVED FROM STATIS OPS OBSERVATIONS REDUCED BY OPUS. TOPOGRAPHIC INFORMATION IS BASED ON LIDAR DATA OBTAINED FROM LIDAR.UNH.EDU.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY NO. 33015C0317E, EFFECTIVE DATE MAY 17, 2005, INDICATES THE SUBJECT PREMISES IS LOCATED WITHIN ZONE X, NOT A DESIGNATED FLOOD HAZARD AREA.
- TAX MAP 15 LOT 126 IS SUBJECT TO THE FOLLOWING EASEMENT RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS:
 - GAS TRANSMISSION LINE EASEMENT: BOOK 1237 PAGE 237.
NO WIDTH OR LOCATION GIVEN.
GAS LINE SHOWN IS APPROXIMATE BASED ON MARKERS.
- THE FOLLOWING PERMITS ARE REQUIRED FOR THIS PROJECT:

NHDES SEWER CONNECTION PERMIT:	SC2025-1003, ISSUED 10-14-25
NHDES ALTERATION OF TERRAIN PERMIT:	10T-2935, ISSUED 10-24-25
LONDONDERRY STORMWATER PERMIT:	PENDING
LONDONDERRY SEWER PERMIT:	ISSUED OCTOBER 29, 2025
NHDOT CURBOUT PERMIT:	DOT-DR1-003236, ISSUED 10-29-25
- THE FOLLOWING WAIVERS ARE REQUIRED BY THE PLANNING BOARD:
 - SECTION (4.12.C.19.viii) LOCATE ALL TREES GREATER THAN 15" DIAMETER
- THE PLANNING BOARD REQUIRES APPROVAL OF A CONDITIONAL USE PERMIT FOR 900 S.F. WETLAND BUFFER IMPACT.
- "IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN."
- "IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN."
- "ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION."
- "IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 8676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY."
- "IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 8676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY."
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADES.
- TRASH PICK UP SHALL BE BY TOWN OF LONDONDERRY.
- HOURS OF CONSTRUCTION 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY.
- FLOWED SNOW FROM THE RESIDENTIAL DRIVEWAYS SHALL BE STORED IN THE DESIGNATED AREA SHOWN IN THIS PLAN SET. WHEN SNOW STORAGE AREAS ARE AT CAPACITY, SUBSEQUENT SNOW SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- THIS PLAN SET CONTAINS 33 SHEETS ALL ON FILE AT THE LONDONDERRY PLANNING DEPARTMENT.
- THE EDGE OF THE CONSERVATION OVERLAY DISTRICT AND NON DISTURBANCE ZONES SHALL BE APPROPRIATELY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
- COPIES OF THE STORMWATER MAINTENANCE DOCUMENTS TO BE SUBMITTED TO THE DEPARTMENT OF ENGINEERING AND ENVIRONMENTAL SERVICES ON A YEARLY BASIS AS REQUIRED BY THE STORMWATER MAINTENANCE PLAN.
- PROJECT PHASING: PROJECT SHALL BE CONSTRUCTED IN ONE PHASE.
- NO OUTSIDE STORAGE IS ALLOWED EXCEPT AS NOTED ON THE PLAN

PLAN INDEX

COVER SHEET
EXISTING CONDITIONS PLANS
SITE PLANS
GRADING PLANS
UTILITY PLANS
DRIVEWAY PROFILE
SANITARY SEWER PROFILE
NHDOT CURBOUT PLAN
NHDOT SIGHT DISTANCE PLAN
LANDSCAPE PLANS
LIGHTING PLAN
STORMWATER MAINTENANCE
CONSTRUCTION DETAILS
CONSTRUCTION CENTERLINE
ARCHITECTURAL PLANS

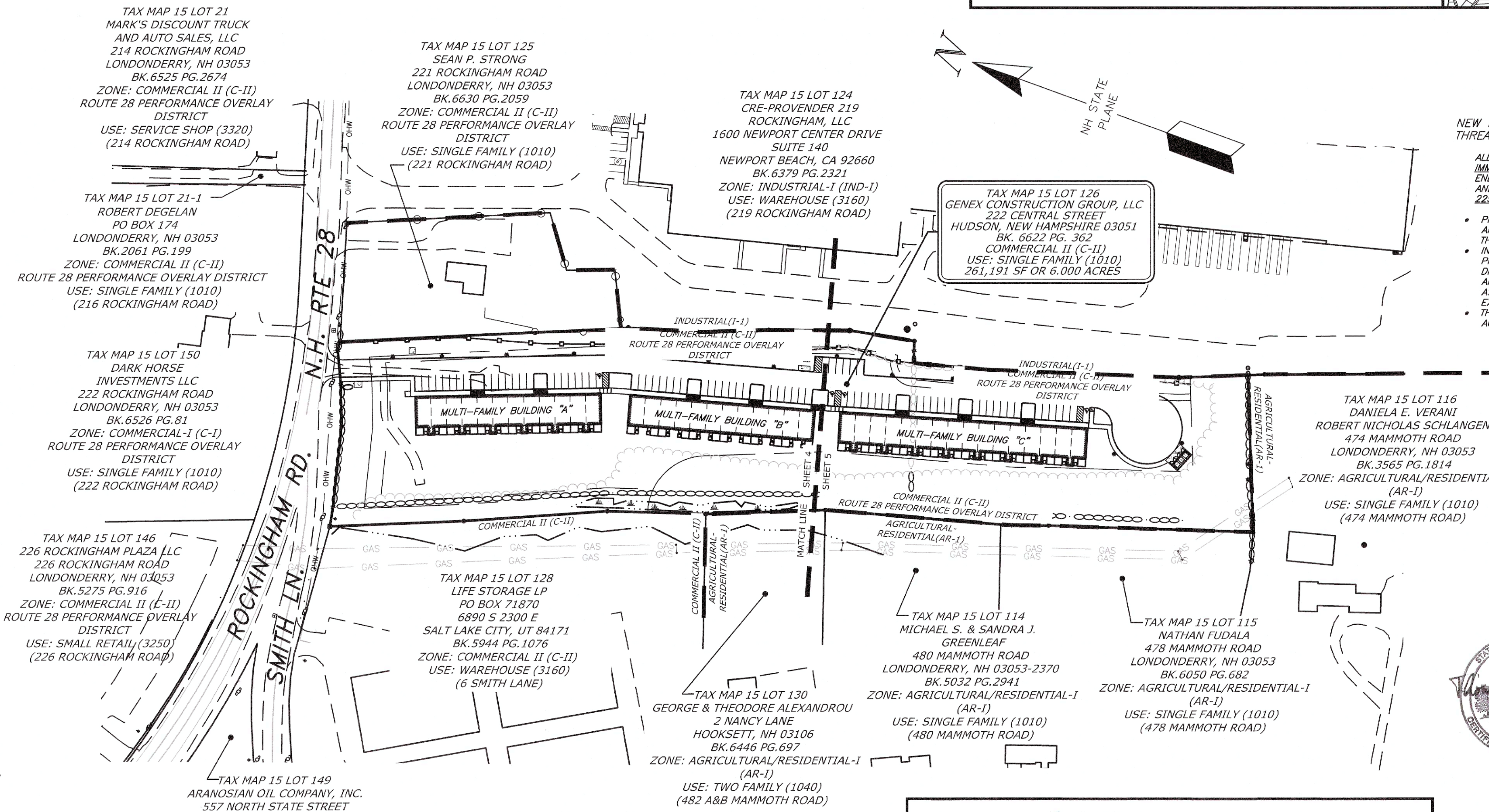
SHEET NO

1
2-3
4-5
6-8
9-11
12
13
14
15
16-17
18-19
20-21
22-28
29
30-33



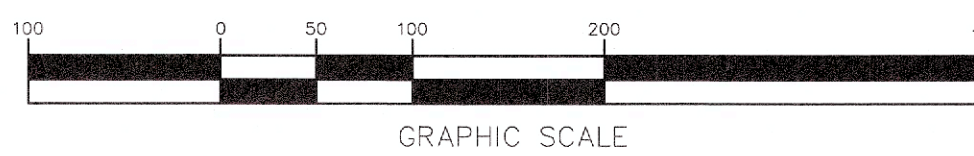
VICINITY MAP

SCALE: 1"=2500'



OVERVIEW PLAN

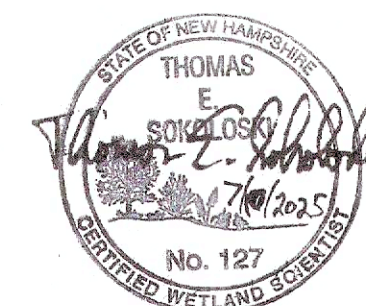
SCALE: =100'



NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGEVIEW@WILDLIFE.NH.GOV, EMAIL SUBJECT LINE: DCT25-2169, 225 ROCKINGHAM ROAD, LONDONDERRY, WILDLIFE SPECIES OBSERVATION.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE;
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG; IF ANY, TO ASSUME THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

WETLAND CERTIFICATION



THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON DECEMBER 12, 2024 ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L.	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126
COVER SHEET
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

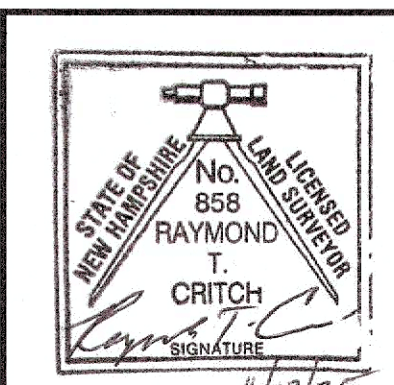
SCALE: 1" = 100'	JUNE 12, 2025	SHEET 1 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
FB: 692	PG: 28	503-22

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ENGINEERS, SURVEYORS & LANDSCAPE ARCHITECTS
603-622-5533 • 592 HARVEY ROAD MANCHESTER, NH 03103 • www.BedfordDesign.com

SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

Raymond T. Critch
L17/25
LICENSED LAND SURVEYOR DATE

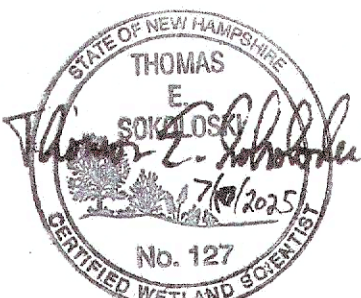


BENCHMARK DATA

THIS PLAN AND TOPOGRAPHIC INFORMATION WAS BASED ON SURVEY FIELD WORK PERFORMED ON MARCH 5 AND MAY 21, 2025 UTILIZING CARLSON BRX-7 GPS RECEIVERS AND CARLSON CRX-5 ROBOTIC TOTAL STATION. COORDINATE SYSTEM IS NEW HAMPSHIRE STATE PLANE BASED ON A STATIC OBSERVATION REDUCED UTILIZING OPUS. ELEVATIONS ARE NAVD 1988.

WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON DECEMBER 12, 2024 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTH-EAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



PLAN REFERENCES

- 1. MAP 15 PARCEL 126, SUBDIVISION PLAN, LAND OF LOUIS & JANE KUSZEK, IN LONDONDERRY, NH. SCALE: 1"=100'. DATED: MAY 1, 1985, LAST REV. 5/15/95, SURVEYED BY DONALD C. JENKS, L.L.S., R.C.R.D. PLAN NO. C-1362B.
2. BOUNDARY PLAN OF LAND OF AUGUST A. & PEARL HUFF STRINO NH ROUTE 128 & SMITH LANE LONDONDERRY, NH. DATED FEBRUARY 17, 1998, SURVEYED BY RONALD R. BURD, FOR AUGUST A. & PEARL H. STRINO, R.C.R.D. PLAN NO. 26257.
3. BOUNDARY PLAN PREPARED FOR BEN PEKIN CORPORATION, LAND OF LONDONDERRY FREEZER WAREHOUSE, L.L.C. ROCKINGHAM ROAD, ROUTE 28, LONDONDERRY, NH. PREPARED BY BEDFORD DESIGN CONSULTANTS, INC. R.C.R.D. PLAN NO. 26655 (SHEETS 1&2).
4. TAX MAP 15 - LOTS 116&116-1 MAMMOTH ROAD(NH ROUTE 128) LONDONDERRY, NH. DATED MAY 31ST, 2000, PREPARED FOR PATRICIA L. VERANI, SURVEYED BY ERIC C. MITCHELL, R.C.R.D. PLAN NO. 28592.
5. BOUNDARY PLAN PREPARED FOR AND LAND OF LONDONDERRY FREEZER WAREHOUSE ROCKINGHAM ROAD, (RTE.28) LONDONDERRY, NEW HAMPSHIRE. SURVEYED BY CRAIG FRANCISCO, DATED JUNE 29, 2011, R.C.R.D. PLAN NO. 36872.
6. MAP 15 PARCELS 116 & 123, SUBDIVISION PLAN LAND OF PATRICIA VERANI IN LONDONDERRY, N.H., SCALE: 1"=100'. DATED: AUGUST 7, 1984, PREPARED BY DONALD C. JENKS, L.L.S., R.C.R.D. PLAN NO. D-13359.
7. PLAN OF LAND OWNED BY PATRICIA VERANI, LONDONDERRY, N.H., SCALE: 1"=60', DATED: OCTOBER 18, 1975, PREPARED BY AMHERST SURVEY ASSOCIATES, INC. R.C.R.D. PLAN NO. D-9548.
8. ALTA/NSPS LAND TITLE SURVEY PREPARED FOR 219 ROCKINGHAM MZL, LLC, LAND OF LONDONDERRY FREEZER WAREHOUSE, DATA FEBRUARY 15, 2021, LAST REVISED 04/01/21, AND PREPARED BY BEDFORD DESIGN CONSULTANTS, INC.

TAX MAP 15 LOT 21 MARK'S DISCOUNT TRUCK AND AUTO SALES, LLC 214 ROCKINGHAM ROAD LONDONDERRY, NH 03053 BK.6525 PG.2674 ZONE: COMMERCIAL II (C-II) ROUTE 28 PERFORMANCE OVERLAY DISTRICT USE: SERVICE SHOP (3320) (214 ROCKINGHAM ROAD)

TAX MAP 15 LOT 21-1 ROBERT DEGELAN PO BOX 174 LONDONDERRY, NH 03053 BK.2061 PG.199 ZONE: COMMERCIAL II (C-II) ROUTE 28 PERFORMANCE OVERLAY DISTRICT USE: SINGLE FAMILY (1010) (216 ROCKINGHAM ROAD)

TAX MAP 15 LOT 150 DARK HORSE INVESTMENTS LLC 222 ROCKINGHAM ROAD LONDONDERRY, NH 03053 BK.6526 PG.81 ZONE: COMMERCIAL-I (C-I) ROUTE 28 PERFORMANCE OVERLAY DISTRICT USE: SINGLE FAMILY (1010) (222 ROCKINGHAM ROAD)

TAX MAP 15 LOT 146 226 ROCKINGHAM PLAZA LLC 226 ROCKINGHAM ROAD LONDONDERRY, NH 03053 BK.5275 PG.916 ZONE: COMMERCIAL II (C-II) ROUTE 28 PERFORMANCE OVERLAY DISTRICT USE: SMALL RETAIL (3250) (226 ROCKINGHAM ROAD)

TAX MAP 15 LOT 128 LIFE STORAGE LP PO BOX 71870 6890 S 2300 E SALT LAKE CITY, UT 84171 BK.5944 PG.1076 ZONE: COMMERCIAL II (C-II) USE: WAREHOUSE (3160) (6 SMITH LANE)

TAX MAP 15 LOT 149 ARANOSIAN OIL COMPANY, INC. 557 NORTH STATE STREET CONCORD, NH 03301 BK.3218 PG.1693 ZONE: COMMERCIAL II (C-II) USE: GAS MART (3300) (231 ROCKINGHAM ROAD)

TAX MAP 15 LOT 124 CRE-PROVENDER 219 ROCKINGHAM, LLC 1600 NEWPORT CENTER DRIVE SUITE 140 NEWPORT BEACH, CA 92660 BK.6379 PG.2321 ZONE: INDUSTRIAL-I (IND-I) USE: WAREHOUSE (3160) (219 ROCKINGHAM ROAD)

TAX MAP 15 LOT 125 SEAN P. STROING 221 ROCKINGHAM ROAD LONDONDERRY, NH 03053 BK.6630 PG.2059 ZONE: COMMERCIAL II (C-II) ROUTE 28 PERFORMANCE OVERLAY DISTRICT USE: SINGLE FAMILY (1010) (221 ROCKINGHAM ROAD)

TAX MAP 15 LOT 126 GENEX CONSTRUCTION GROUP, LLC HUDSON, NEW HAMPSHIRE 03051 BK. 6622 PG. 362 COMMERCIAL II (C-II) USE: SINGLE FAMILY (1010) 261,191 SF OR 6,000 ACRES

TAX MAP 15 LOT 130 GEORGE & THEODORE ALEXANDROU 2 NANCY LANE HOOKSETT, NH 03106 BK.6446 PG.697 ZONE: AGRICULTURAL/RESIDENTIAL-I (AR-I) USE: TWO FAMILY (1040) (482 A&B MAMMOTH ROAD)

LEGEND

- BOUNDARY LINE
ABUTTING PROPERTY LINE
BUILDING SETBACK LINE
EDGE OF PAVEMENT
ZONE LINE
SHEET MATCHLINE
10' CONTOUR
2' CONTOUR
TREE LINE
CHAIN LINK FENCE
STONEWALL
WATER LINE
SEWER LINE
OVERHEAD WIRES
DRAINAGE LINE
EDGE OF WETLANDS
WETLAND BUFFER
BUILDING
ROADWAY MARKINGS
SITE SPECIFIC SOIL LINE
SITE SPECIFIC SOIL TYPE

SOIL LEGEND

THIS DETAILED SITE-SPECIFIC SOIL MAP, PREPARED ON DECEMBER 12, 2024 BY THOMAS E. SOKOLOSKI, CERTIFIED SOIL SCIENTIST #063 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. IN BOW, NEW HAMPSHIRE, CONFORMS TO THE STANDARDS OF SSSNNE PUBLICATION NO. 3, VERSION 7.0, 'SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT', MARCH 2021. THIS MAP HAS BEEN PREPARED TO COMPLY WITH SOIL MAPPING REQUIREMENTS OF RSA 485 A: 17 AND NHDES ENV-WO 1500, ALTERATION OF TERRAIN, SEE ACCOMPANYING REPORT FOR METHODOLOGY, MAP SYMBOL LEGEND, AND INTERPRETATIONS. USE OF THE MAP SYMBOL DENOMINATORS FOR DISTURBED OR ALTERED SOILS, WHERE GIVEN, IS AT THE DISCRETION OF THE CERTIFIED SOIL SCIENTIST.

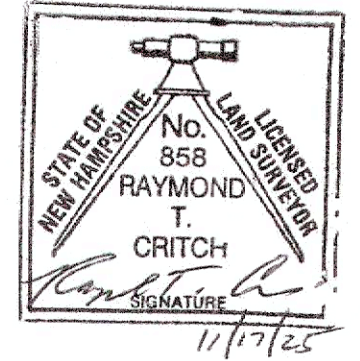
Table with columns: SSSM SYM., MAP UNIT, DRAINAGE CLASS, HIS**. Rows include soil types like CHATFIELD FINE SANDY LOAM, CHATFIELD FINE SANDY LOAM, CHATFIELD FINE SANDY LOAM, etc.

* REFER TO ACCOMPANYING REPORT FOR 5-UNIT SUPPLEMENTAL SYMBOL EXPLANATION.
** SSSNNE RECENTLY RECOMMENDED USING HYDROLOGIC SOIL INDEX INSTEAD OF NRCS HYDROLOGIC SOIL GROUP.

SLOPE PHASE:
0-8% B 8-15% C 15-25% D 25%+ E

NOTES

- 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT ON TAX MAP 15 LOT 126, LOCATED AT 225 ROCKINGHAM ROAD IN LONDONDERRY, NH.
2. OWNER OF RECORD: TAX MAP 15 LOT 126 GENEX CONSTRUCTION GROUP, LLC 222 CENTRAL STREET HUDSON, NH 03051 BOOK 6622 PAGE 362
3. LOT AREA: PARCEL AREA: 261,191 S.F. OR 6,000 AC.
4. THE PARCEL IS IN THE COMMERCIAL II (C-II) ZONING DISTRICT AND ROUTE 28 PERFORMANCE OVERLAY DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
MINIMUM LOT AREA: 1 ACRE
MINIMUM LOT FRONTAGE: 150'
MINIMUM FRONT SETBACK: 60'
MINIMUM SIDE SETBACK: 30'
MINIMUM REAR SETBACK: 30'
MAXIMUM BUILDING HEIGHT: 45'
MAXIMUM BUILDING COVERAGE: 25%
MINIMUM GREEN SPACE AREA: 33%
MAXIMUM IMPERVIOUS COVERAGE: 80%
GREEN SPACE BUFFER (ENCLOSED PERIMETER): 15'
GREEN SPACE BUFFER (ABUTTING PUBLIC R.O.W.): 30'
5. THE SITE IS CURRENTLY SERVICED BY MANCHESTER WATER WORKS AND TOWN SEWER SYSTEMS.
6. FIELD SURVEY PERFORMED ON MARCH 5 & MAY 21, 2025.
7. HORIZONTAL DATUM IS BASED ON STATE PLANE AND VERTICAL DATUM IS NAVD 1988 DERIVED FROM STATIS GPS OBSERVATIONS REDUCED BY OPUS. TOPOGRAPHIC INFORMATION IS BASED ON LIDAR DATA OBTAINED FROM LIDAR.UNH.EDU.
8. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY NO. 3301500317E, EFFECTIVE DATE MAY 17, 2005, INDICATES THE SUBJECT PREMISES IS LOCATED WITHIN ZONE X, NOT A DESIGNATED FLOOD HAZARD AREA.
9. TAX MAP 15 LOT 126 IS SUBJECT TO THE FOLLOWING EASEMENT RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS:
A. GAS TRANSMISSION LINE EASEMENT: BOOK 1237 PAGE 237. NO WIDTH OR LOCATION GIVEN. GAS LINE SHOWN IS APPROXIMATE BASED ON MARKERS.
10. REFER TO SHEET 3 FOR TEST PIT INFORMATION.



SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).
Raymond T. Critch 11/17/25
LICENSED LAND SURVEYOR DATE

OWNER'S SIGNATURE
NAME: [Signature] DATE: 8/4/25

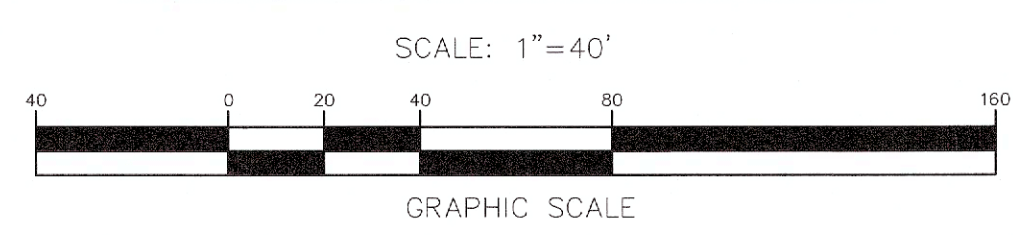


Table with columns: DATE, DESCRIPTION, BY, REV. Rows include review dates and descriptions like PER DRC - STANTEC REVIEW #2, PER DRC PLAN REVIEW, etc.

TAX MAP 15 LOT 126 EXISTING CONDITIONS PLAN ROCKPOINT COMMONS LOCATED AT: 225 ROCKINGHAM ROAD LONDONDERRY, NEW HAMPSHIRE ROCKINGHAM COUNTY PREPARED FOR/OWNER: GENEX CONSTRUCTION GROUP, LLC 222 CENTRAL STREET HUDSON, N.H. 03051 BOOK 6622 PAGE 362
SCALE: 1" = 40' JUNE 12, 2025 SHEET 2 OF 33
DESIGN: T.N.B. DRAWN: T.N.B. CHECKED: R.T.C. FB: 692 PG: 28 503-22
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G:\PROJECT\0503022 GENEX Rockingham Road\DWG\0503022S101.dwg

PLAN REFERENCES

- "MAP 15 PARCEL 126, SUBDIVISION PLAN, LAND OF LOUIS & JANE KUSZEK," IN LONDONDERRY, NH, SCALE: 1"=100', DATED: MAY 1, 1986, SURVEYED BY DONALD C. JENKS, L.L.S., R.C.R.D. PLAN NO. C-1382B.
- "BOUNDARY PLAN OF LAND OF AUGUST A. & PEARL HUFF STRINO NH ROUTE 128 & SMITH LANE LONDONDERRY, NH" DATED FEBRUARY 17, 1998, SURVEYED BY RONALD R. BURD, FOR AUGUST A. & PEARL H. STRINO, R.C.R.D. PLAN NO. 26257.
- "BOUNDARY PLAN PREPARED FOR BEN PEKIN CORPORATION, LAND OF LONDONDERRY FREEZER WAREHOUSE, L.L.C. ROCKINGHAM ROAD, ROUTE 28, LONDONDERRY, NH." PREPARED BY BEDFORD DESIGN CONSULTANTS, INC. R.C.R.D. PLAN NO. 26655 (SHEETS 1&2).
- "TAX MAP 15 - LOTS 116&116-1 MAMMOTH ROAD(NH ROUTE 128) LONDONDERRY, NH." DATED MAY 31ST, 2000, PREPARED FOR PATRICIA L. VERANI, SURVEYED BY ERIC C. MITCHELL, R.C.R.D. PLAN NO. 28592.
- "BOUNDARY PLAN PREPARED FOR AND LAND OF LONDONDERRY FREEZER WAREHOUSE ROCKINGHAM ROAD, (RTE.28) LONDONDERRY, NEW HAMPSHIRE." SURVEYED BY CRAIG FRANCISCO, DATED JUNE 29, 2011, R.C.R.D. PLAN NO. 36872.
- "MAP 15 PARCELS 116 & 123, SUBDIVISION PLAN LAND OF PATRICIA VERANI IN LONDONDERRY, N.H.," SCALE: 1"=100', DATED: AUGUST 7, 1984, PREPARED BY DONALD C. JENKS, L.L.S. R.C.R.D. PLAN NO. D-13359.
- "PLAN OF LAND OWNED BY PATRICIA VERANI, LONDONDERRY, N.H.," SCALE: 1"=60', DATED: OCTOBER 18, 1975, PREPARED BY AMHERST SURVEY ASSOCIATES, INC. R.C.R.D. PLAN NO. D-9548.
- "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR 219 ROCKINGHAM MZL, LLC, LAND OF LONDONDERRY FREEZER WAREHOUSE", DATA FEBRUARY 15, 2021, LAST REVISED 04/01/21, AND PREPARED BY BEDFORD DESIGN CONSULTANTS, INC.

WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON DECEMBER 12, 2024 ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

SOIL LEGEND

THIS DETAILED SITE-SPECIFIC SOIL MAP, PREPARED ON DECEMBER 12, 2024 BY THOMAS E. SOKOLOSKI, CERTIFIED SOIL SCIENTIST #063 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. IN BOW, NEW HAMPSHIRE, CONFORMS TO THE STANDARDS OF SSSSINE PUBLICATION NO. 3, VERSION 7.0, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT", MARCH 2021. THIS MAP HAS BEEN PREPARED TO COMPLY WITH SOIL MAPPING REQUIREMENTS OF RSA 485 A: 17 AND NHDES ENV-WO 1500, ALTERATION OF TERRAIN. SEE ACCOMPANYING REPORT FOR METHODOLOGY, MAP SYMBOL LEGEND, AND INTERPRETATIONS. USE OF THE MAP SYMBOL DENOMINATORS FOR DISTURBED OR ALTERED SOILS, WHERE GIVEN, IS AT THE DISCRETION OF THE CERTIFIED SOIL SCIENTIST. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE IN SUPPORT OF A NEW HAMPSHIRE ALTERATION OF TERRAIN PERMIT APPLICATION. IT WAS PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP.

SSSM SYM.*	MAP UNIT	DRAINAGE CLASS	HIS**
89B	CHATFIELD FINE SANDY LOAM	WELL	C
89C	CHATFIELD FINE SANDY LOAM	WELL	C
89D	CHATFIELD FINE SANDY LOAM	WELL	C
400B/dcccc	UDORRTHENTS, SANDY	MODERATELY WELL	C
400B/hcccc	UDORRTHENTS, SANDY	UNDETERMINABLE	C
448B	SCITUATE FINE SANDY LOAM	MODERATELY WELL	C
448C	SCITUATE FINE SANDY LOAM	MODERATELY WELL	C
448D	SCITUATE FINE SANDY LOAM	MODERATELY WELL	C
656B	RIDGEBURY FINE SANDY LOAM	POORLY	D

* REFER TO ACCOMPANYING REPORT FOR 5-UNIT SUPPLEMENTAL SYMBOL EXPLANATION.
** SSSSINE RECENTLY RECOMMENDED USING HYDROLOGIC SOIL INDEX INSTEAD OF NRCS HYDROLOGIC SOIL GROUP.

SLOPE PHASE:
0-8% B 8-15% C 15-25% D 25%+ E



LOCUS MAP
(SCALE: 1"=2500')

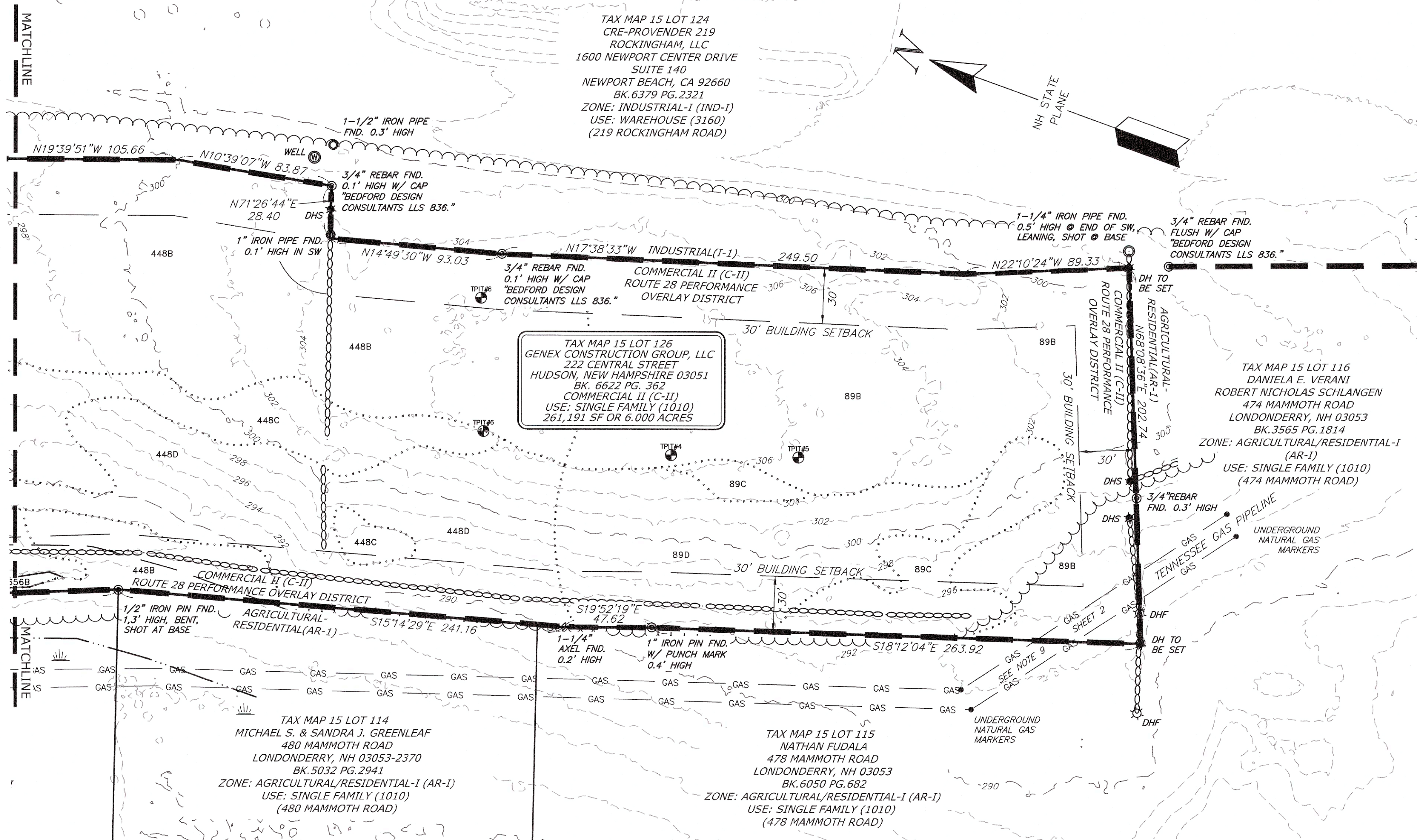
TEST PITS

TEST PITS OBSERVED BY THOMAS E. SOKOLOSKI, CERTIFIED NH SOIL SCIENTIST #063 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. IN BOW, NEW HAMPSHIRE ON APRIL 24, 2025.

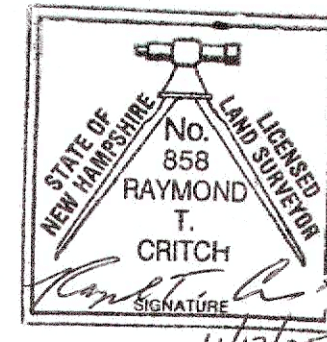
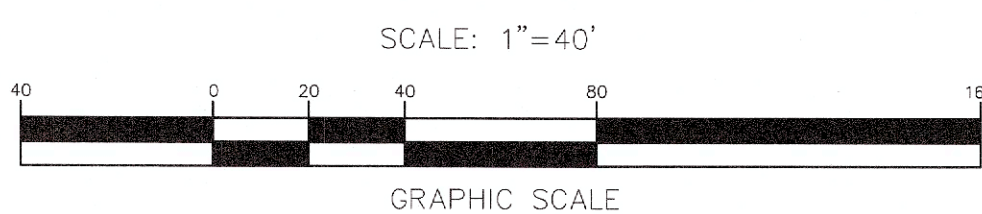
- TEST PIT NO. 1**
0-6 2.5Y 3/3 SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
6-29 10YR 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
29-86 2.5Y 6/3 GRAVELLY LOAMY SAND, MASSIVE, FIRM, COMMON FINE ROOTS, 7.5YR5/8 CONCENTRATIONS AT 30"
ESHWT AT 30", ROOTS TO 36", OBSERVED WATER AT 76", NO LEDGE, RESTRICTIVE LAYER AT 29"
- TEST PIT NO. 2**
0-14 10YR 3/2 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
14-34 10YR 5/4 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
34-74 2.5Y 6/3 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR5/6 CONCENTRATIONS AT 37"
ESHWT AT 37", ROOTS TO 40", OBSERVED WATER AT 65", NO LEDGE, RESTRICTIVE LAYER AT 34"
- TEST PIT NO. 3**
0-14 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
14-30 2.5Y 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
30-74 2.5Y 5/4 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR4/6 CONCENTRATIONS AT 33"
ESHWT AT 33", ROOTS TO 38", OBSERVED WATER AT 62", NO LEDGE, RESTRICTIVE LAYER AT 30"
- TEST PIT NO. 4**
0-4 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
4-20 10YR 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
20-22 2.5Y 5/2 SANDY LOAM, BLOCKY FRIABLE, COMMON FINE ROOTS
NO ESHWT AT 22", ROOTS TO 22", NO WATER AT 22", LEDGE AT 22", NO RESTRICTIVE LAYER
- TEST PIT NO. 5**
0-7 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
7-19 10YR 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
19-23 2.5Y 5/2 SANDY LOAM, BLOCKY FRIABLE, COMMON FINE ROOTS
NO ESHWT AT 23", ROOTS TO 23", NO WATER AT 23", LEDGE AT 23", NO RESTRICTIVE LAYER
- TEST PIT NO. 6**
0-8 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
8-21 10YR 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
21-56 2.5Y 6/2 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS
NO ESHWT AT 56", ROOTS TO 34", NO WATER AT 56", NO LEDGE AT 56", RESTRICTIVE LAYER AT 21"
- TEST PIT NO. 7**
0-8 10YR 3/3 FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
8-33 2.5Y 5/6 SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
33-60 2.5Y 6/3 LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS
NO ESHWT AT 60", ROOTS TO 42", NO WATER AT 60", NO LEDGE AT 60", RESTRICTIVE LAYER AT 33"

LEGEND

- BOUNDARY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- ZONE LINE
- SHEET MATCHLINE
- 290 10' CONTOUR
- 288 2' CONTOUR
- TREE LINE
- CHAIN LINK FENCE
- STONEWALL
- W WATER LINE
- S SEWER LINE
- OHW OVERHEAD WIRES
- D DRAINAGE LINE
- EDGE OF WETLANDS
- WETLAND BUFFER
- BUILDING
- ROADWAY MARKINGS
- SITE SPECIFIC SOIL TYPE
- 448C
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- IRON PIPE FOUND
- UTILITY POLE
- GUY WIRE
- GRANITE BOUND FOUND
- REBAR FOUND
- DRILL HOLE SET
- DRILL HOLE FOUND
- BENCHMARK
- MAILBOX
- WATER GATE VALVE
- TREES
- WATER SHUTOFF
- FIRE HYDRANT
- WETLAND SYMBOL
- SIGN



OWNER'S SIGNATURE
NAME *Mano J. [Signature]* DATE 8/4/25



SURVEYOR CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

Thomas E. Sokoloski 11/17/25
LICENSED LAND SURVEYOR DATE

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L.	E
11-12-25	PER DRC PLAN REVIEW	J.S.T.	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T.	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T.	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T.	A

TAX MAP 15 LOT 126
EXISTING CONDITIONS PLAN
ROCKPOINT COMMONS
LOCATED AT:
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
ROCKINGHAM COUNTY
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 40' JUNE 12, 2025 SHEET 3 OF 33

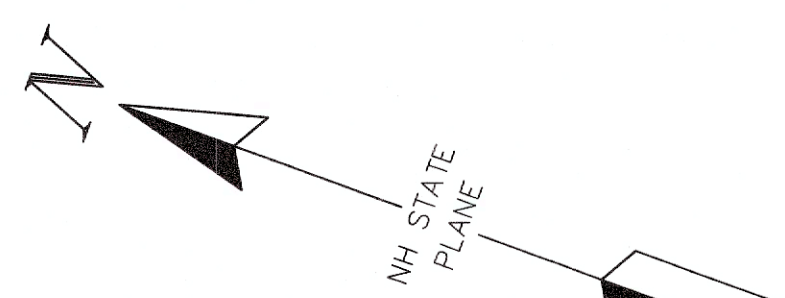
DESIGN: J.S.T.	DRAWN: T.N.B.	CHECKED: R.T.C.	FB: 692	PG: 28	503-22
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SEE SHEET 2 & 3 FOR PLAN REFERENCES



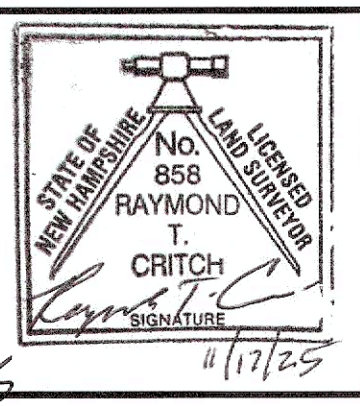
VICINITY MAP
(SCALE: 1"=2500')

LEGEND

- BOUNDARY/PROPERTY LINE
- ABUTTING PROPERTY LINE
- SETBACK LINE
- EDGE OF JURISDICTIONAL WETLANDS
- ZONE LINE
- SHEET MATCHLINE
- WETLAND SYMBOL
- WETLAND BUFFER
- EXISTING WATERWAY
- PROPOSED TREE LINE
- EXISTING TREE LINE
- EXISTING ROADWAY
- PROPOSED ROADWAY
- PROPOSED CURBING
- EXISTING CURBING
- EXISTING STOCKADE FENCE
- PROPOSED PVC FENCE
- EXISTING CHAINLINK FENCE
- OHW
- EXISTING OVERHEAD UTILITIES
- EXISTING GUARDRAIL
- PROPOSED BUILDING
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- REBAR FOUND
- STONE BOUND FOUND
- REBAR TO BE SET
- GRANITE BOUND TO BE SET
- IRON PIPE FOUND
- BENCHMARK SET
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- #OF PARKING SPACES
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT

BENCHMARK DATA

THIS PLAN AND TOPOGRAPHIC INFORMATION WAS BASED ON SURVEY FIELD WORK PERFORMED ON MARCH 5 AND MAY 21, 2025 UTILIZING CARLSON BRX-7 GPS RECEIVERS AND CARLSON CRX-5 ROBOTIC TOTAL STATION. COORDINATE SYSTEM IS NEW HAMPSHIRE STATE PLANE BASED ON A STATIC OBSERVATION REDUCED UTILIZING OPUS. ELEVATIONS ARE NAVD 1988.



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Raymond T. Critch
LICENSED LAND SURVEYOR
11/17/25
DATE

TAX MAP 15 LOT 126

SITE PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

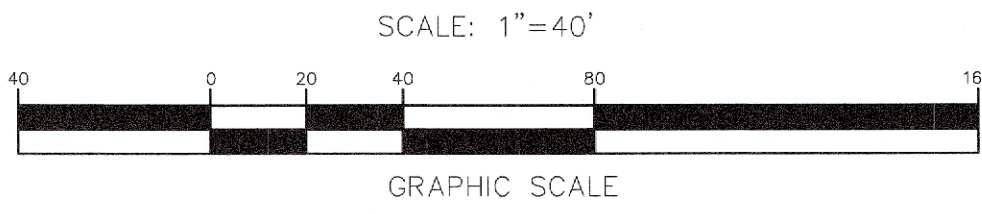
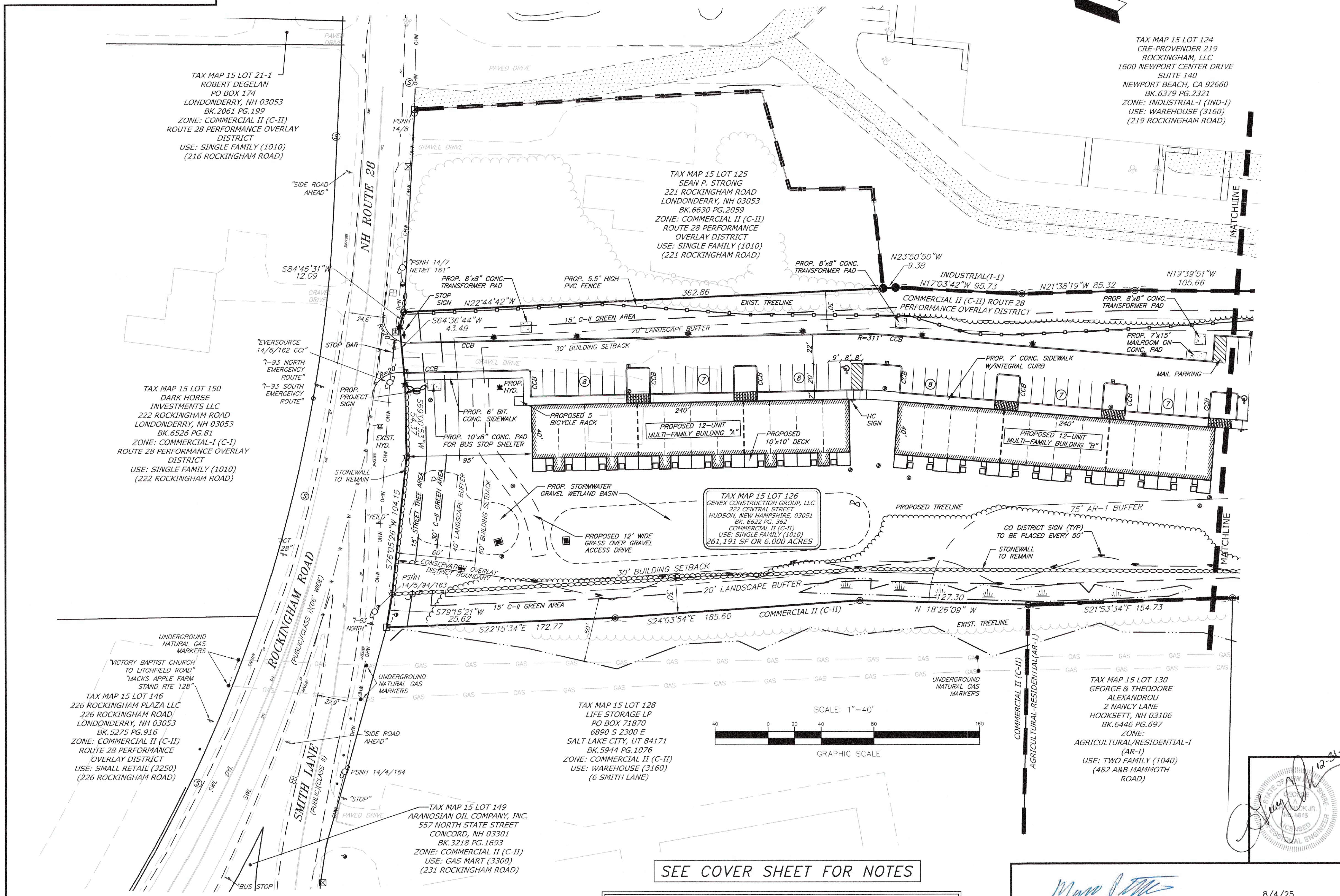
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 40' JUNE 12, 2025 SHEET 4 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	692	28	503-22

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SEE COVER SHEET FOR NOTES

Approved by the Londonderry, NH Planning Board for Phase _____ on Date: _____

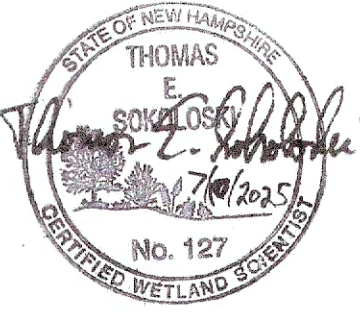
Certified By: _____

M. J. [Signature]
OWNER'S SIGNATURE 8/4/25 DATE

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON DECEMBER 12, 2024 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.



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PLAN REFERENCES

- "MAP 15 PARCEL 126, SUBDIVISION PLAN, LAND OF LOUIS & JANE KUSZEK, IN LONDONDERRY, NH. SCALE: 1"=100', DATED: MAY 1, 1985, LAST REV. 5/15/85, SURVEYED BY DONALD C. JENKS, L.L.S., R.C.R.D. PLAN NO. C-13628.
- "BOUNDARY PLAN OF LAND OF AUGUST A. & PEARL HUFF STRINO NH ROUTE 128 & SMITH LANE LONDONDERRY, NH DATED FEBRUARY 17, 1998, SURVEYED BY RONALD R. BURD, FOR AUGUST A. & PEARL H. STRINO, R.C.R.D. PLAN NO. 26257.
- "BOUNDARY PLAN PREPARED FOR BEN PEKIN CORPORATION, LAND OF LONDONDERRY FREEZER WAREHOUSE, L.L.C. ROCKINGHAM ROAD, ROUTE 28, LONDONDERRY, NH." PREPARED BY BEDFORD DESIGN CONSULTANTS, INC. R.C.R.D. PLAN NO. 26655 (SHEETS 1&2).
- "TAX MAP 15 - LOTS 116&116-1 MAMMOTH ROAD(NH ROUTE 128) LONDONDERRY, NH." DATED MAY 31ST, 2000, PREPARED FOR PATRICIA L. VERANI, SURVEYED BY ERIC C. MITCHELL, R.C.R.D. PLAN NO. 28592.
- "BOUNDARY PLAN PREPARED FOR AND LAND OF: LONDONDERRY FREEZER WAREHOUSE ROCKINGHAM ROAD, (RTE.28) LONDONDERRY, NEW HAMPSHIRE." SURVEYED BY CRAIG FRANCISCO, DATED JUNE 29, 2011. R.C.R.D. PLAN NO. 36872.
- "MAP 15 PARCELS 116 & 123, SUBDIVISION PLAN LAND OF PATRICIA VERANI IN LONDONDERRY, N.H." SCALE: 1"=100', DATED: AUGUST 7, 1984, PREPARED BY DONALD C. JENKS, L.L.S. R.C.R.D. PLAN NO. D-13359.
- "PLAN OF LAND OWNED BY PATRICIA VERANI, LONDONDERRY, N.H." SCALE: 1"=60', DATED: OCTOBER 18, 1975, PREPARED BY AMHERST SURVEY ASSOCIATES, INC. R.C.R.D. PLAN NO. D-9548.
- "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR 219 ROCKINGHAM MZL, LLC, LAND OF LONDONDERRY FREEZER WAREHOUSE," DATA FEBRUARY 15, 2021, LAST REVISED 04/01/21, AND PREPARED BY BEDFORD DESIGN CONSULTANTS, INC.



VICINITY MAP
(SCALE: 1"=2500')

LEGEND

—	BOUNDARY/PROPERTY LINE	⊕	EXISTING UTILITY POLE
—	ABUTTING PROPERTY LINE	⊙	EXISTING GUY WIRE
—	SETBACK LINE	⊙	REBAR FOUND
—	EDGE OF JURISDICTIONAL WETLANDS	⊙	STONE BOUND FOUND
—	ZONE LINE	⊙	REBAR TO BE SET
—	SHEET MATCHLINE	⊙	GRANITE BOUND TO BE SET
—	WETLAND SYMBOL	⊙	IRON PIPE FOUND
—	WETLAND BUFFER	⊕	BENCHMARK SET
—	EXISTING WATERWAY	⊕	EXISTING LIGHT POLE
—	PROPOSED TREE LINE	⊕	PROPOSED LIGHT POLE
—	EXISTING TREE LINE	⊕	SEWER MANHOLE
—	EXISTING ROADWAY	⊕	DRAIN MANHOLE
—	PROPOSED ROADWAY	⊕	# OF PARKING SPACES
—	PROPOSED CURBING	⊕	EXISTING CATCH BASIN
—	EXISTING CURBING	⊕	PROPOSED CATCH BASIN
—	EXISTING STOCKADE FENCE	⊕	EXISTING HYDRANT
—	PROPOSED PVC FENCE	⊕	PROPOSED HYDRANT
—	EXISTING CHAINLINK FENCE		
—	OHW		
—	EXISTING OVERHEAD UTILITIES		
—	EXISTING GUARDRAIL		
—	PROPOSED BUILDING		

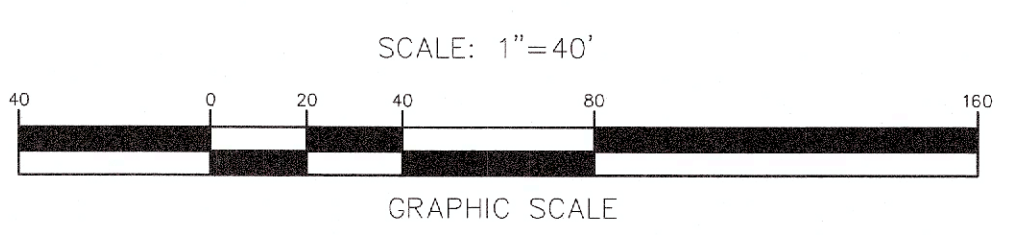
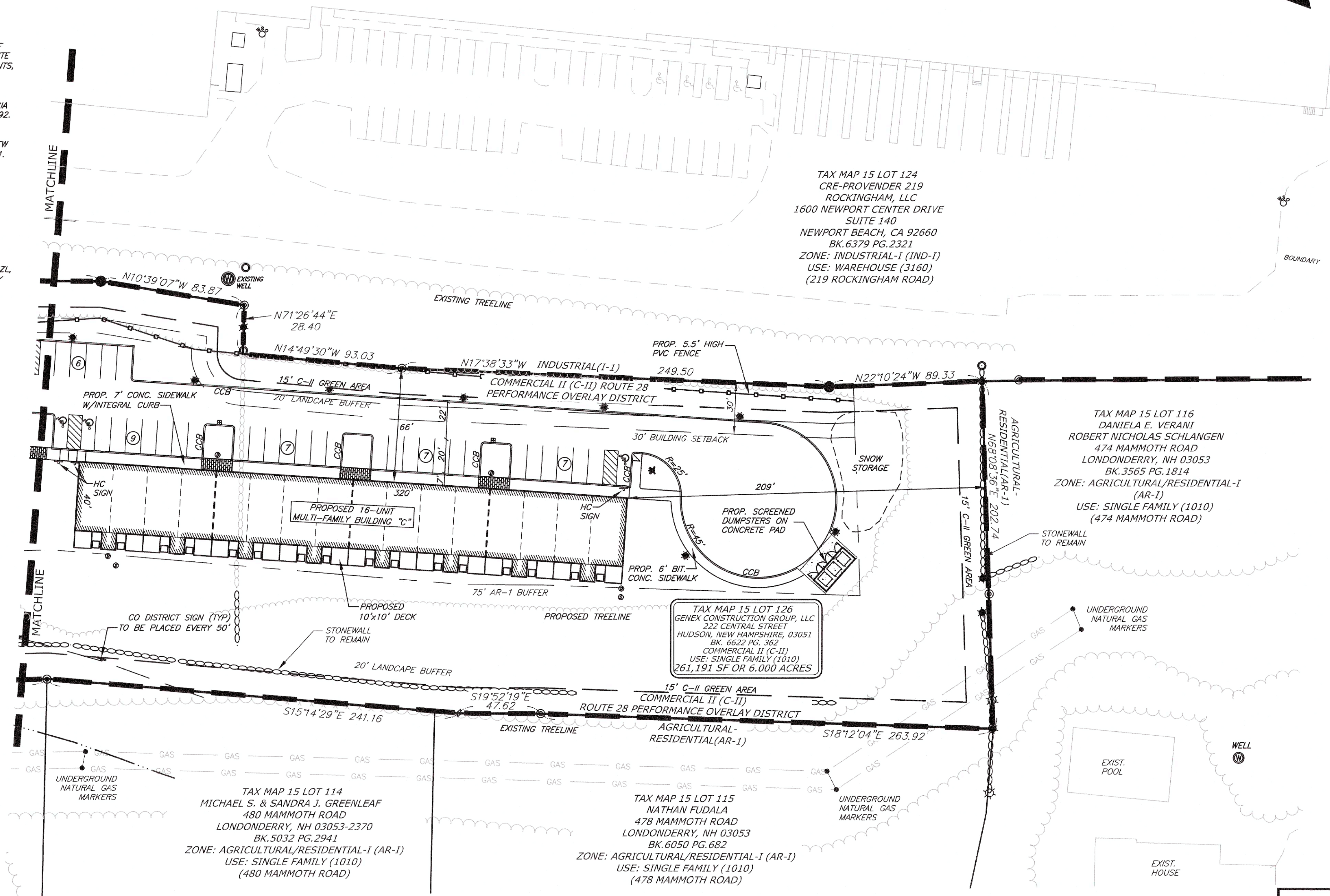
BENCHMARK DATA

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SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ADULT FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

Raymond T. Critch 11/17/25
LICENSED LAND SURVEYOR DATE



SEE COVER SHEET FOR NOTES

WETLAND CERTIFICATION

THOMAS SOKOLOSKI, CERTIFIED WETLAND SCIENTIST #127, OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. OF BOW, NH, PERFORMED THE WETLAND IDENTIFICATION AND DELINEATION ON DECEMBER 12, 2024 ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.

Approved by the Londonderry, NH Planning Board for Phase _____
on Date: _____

Certified By: _____

Manoj...
OWNER'S SIGNATURE 8/4/25
DATE

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BUL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126

SITE PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

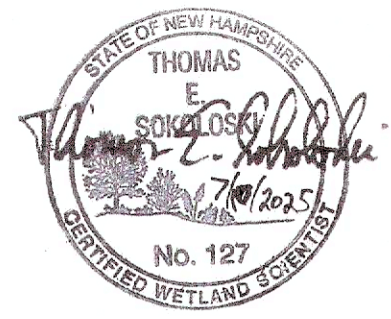
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 40' JUNE 12, 2025 SHEET 5 OF 33

DESIGN: JST	DRAWN: JST	CHECKED: GAC	FB: 692	PG: 28	503-22
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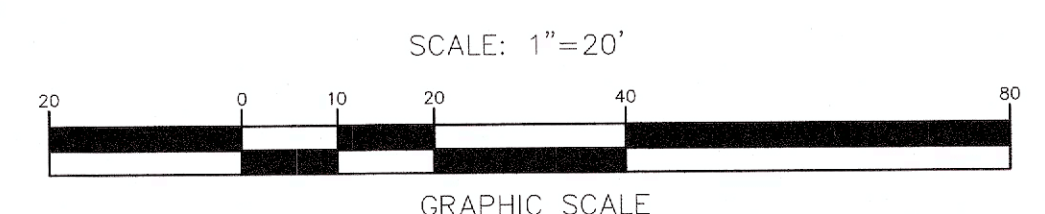
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REFER TO SHEET 7 FOR GRADING NOTES

LEGEND

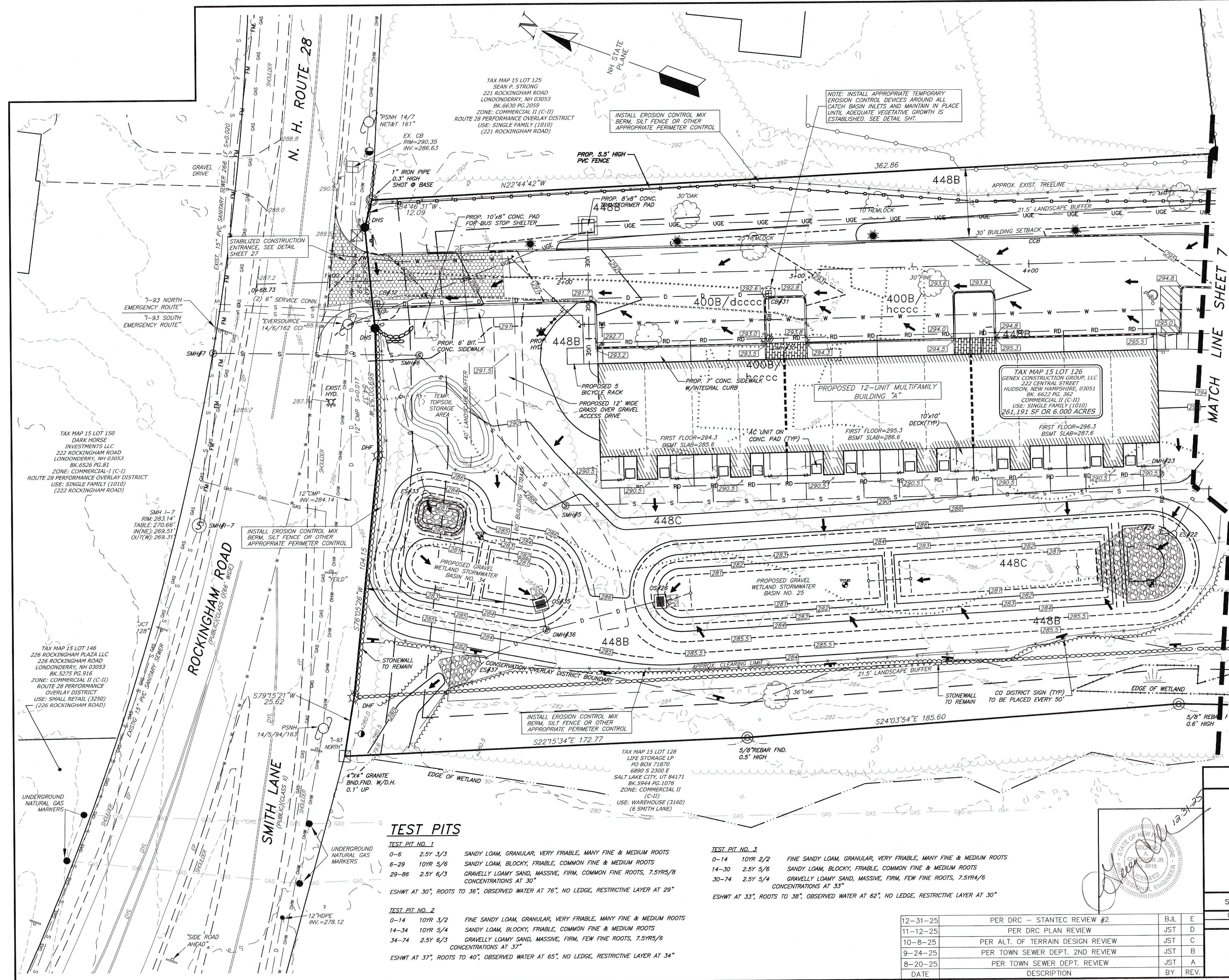
- 290— PROPOSED CONTOUR
- 290--- EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6x EXISTING SPOT GRADE
- 2+00 STATION NUMBERS FOR DRIVEWAY PROFILE
- ← DRAINAGE FLOW ARROW
- ⊕ TEST PIT
- ✕ PROPOSED SILT FENCE
- ▭ PROPOSED RIP RAP
- GAS — PROPOSED GAS LINE
- GAS --- EXISTING GAS LINE
- W — PROPOSED WATER LINE
- W --- EXISTING WATER LINE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- E --- EXISTING UNDERGROUND ELECTRIC
- OHW — EXISTING OVERHEAD UTILITIES
- D — PROPOSED DRAIN LINE
- D --- EXISTING DRAIN LINE
- RD — PROPOSED ROOF DRAIN
- S --- PROPOSED SEWER LINE
- S --- EXISTING SEWER LINE
- ⊕ EXISTING WATER SHUTOFF
- ⊕ PROPOSED WATER SHUTOFF
- ⊕ EXISTING HYDRANT
- ⊕ PROPOSED HYDRANT
- ⊕ EXISTING CATCH BASIN
- ⊕ PROPOSED CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY WIRE
- ⊕ EXISTING LIGHT POLE
- ⊕ PROPOSED LIGHT POLE
- ⊕ EXISTING STOCKADE FENCE
- ⊕ PROPOSED PVC FENCE
- ⊕ EXISTING CHAINLINK FENCE
- ⊕ EXISTING GUARDRAIL
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- PROPOSED TREE LINE
- EXISTING TREE LINE
- ZONE LINE
- SHEET MATCHLINE



TAX MAP 15 LOT 126
GRADING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 20'	JUNE 12, 2025	SHEET 6 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
FB: 692	PG: 28	503-22

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TEST PITS

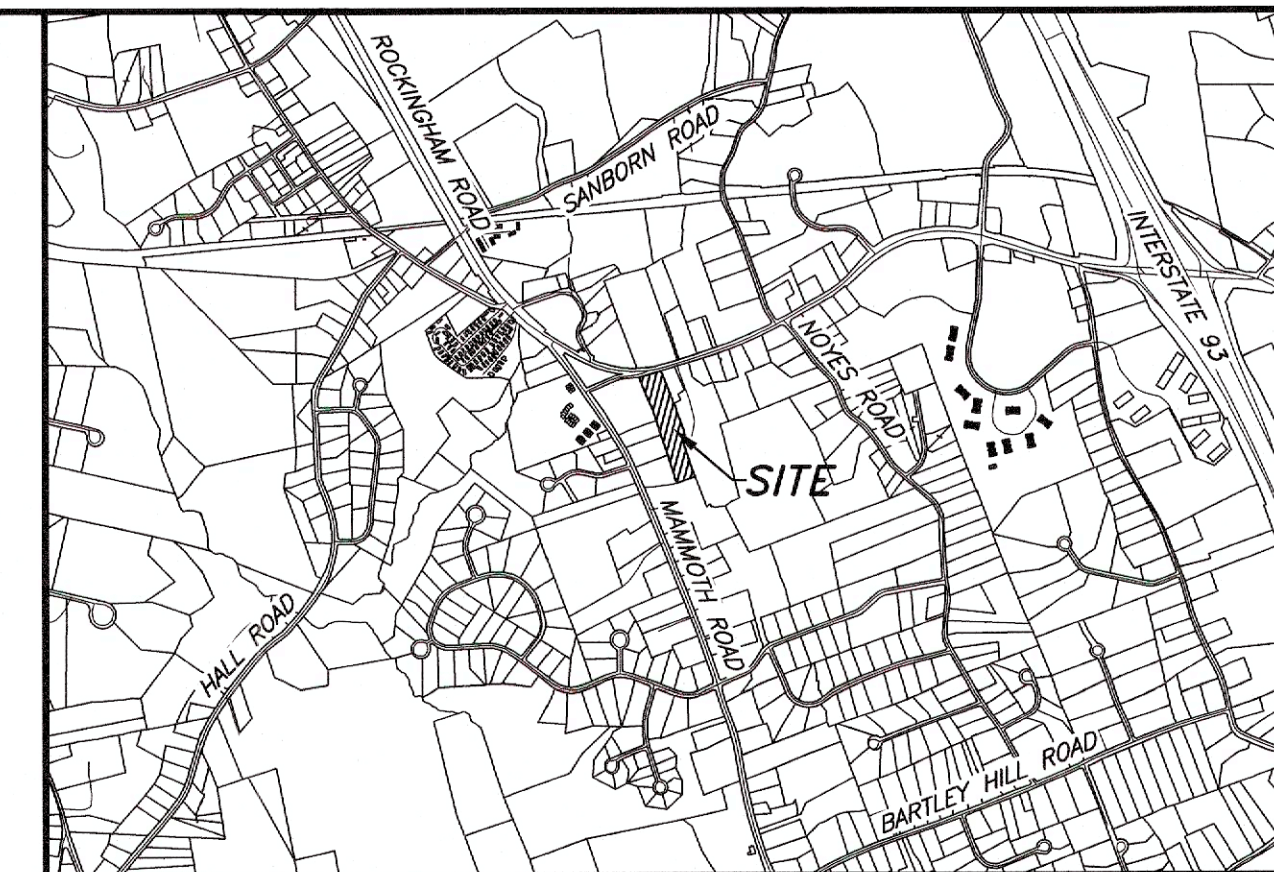
TEST PIT NO.	DEPTH	SOIL TYPE	REMARKS
TEST PIT NO. 1	0-6	2.5Y 3/3	SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
	6-29	10YR 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
	29-86	2.5Y 6/3	GRAVELLY LOAMY SAND, MASSIVE, FIRM, COMMON FINE ROOTS, 7.5YR5/6 CONCENTRATIONS AT 30"
	ESHWT AT 30"; ROOTS TO 36"; OBSERVED WATER AT 76"; NO LEDGE, RESTRICTIVE LAYER AT 29"		
TEST PIT NO. 2	0-14	10YR 3/2	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
	14-34	10YR 5/4	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
	34-74	2.5Y 6/3	GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR5/6 CONCENTRATIONS AT 37"
	ESHWT AT 37"; ROOTS TO 40"; OBSERVED WATER AT 65"; NO LEDGE, RESTRICTIVE LAYER AT 34"		
TEST PIT NO. 3	0-14	10YR 2/2	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS
	14-30	2.5Y 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS
	30-74	2.5Y 5/4	GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR4/6 CONCENTRATIONS AT 33"
	ESHWT AT 33"; ROOTS TO 38"; OBSERVED WATER AT 62"; NO LEDGE, RESTRICTIVE LAYER AT 30"		

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L.	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

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LEGEND

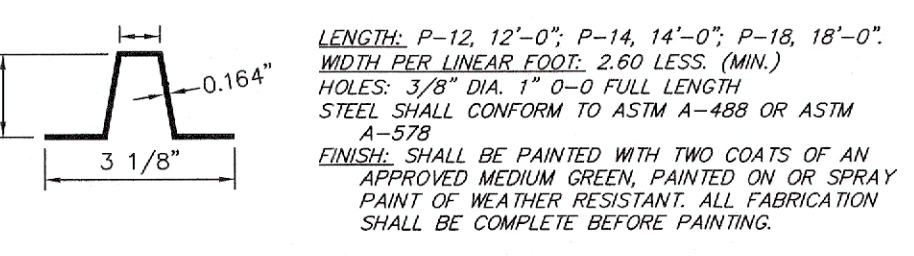
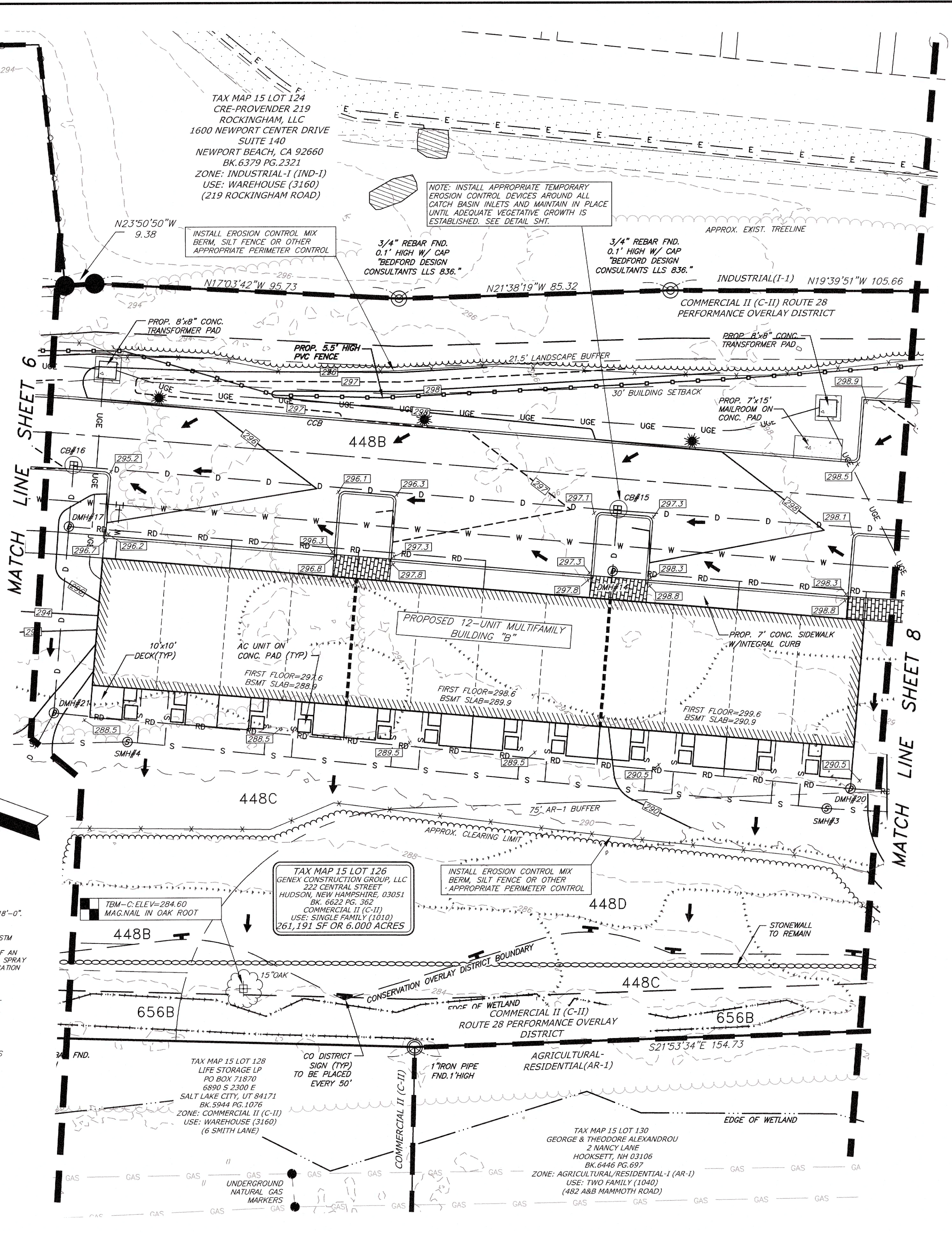
- 290 — PROPOSED CONTOUR
- 290 --- EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6x EXISTING SPOT GRADE
- 2+00 STATION NUMBERS FOR DRIVEWAY PROFILE
- ← DRAINAGE FLOW ARROW
- ⊙ TEST PIT
- PROPOSED SILT FENCE
- PROPOSED RIP RAP
- GAS --- PROPOSED GAS LINE
- GAS --- EXISTING GAS LINE
- W --- PROPOSED WATER LINE
- W --- EXISTING WATER LINE
- UGE --- PROPOSED UNDERGROUND ELECTRIC
- E --- EXISTING UNDERGROUND ELECTRIC
- OHW --- EXISTING OVERHEAD UTILITIES
- D --- PROPOSED DRAIN LINE
- D --- EXISTING DRAIN LINE
- RD --- PROPOSED ROOF DRAIN
- S --- PROPOSED SEWER LINE
- S --- EXISTING SEWER LINE
- ○ --- EXISTING STOCKADE FENCE
- ○ --- PROPOSED PVC FENCE
- ○ --- EXISTING CHAINLINK FENCE
- □ --- EXISTING GUARDRAIL
- --- EDGE OF JURISDICTIONAL WETLANDS
- ⊕ EXISTING WATER SHUTOFF
- ⊕ PROPOSED WATER SHUTOFF
- ⊕ EXISTING HYDRANT
- ⊕ PROPOSED HYDRANT
- ⊕ EXISTING CATCH BASIN
- ⊕ PROPOSED CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY WIRE
- ⊕ EXISTING LIGHT POLE
- ⊕ PROPOSED LIGHT POLE
- ⊕ WETLAND SYMBOL
- ⊕ WETLAND BUFFER
- ⊕ PROPOSED TREE LINE
- ⊕ EXISTING TREE LINE
- ⊕ ZONE LINE
- ⊕ SHEET MATCHLINE



VICINITY MAP
SCALE: 1"=2500'

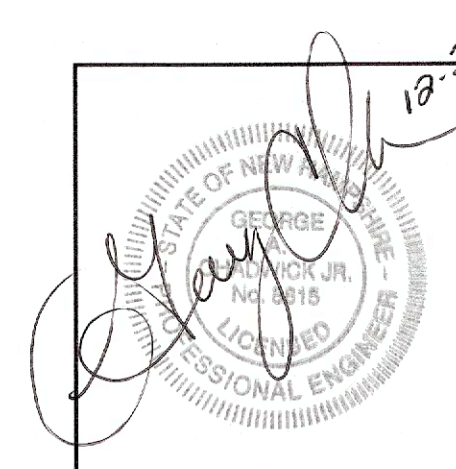
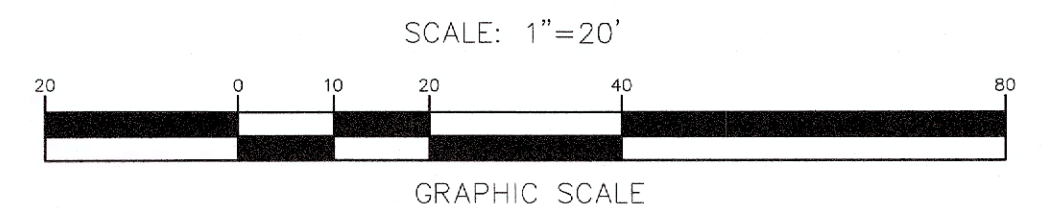
GRADING NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
3. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
6. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
7. THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
8. CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
9. ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH INLET PROTECTION.
10. THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DOES NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY BE REQUIRED OR INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
13. ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LOCAL CITY/TOWN POLICE DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
14. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE. DRIVEWAYS SHALL BE GRADED AWAY FROM GARAGES TO PREVENT SURFACE RUNOFF FROM ENTERING THE GARAGE. ALL FRONT, SIDE AND REAR LAWN AREAS SHALL BE GRADED TO DIRECT SURFACE RUNOFF AWAY FROM THE PROPOSED BUILDINGS.
15. CONTRACTOR TO PROVIDE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING AND GARAGE ENTRANCES.
16. THE PROPERTY OWNERS OR ASSIGNED QUALIFIED PROFESSIONAL WILL CONDUCT THE OPERATION AND MAINTENANCE PROGRAM SET FORTH IN THE LONG TERM MAINTENANCE PLAN INSPECTION & MAINTENANCE (LTM) MANUAL FOR STORMWATER BEST MANAGEMENT PRACTICES, ROCKPOINT COMMONS. THE OWNERS WILL ENSURE THAT INSPECTIONS AND RECORD KEEPING ARE TIMELY AND ACCURATE, AND THAT CLEANING AND MAINTENANCE ARE PERFORMED AT LEAST ON A BI-ANNUAL BASIS. INSPECTION & MAINTENANCE LOG FORMS SHALL INCLUDE THE DATE AND THE AMOUNT OF THE LAST SIGNIFICANT STORM EVENT IN EXCESS OF 2.5" OF RAIN IN A 24-HOUR PERIOD, PHYSICAL CONDITIONS OF THE STRUCTURES, DEPTH OF SEDIMENT IN STRUCTURES, EVIDENCE OF OVERTOPPING OR DEBRIS BLOCKAGE, AND MAINTENANCE REQUIRED OF EACH STRUCTURE. RECORDS OF MAINTENANCE AND APPROPRIATE INSPECTION & MAINTENANCE LOG SHEETS SHALL BE KEPT BY THE OWNER INDICATING ALL WORK AND INSPECTIONS. THESE REPORTS WILL BE SENT TO THE LONDONDERRY ENGINEERING OFFICE ON A YEARLY BASIS. ALL STORMWATER MANAGEMENT STRUCTURES WILL BE INSPECTED TWO TIMES PER YEAR, WITH CLEANING TYPICALLY OCCURRING IN APRIL AND OCTOBER AND POSSIBLY MORE OFTEN, AS SITE CONDITIONS WARRANT. CONCURRENT WITH INSPECTION AND CLEANING, ALL LITTER SHALL BE PICKED UP AND REMOVED FROM THE PARKING AREAS, LAWN, LANDSCAPED AND WOODED AREAS.



- POST NOTES:**
1. POSTS SHALL BE PLUMB, ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE INSTALLED WITH SUITABLE MATERIAL IN LAYERS NOT TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN A SUITABLE DRIVING GAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERRECTED IN CONCORDANCE WITH THE GUIDELINES OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
 6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
 7. DIMENSIONS SHOWN ARE NOMINAL.
 8. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

CONSERVATION AREA SIGN DETAIL
NOT TO SCALE



TAX MAP 15 LOT 126
GRADING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 20' JUNE 12, 2025 SHEET 7 OF 33

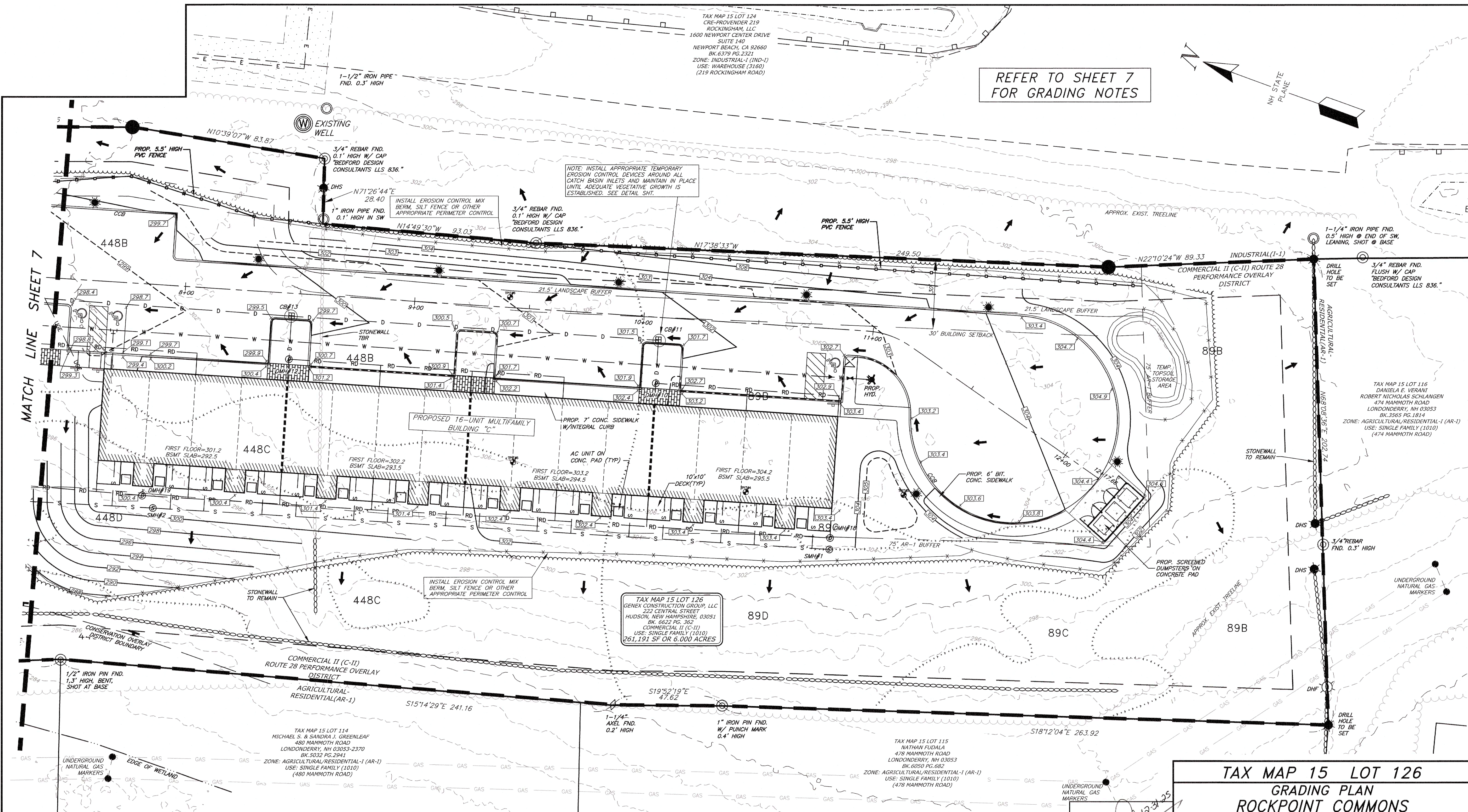
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JST	JST	GAC	692	28	

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9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A
DATE	DESCRIPTION	BY	REV.

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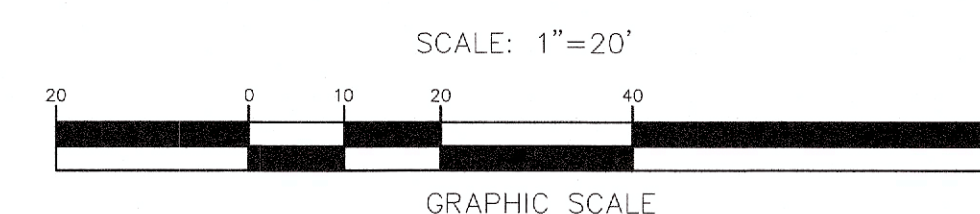


REFER TO SHEET 7 FOR GRADING NOTES

TEST PITS

TEST PIT NO.	DEPTH	SOIL TYPE	REMARKS
TEST PIT NO. 4			
0-4	10YR 2/2	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS	
4-20	10YR 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS	
20-22	2.5Y 5/2	SANDY LOAM, BLOCKY FRIABLE, COMMON FINE ROOTS	
NO ESHWT AT 22', ROOTS TO 22', NO WATER AT 22', LEDGE AT 22', NO RESTRICTIVE LAYER			
TEST PIT NO. 5			
0-7	10YR 2/2	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS	
7-19	10YR 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS	
19-23	2.5Y 5/2	SANDY LOAM, BLOCKY FRIABLE, COMMON FINE ROOTS	
NO ESHWT AT 23', ROOTS TO 23', NO WATER AT 23', LEDGE AT 23', NO RESTRICTIVE LAYER			

TEST PIT NO. 6			
0-8	10YR 2/2	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS	
8-21	10YR 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS	
21-56	2.5Y 6/2	GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS	
NO ESHWT AT 56', ROOTS TO 34', NO WATER AT 56', NO LEDGE AT 56', RESTRICTIVE LAYER AT 21'			
TEST PIT NO. 7			
0-8	10YR 3/3	FINE SANDY LOAM, GRANULAR, VERY FRIABLE, MANY FINE & MEDIUM ROOTS	
8-33	2.5Y 5/6	SANDY LOAM, BLOCKY, FRIABLE, COMMON FINE & MEDIUM ROOTS	
33-60	2.5Y 6/3	LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS	
NO ESHWT AT 60', ROOTS TO 42', NO WATER AT 60', NO LEDGE AT 60', RESTRICTIVE LAYER AT 33'			

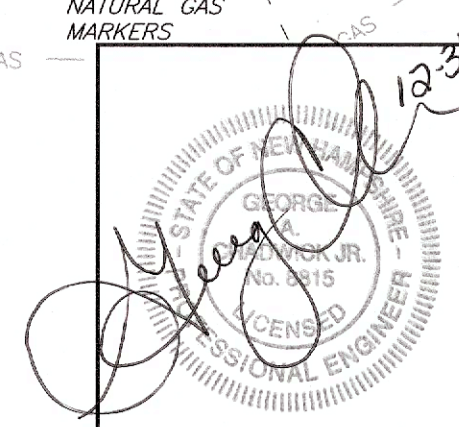


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8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126
GRADING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 20'	JUNE 12, 2025	SHEET 8 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
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REFER TO SHEET 10 FOR UTILITY NOTES

LEGEND

	PROPOSED CONTOUR
	EXISTING CONTOUR
	STATION NUMBERING FOR DRIVEWAY PROFILE
	TEST PIT
	PROPOSED SILT FENCE
	PROPOSED RIP RAP
	PROPOSED GAS LINE
	EXISTING GAS LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD UTILITIES
	PROPOSED DRAIN LINE
	EXISTING DRAIN LINE
	PROPOSED ROOF DRAIN
	PROPOSED SEWER LINE
	EXISTING SEWER LINE
	EXISTING WATER SHUTOFF
	PROPOSED WATER SHUTOFF
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE
	PROPOSED GATE VALVE
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	SEWER MANHOLE
	DRAIN MANHOLE
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING STOCKADE FENCE
	PROPOSED PVC FENCE
	EXISTING CHAINLINK FENCE
	EXISTING GUARDRAIL
	EDGE OF JURISDICTIONAL WETLANDS
	WETLAND SYMBOL
	WETLAND BUFFER
	PROPOSED TREE LINE
	EXISTING TREE LINE
	ZONE LINE
	SHEET MATCHLINE

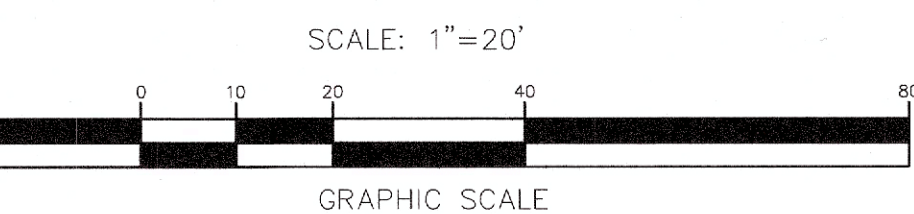


TEMPORARY SEWER BYPASS NOTE:
SEWER MANHOLE #7 SHALL BE A NEW STRUCTURE SET IN LINE ON EXISTING SEWER MAIN. CONTRACTOR SHALL PROVIDE A TEMPORARY SEWER BYPASS PLAN FROM EXISTING SMH 1-8 TO EXISTING SMH 1-7 TO THE TOWN OF LONDONDERRY DEPARTMENT OF ENGINEERING & ENVIRONMENTAL SERVICES FOR APPROVAL PRIOR TO CONSTRUCTION.

TAX MAP 15 LOT 150
DARK HORSE INVESTMENTS LLC
222 ROCKINGHAM ROAD
LONDONDERRY, NH 03053
BK. 6526 PG. 81
ZONE: COMMERCIAL I (C-1)
ROUTE 28 PERFORMANCE OVERLAY DISTRICT
USE: SINGLE FAMILY (1010)
(222 ROCKINGHAM ROAD)

TAX MAP 15 LOT 146
226 ROCKINGHAM PLAZA LLC
226 ROCKINGHAM ROAD
LONDONDERRY, NH 03053
BK. 5275 PG. 916
ZONE: COMMERCIAL II (C-II)
ROUTE 28 PERFORMANCE OVERLAY DISTRICT
USE: SMALL RETAIL (3250)
(226 ROCKINGHAM ROAD)

TAX MAP 15 LOT 128
LIFE STORAGE LP
PO BOX 71870
6890 S 2300 E
SALT LAKE CITY, UT 84171
BK. 5944 PG. 1078
ZONE: COMMERCIAL II (C-II)
USE: WAREHOUSE (3160)
(6 SMITH LANE)



- NOTES:**
- CONTRACTOR SHALL EXCAVATE TEST PIT AT LOCATION OF NEW MANHOLE TO DETERMINE EXACT LOCATION, ELEVATION AND SLOPE OF EXISTING 15" SANITARY SEWER PRIOR TO BEGINNING CONSTRUCTION.
 - THE EXISTING PIPE SHALL BE TEMPORARILY PLUGGED PRIOR TO CUT IN MANHOLE WORK.
 - THE CONTRACTOR SHALL PROVIDE BY-PASS PUMPING DURING MANHOLE WORK AS NEEDED.
 - UPON COMPLETION, TESTING, AND ACCEPTANCE OF ALL NEW GRAVITY SEWER, THE CONTRACTOR SHALL CONSTRUCT THE NEW INVERT AND REDIRECT FLOW INTO THE NEW SEWER.

PROP. SMH #7 CUT IN SMH DETAIL
NOT TO SCALE

SANITARY SEWER FLOW CALCULATIONS

DAILY FLOW
PROPOSED THREE BEDROOM RESIDENTIAL UNITS
40 UNITS @ 450 GPD/UNIT = 18,000 GPD FLOW

SEWER LINE INFILTRATION = 300 GALLONS / INCH DIAMETER OF PIPE / MILE / DAY
= 8" PIPE X 1,058 FT X 300 GALLONS/IN/5,280 FT / DAY
= 481 GPD

SEWER MANHOLE INFILTRATION = 1 GALLON / VERTICAL FOOT / DAY
67 VERTICAL FEET = 67 GPD

TOTAL DAILY FLOW
18,000 + 481 + 67 = 18,548 GPD

PEAK FLOW = 18,548 GPD X 6 = 111,288 GPD

TAX MAP 15 LOT 126
UTILITY PLAN
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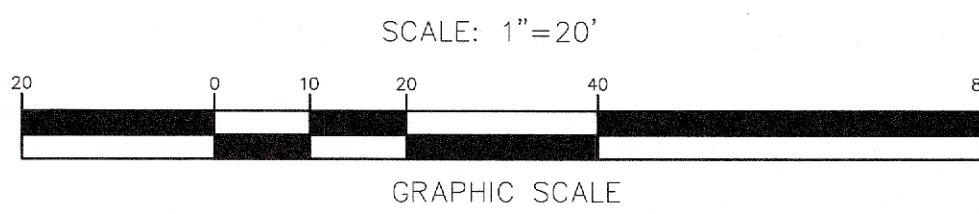
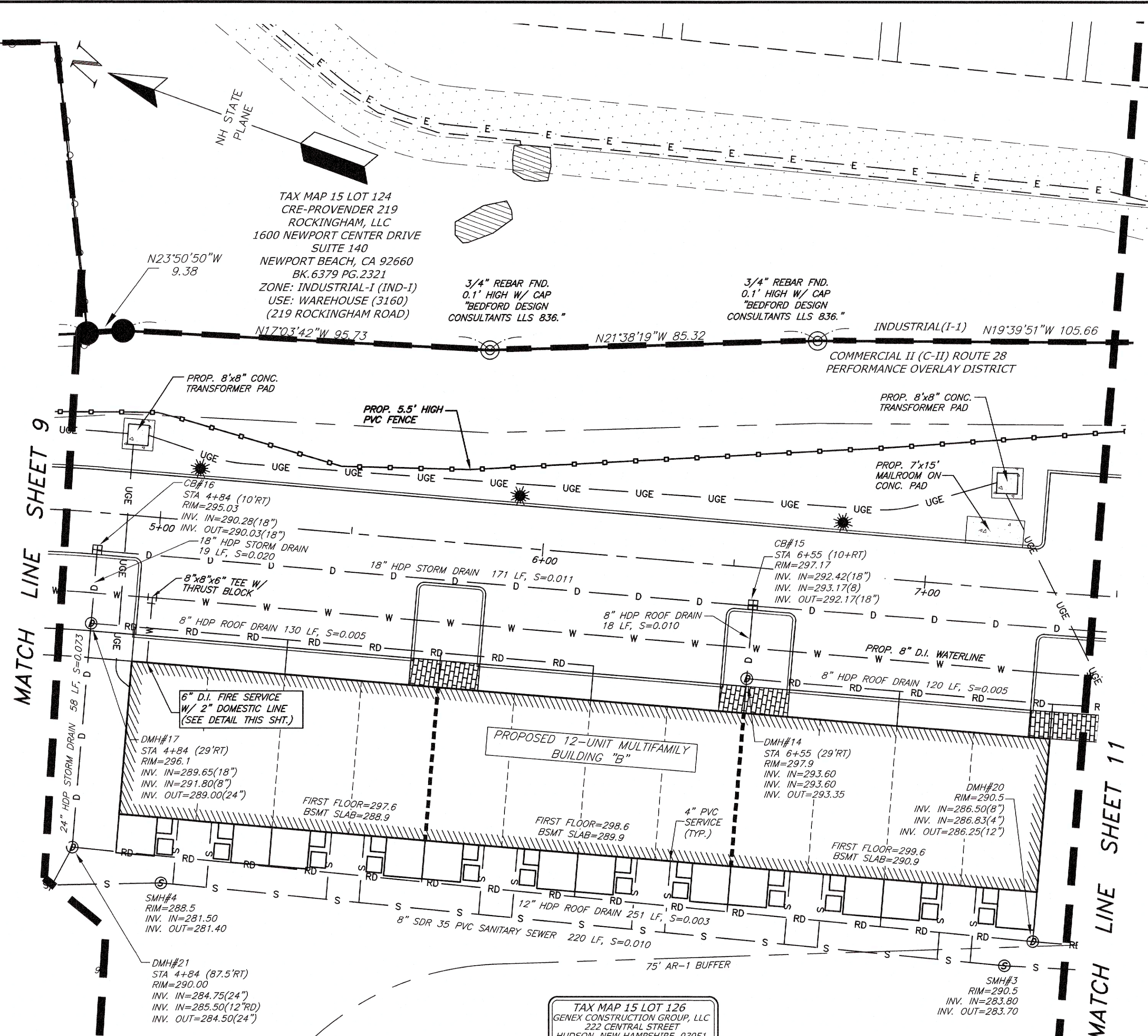
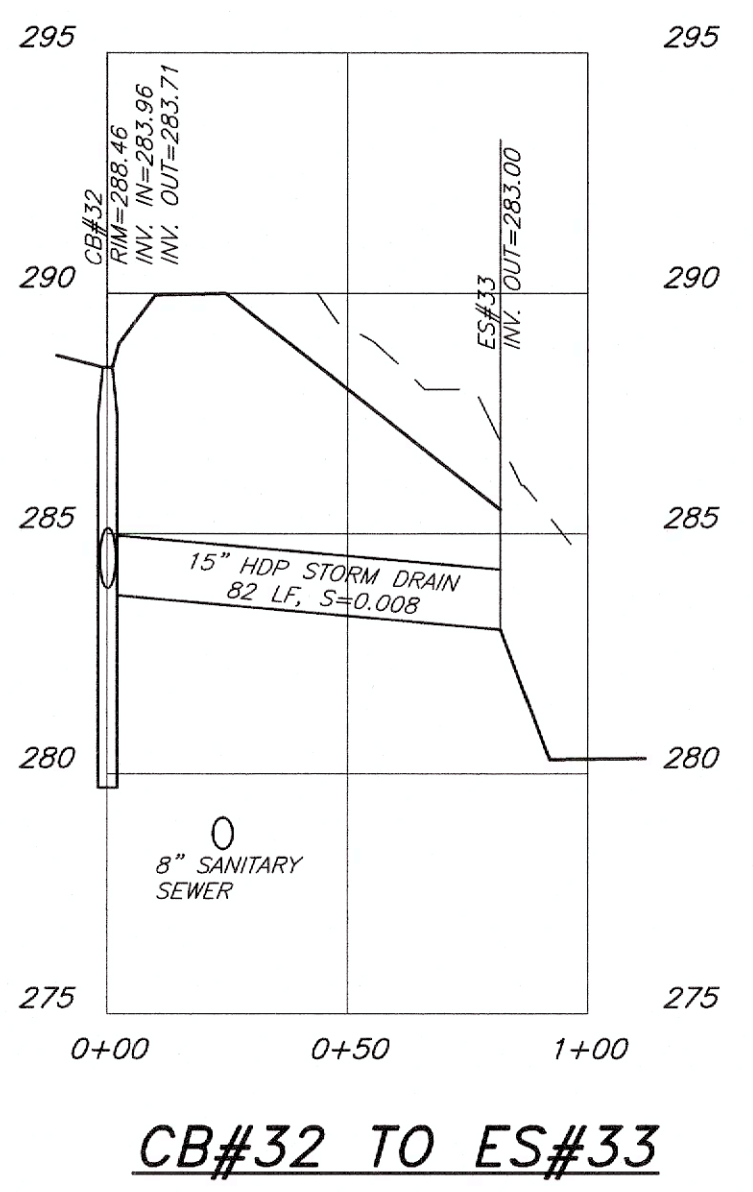
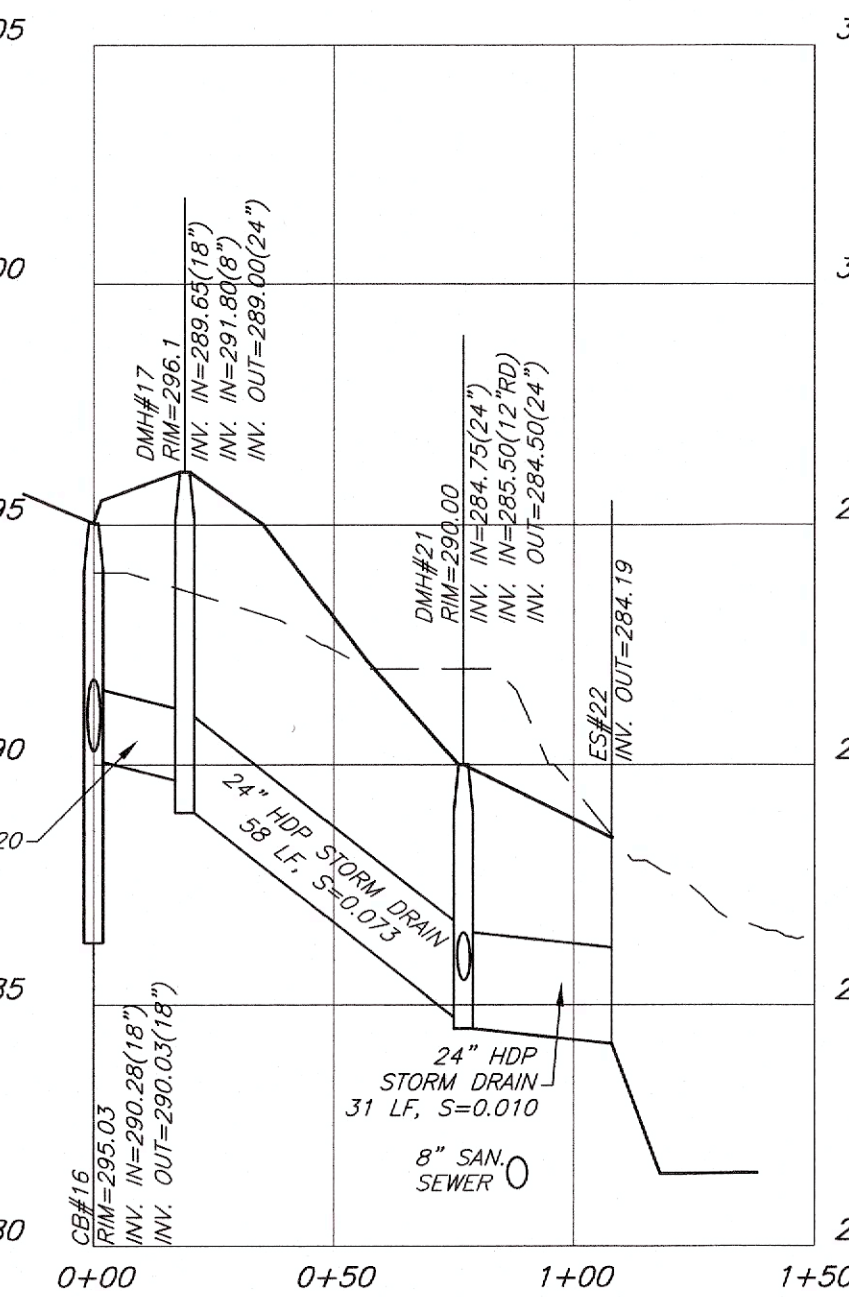
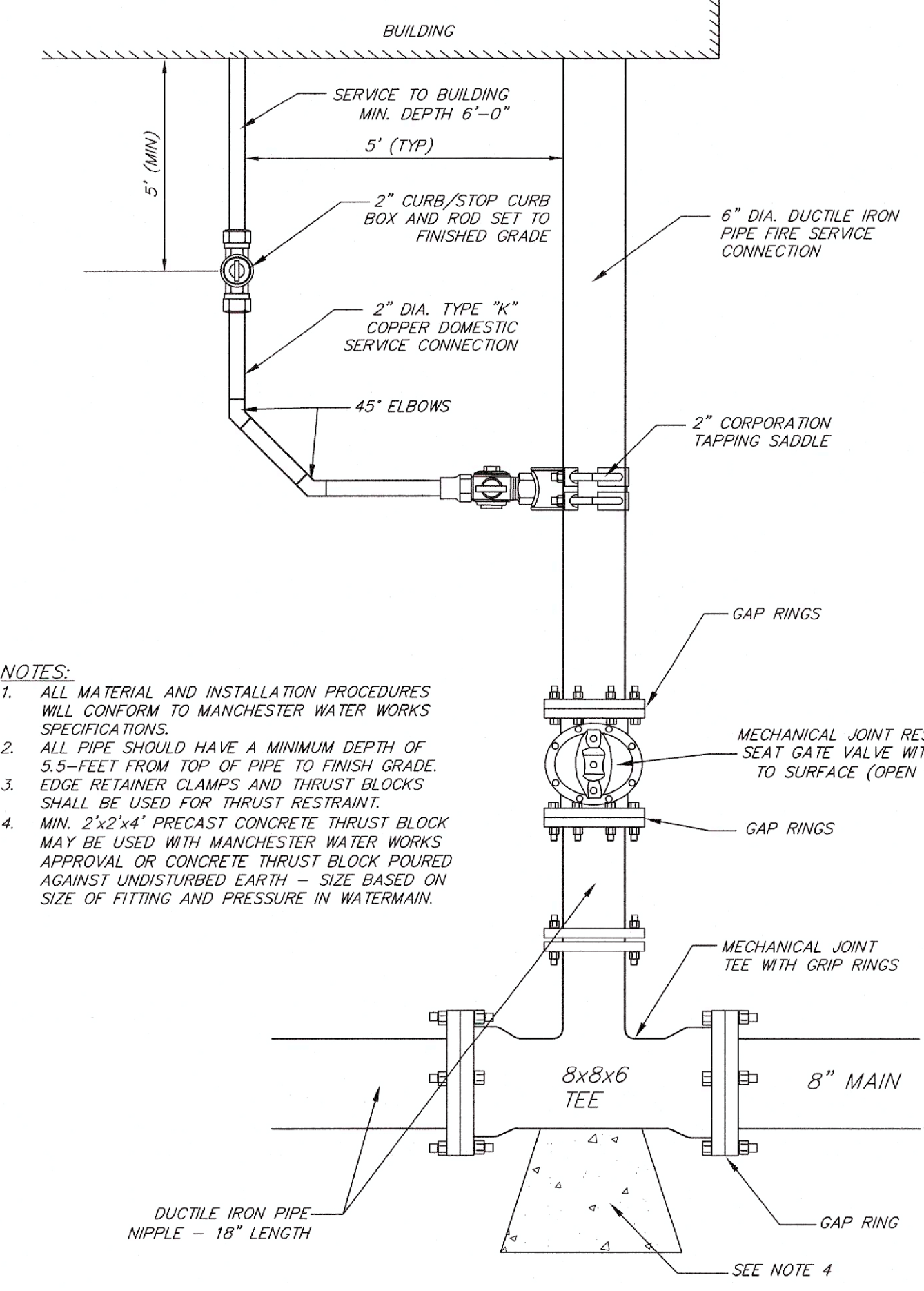
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UTILITY NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE PLANS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
5. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE SMOOTH INTERIOR (OR APPROVED EQUAL), OR ROP CLASS IV, UNLESS NOTED ON THE PLANS. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
6. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
7. ALL ROOF DRAINS FROM BUILDING SHALL BE CONSTRUCTED TO WITHIN 5' OF THE OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WINGS AT THE END.
8. ALL DRAINAGE AND SANITARY SEWER STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 4" DEEP SUMPS WITH HOODS, UNLESS OTHERWISE NOTED.
9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY H-29 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
10. NO FOUNDATION DRAINS, ROOF DRAINS, FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
11. OPERATION AND MAINTENANCE OF THE SEWER SERVICE SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
12. THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
13. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M., MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.
14. THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
15. SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
16. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
17. WATER MAINS TO BE 8" DUCTILE IRON PIPE CLASS 52 DOUBLE CEMENT LINED AND WRAPPED IN 8 MIL POLYETHYLENE CONFORMING TO ANSI A.21.51 (AWWA C-151) AND ANSI A.21.4. SEAL COATING SHALL BE APPLIED INSIDE AND OUT. ALL PIPE SHALL BE PUSH ON TYPE JOINT, IN ACCORDANCE WITH ANSI A.21.11. WATERLINE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANCHESTER WATER WORKS SPECIFICATIONS.
18. LOCATION OF PROPOSED GAS SERVICES ARE SCHEMATIC IN NATURE FOR COORDINATION PURPOSES ONLY. FINAL DESIGN BY OTHERS IN COORDINATION WITH UTILITY PROVIDING SERVICE. GAS LINE CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
19. ANY FIELD UTILITY ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE OWNER PRIOR TO INSTALLATION.
20. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICES ARE SCHEMATIC IN NATURE FOR COORDINATION PURPOSES ONLY. FINAL DESIGN BY OTHERS IN COORDINATION WITH UTILITY PROVIDING SERVICE. ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY COMPANY SPECIFICATIONS.
21. POWER FEEDS AND INTERCONNECTIONS FOR THE SITE LIGHTING TO BE COORDINATED WITH THE ELECTRICAL ENGINEER.
22. ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY THE SPECIFIC UTILITY COMPANY AND THE LOCAL DEPARTMENT OF PUBLIC WORKS.
23. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS WITH THE ARCHITECTURAL PLANS.



DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L	E
11-12-25	PER DRC PLAN REVIEW	J.S.T	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T	A

TAX MAP 15 LOT 126

UTILITY PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 20' JUNE 12, 2025 SHEET 10 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:
JST	JST	GAC	692	28

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REFER TO SHEET 10 FOR UTILITY NOTES

TAX MAP 15 LOT 124
CRE-PROVENDER 219
ROCKINGHAM, LLC
1600 NEWPORT CENTER DRIVE
SUITE 140
NEWPORT BEACH, CA 92660
BK.6379 PG.2321
ZONE: INDUSTRIAL-1 (IND-1)
USE: WAREHOUSE (3160)
(219 ROCKINGHAM ROAD)

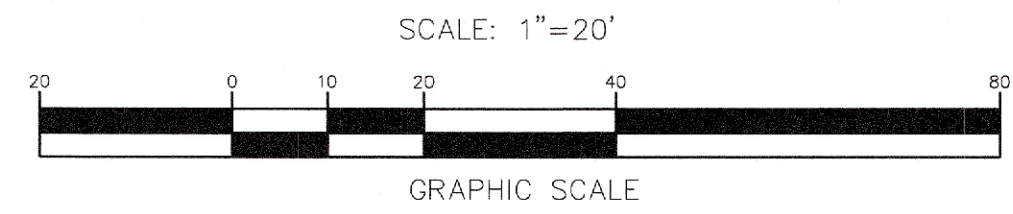
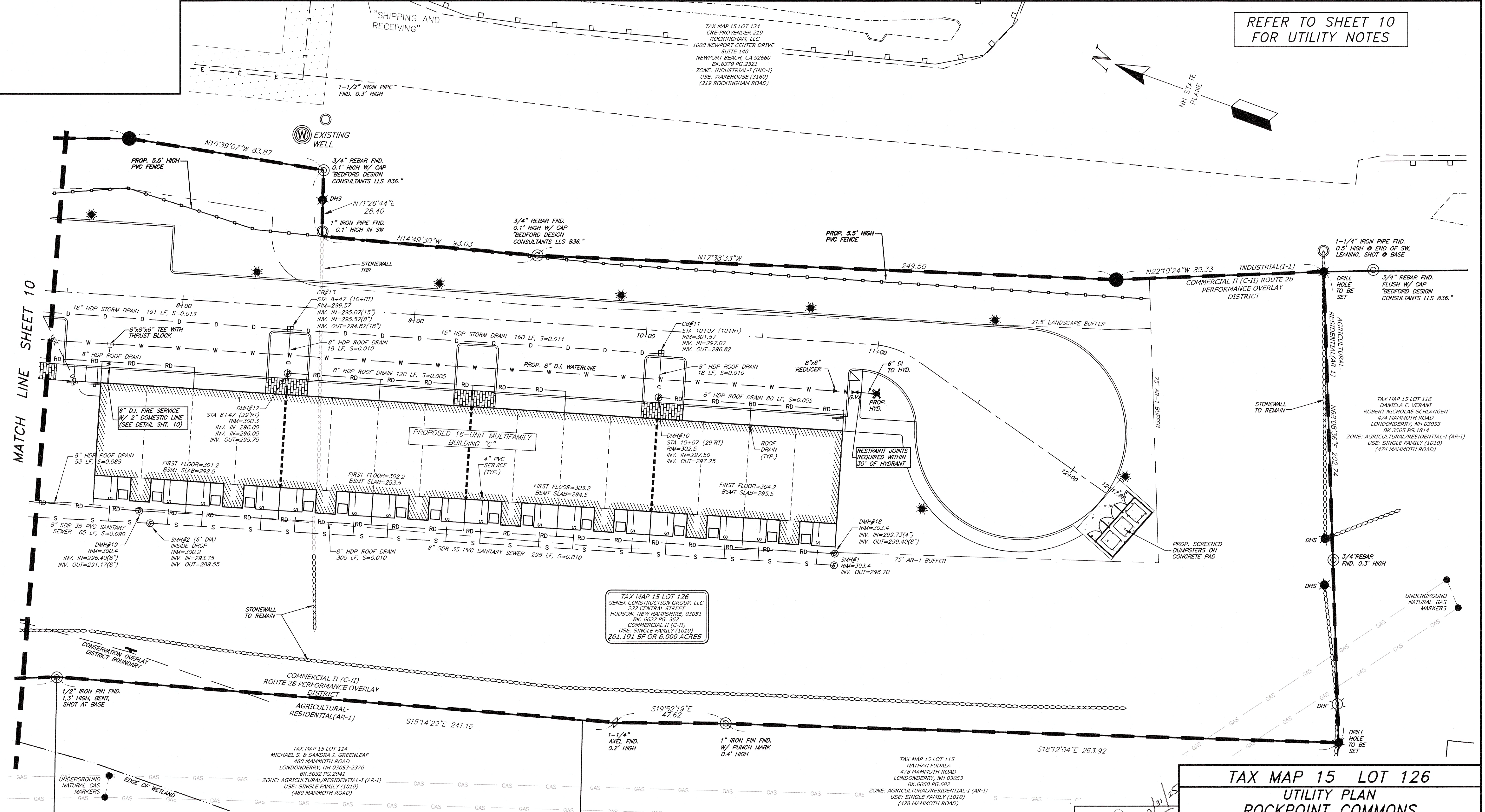
TAX MAP 15 LOT 116
DANIELA E. VERANI
ROBERT NICHOLAS SCHLANGEN
474 MAMMOTH ROAD
LONDONDERRY, NH 03053
BK.3565 PG.1814
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(474 MAMMOTH ROAD)

TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NEW HAMPSHIRE, 03051
BK. 6622 PG. 362
COMMERCIAL II (C-II)
USE: SINGLE FAMILY (1010)
261,191 SF OR 6,000 ACRES

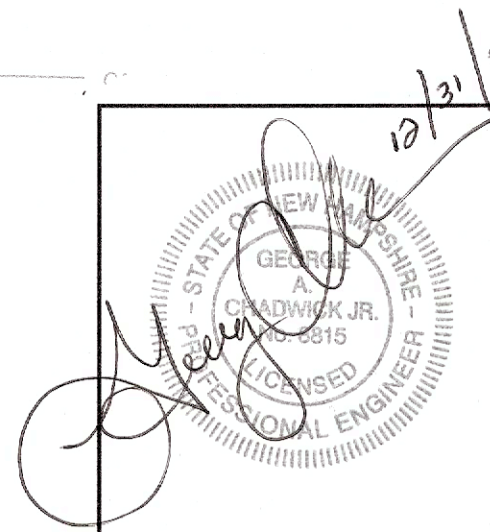
TAX MAP 15 LOT 114
MICHAEL S. & SANDRA J. GREENLEAF
480 MAMMOTH ROAD
LONDONDERRY, NH 03053-2370
BK.5033 PG.2941
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(480 MAMMOTH ROAD)

TAX MAP 15 LOT 115
NATHAN FUDALA
478 MAMMOTH ROAD
LONDONDERRY, NH 03053
BK. 6050 PG.682
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(478 MAMMOTH ROAD)

MATCH LINE SHEET 10



DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L	E
11-12-25	PER DRC PLAN REVIEW	J.S.T	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T	A



TAX MAP 15 LOT 126
UTILITY PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

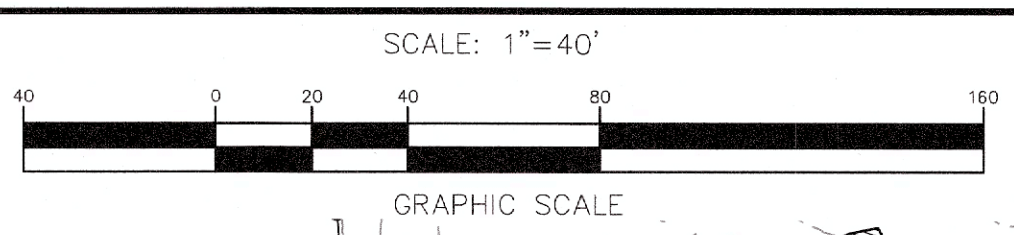
SCALE: 1" = 20' JUNE 12, 2025 SHEET 11 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	503-22
JST	JST	GAC	692	28	

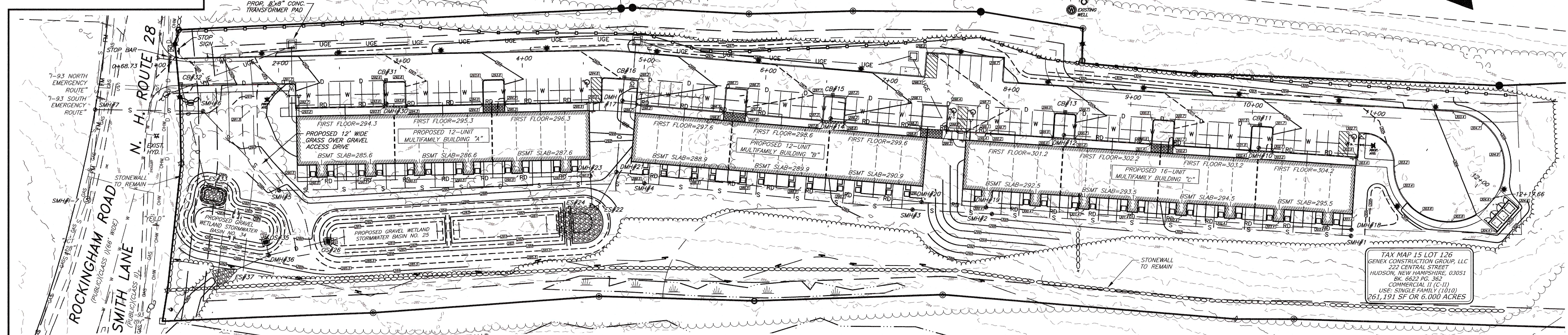
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12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A
DATE	DESCRIPTION	BY	REV.

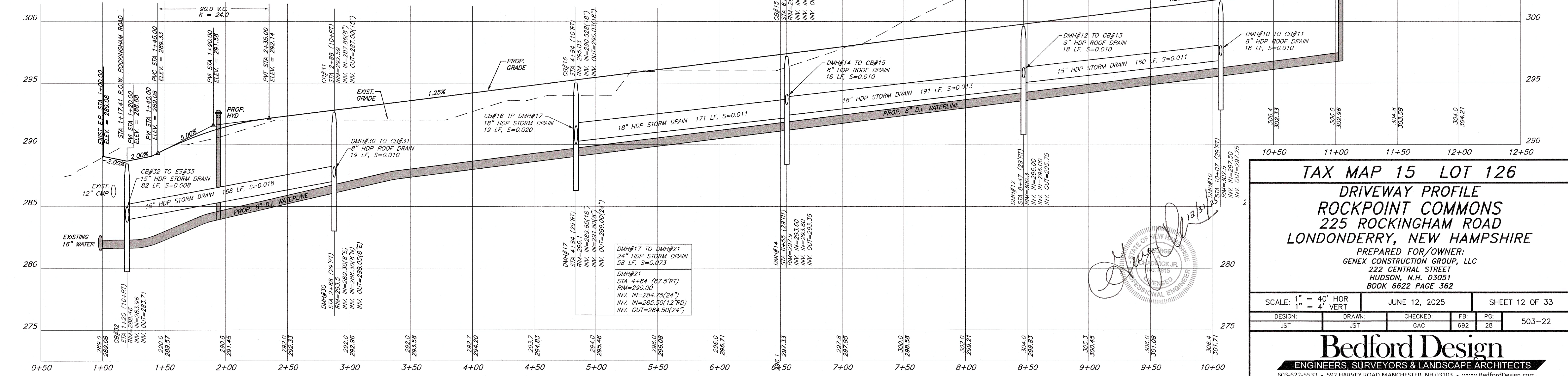


REFER TO SHEET 29 FOR CONSTRUCTION CENTERLINE



NOTES:

- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN OF LONDONDERRY.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO N.H.D.O.T. STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN AND DRAIN MANHOLE GRATES SHALL CONFORM TO TOWN OF LONDONDERRY AND N.H.D.O.T. STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF LONDONDERRY, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE/PROTECTION OF ALL TRAFFIC AND PEDESTRIANS.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY COMPANIES, AND SHALL ARRANGE FOR ALL REQUIRED INSPECTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- THE APPLICANT/CONTRACTOR WILL NEED TO SCHEDULE A MANDATORY PRECONSTRUCTION MEETING WITH LONDONDERRY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO DISCUSS INSPECTION FEES, SCHEDULES, ETC.
- WORK WITHIN THE N.H.D.O.T. RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT. CONTRACTOR TO CONTACT THE N.H.D.O.T. TO APPLY FOR THESE PERMITS.
- ALL WORK PERFORMED IN THE NHDOT RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST N.H.D.O.T. SPECIFICATIONS.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LONDONDERRY POLICE DEPARTMENT, AND LONDONDERRY DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- LIMITS OF CLEARING SHALL BE FLAGGED BY APPLICANT AND INSPECTED BY TOWN STAFF PRIOR TO THE START OF THE CLEARING.
- DRAINAGE PIPES TO BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR ENGINEER APPROVED EQUIVALENT UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER MAINS TO BE 8" CLASS 52 CEMENT LINED DUCTILE IRON PIPE OR APPROVED EQUIVALENT.
- WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANCHESTER WATER WORKS SPECIFICATIONS.
- CONTRACTOR TO CONFIRM THE BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- ALL DRAINAGE AND SEWER PIPE DATA IS CALCULATED TO STRUCTURE CENTER, TYP.
- ALL ELECTRIC, TELEPHONE, AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS. THE LOCATION SHOWN ON THESE PLANS IS PRELIMINARY ONLY AND SUBJECT TO FINAL UTILITY COMPANY REVIEW. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ANY UTILITIES TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND TOWN OF LONDONDERRY MUNICIPAL SERVICES DEPARTMENT.
- THE FINAL SIZE AND LOCATION OF THE GAS MAIN TO BE DETERMINED BY UTILITY COMPANY.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.



TAX MAP 15 LOT 126
DRIVEWAY PROFILE
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 40' HOR
 1" = 4' VERT

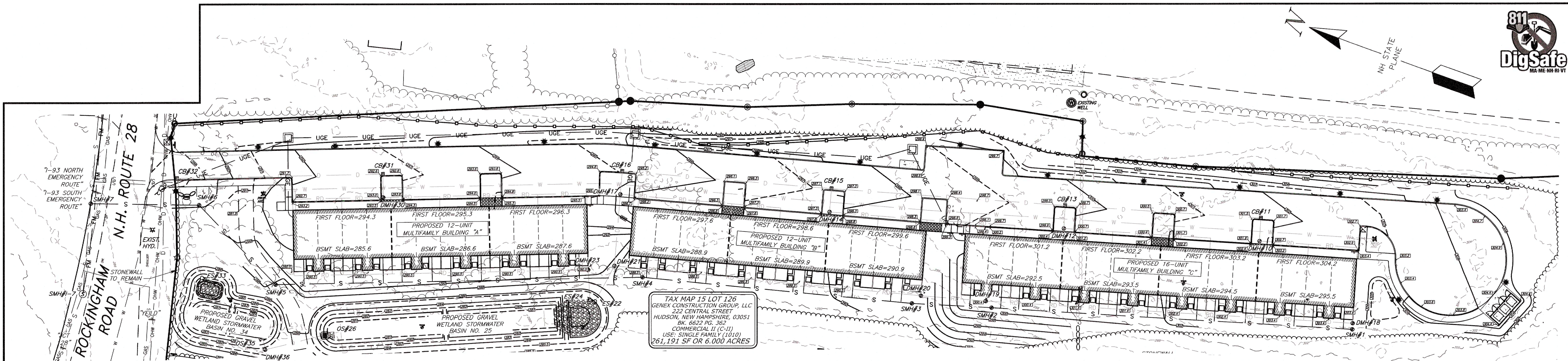
JUNE 12, 2025

SHEET 12 OF 33

DESIGN: JST
 DRAWN: JST
 CHECKED: GAC
 FB: 692
 PG: 28
 503-22

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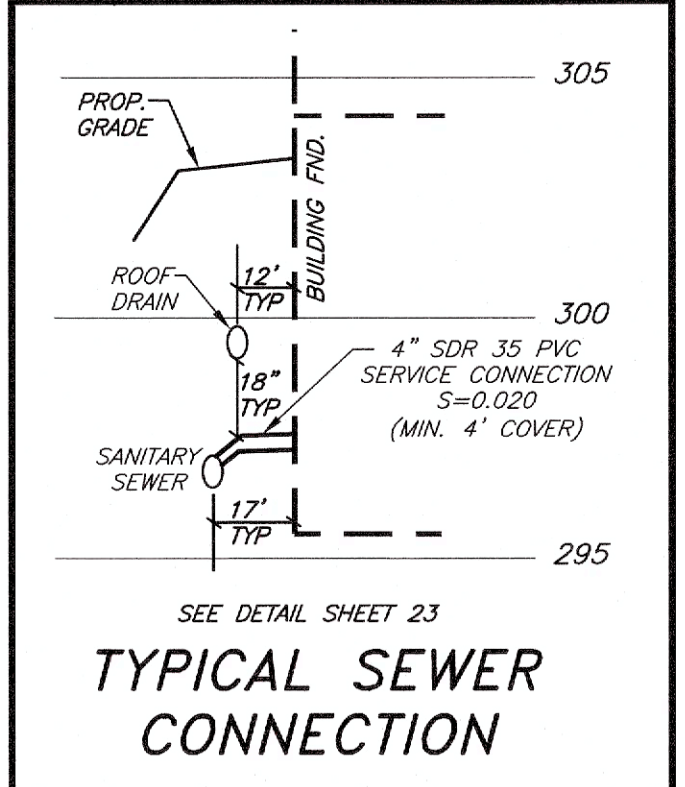
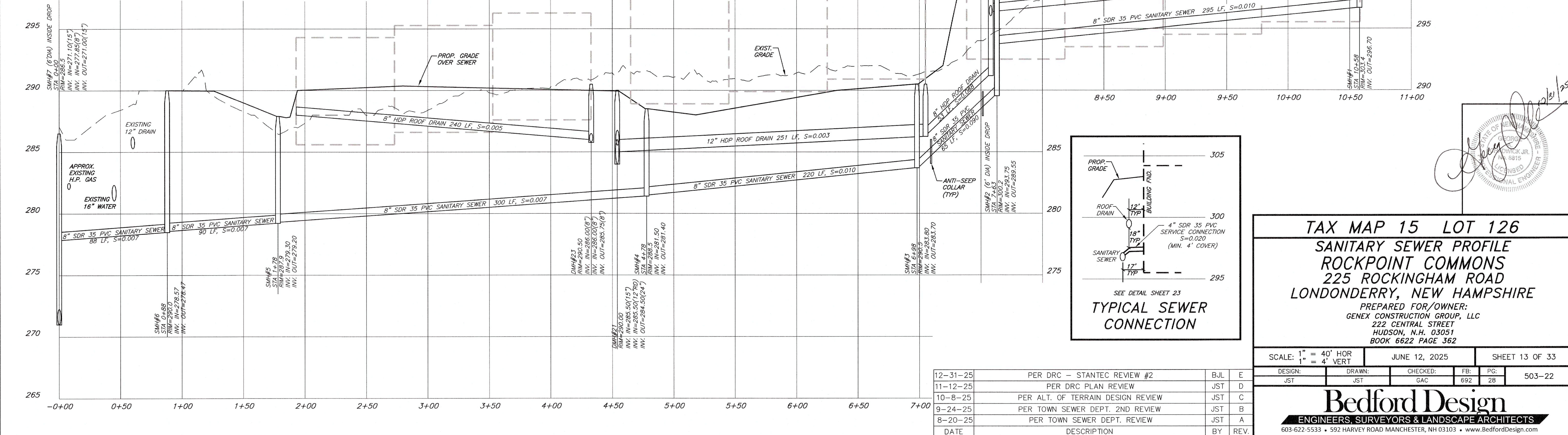
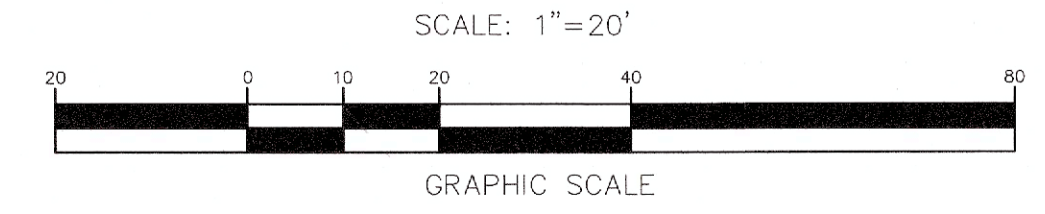
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TAX MAP 15 LOT 126
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, NEW HAMPSHIRE, 03051
 BK. 6622 PG. 362
 COMMERCIAL II (C-1)
 USE: SINGLE FAMILY (1010)
 261,191 SF OR 6.000 ACRES

NOTES:

- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN OF LONDONDERRY.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF LONDONDERRY, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE/PROTECTION OF ALL TRAFFIC AND PEDESTRIANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- THE APPLICANT/CONTRACTOR WILL NEED TO SCHEDULE A MANDATORY PRECONSTRUCTION MEETING WITH LONDONDERRY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO DISCUSS INSPECTION FEES, SCHEDULES, ETC.
- WORK WITHIN THE N.H.D.O.T. RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.O.T., LONDONDERRY POLICE DEPARTMENT, AND LONDONDERRY DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- LIMITS OF CLEARING SHALL BE FLAGGED BY APPLICANT AND INSPECTED BY TOWN STAFF PRIOR TO THE START OF THE CLEARING.
- EQUIVALENT UNLESS OTHERWISE NOTED ON THE PLANS.
- THE MINIMUM SEWER TRENCH WIDTH SHALL BE AT LEAST 2 TIMES OUTER DIAMETER OF THE PIPE.
- THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M., MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.
- THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.
- SEWER MAINS TO BE 8" SDR 35 PVC MEETING ASTM D3034 OR APPROVED EQUIVALENT. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SEWER CONSTRUCTION SPECIFICATIONS AND THE TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
- SEWER MAINS TO BE 8" PVC MEETING REQUIREMENTS OF Env-Wq 704.05 AND CONFORMING TO ASTM D3034. PVC JOINTS SHALL BE PUSH ON BELL-AND-SPIGOT OIL RESISTANT COMPRESSION RINGS CONFORMING TO ASTM D3212. GRAVITY SEWER PIPE MATERIAL SPECIFICATION: PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED BY THE MANUFACTURER IN ACCORDANCE WITH THE ASTM D2412-21 STANDARD.
- CONTRACTOR TO CONFIRM THE BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- ALL DRAINAGE AND SEWER PIPE DATA IS CALCULATED TO STRUCTURE CENTER, TYP.
- ANY UTILITIES TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND TOWN OF LONDONDERRY MUNICIPAL SERVICES DEPARTMENT.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.



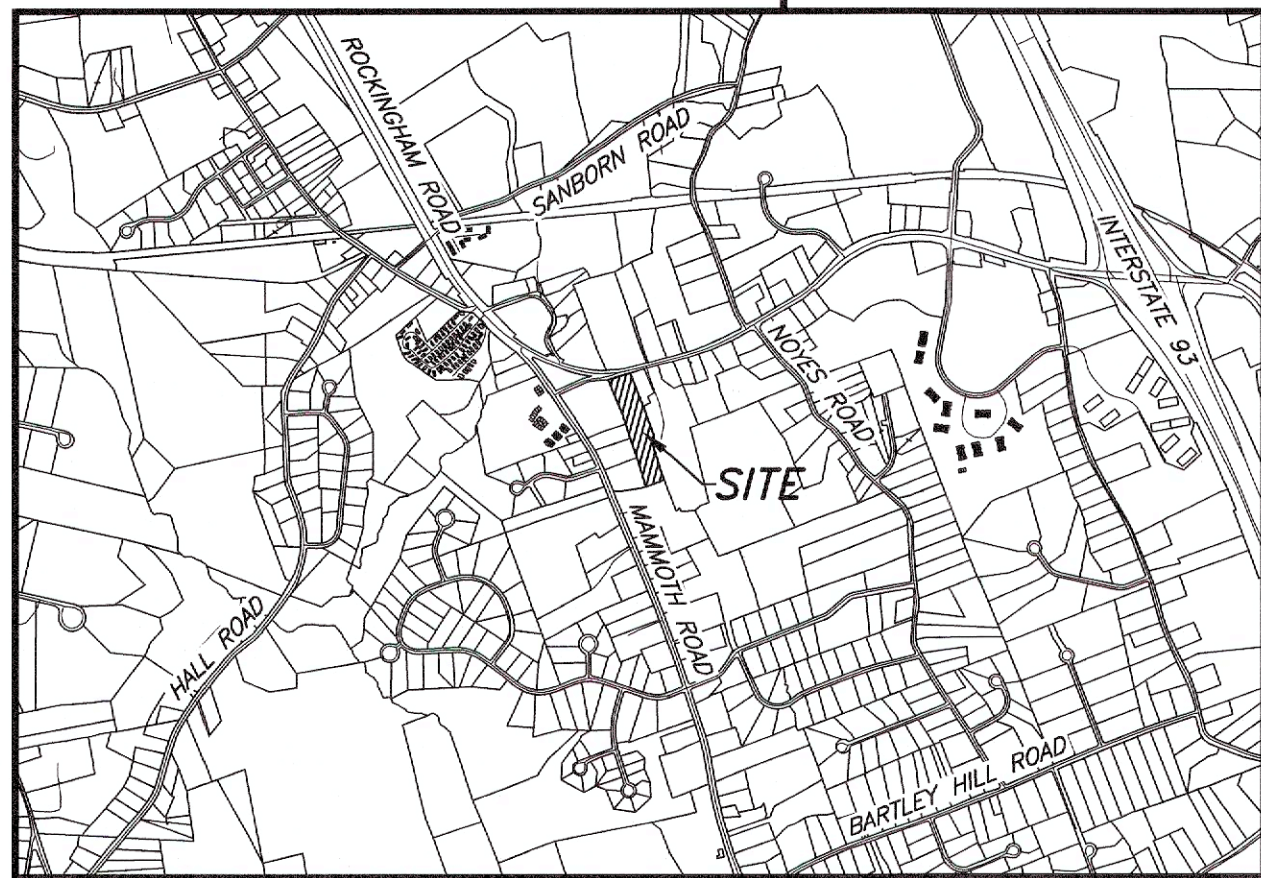
TAX MAP 15 LOT 126
SANITARY SEWER PROFILE
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 40' HOR
 1" = 4' VERT
 JUNE 12, 2025
 SHEET 13 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	503-22
JST	JST	GAC	692	28	

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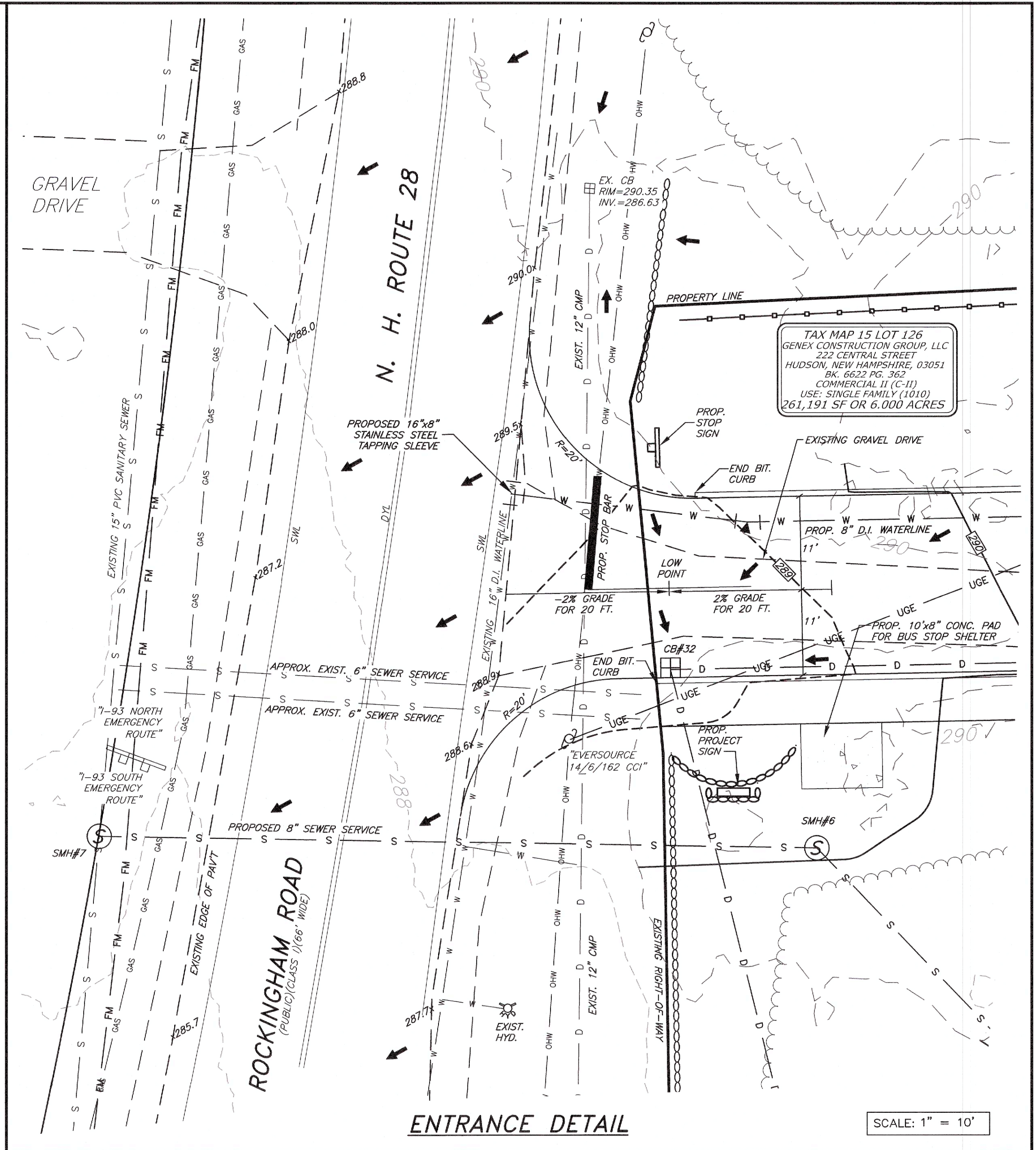
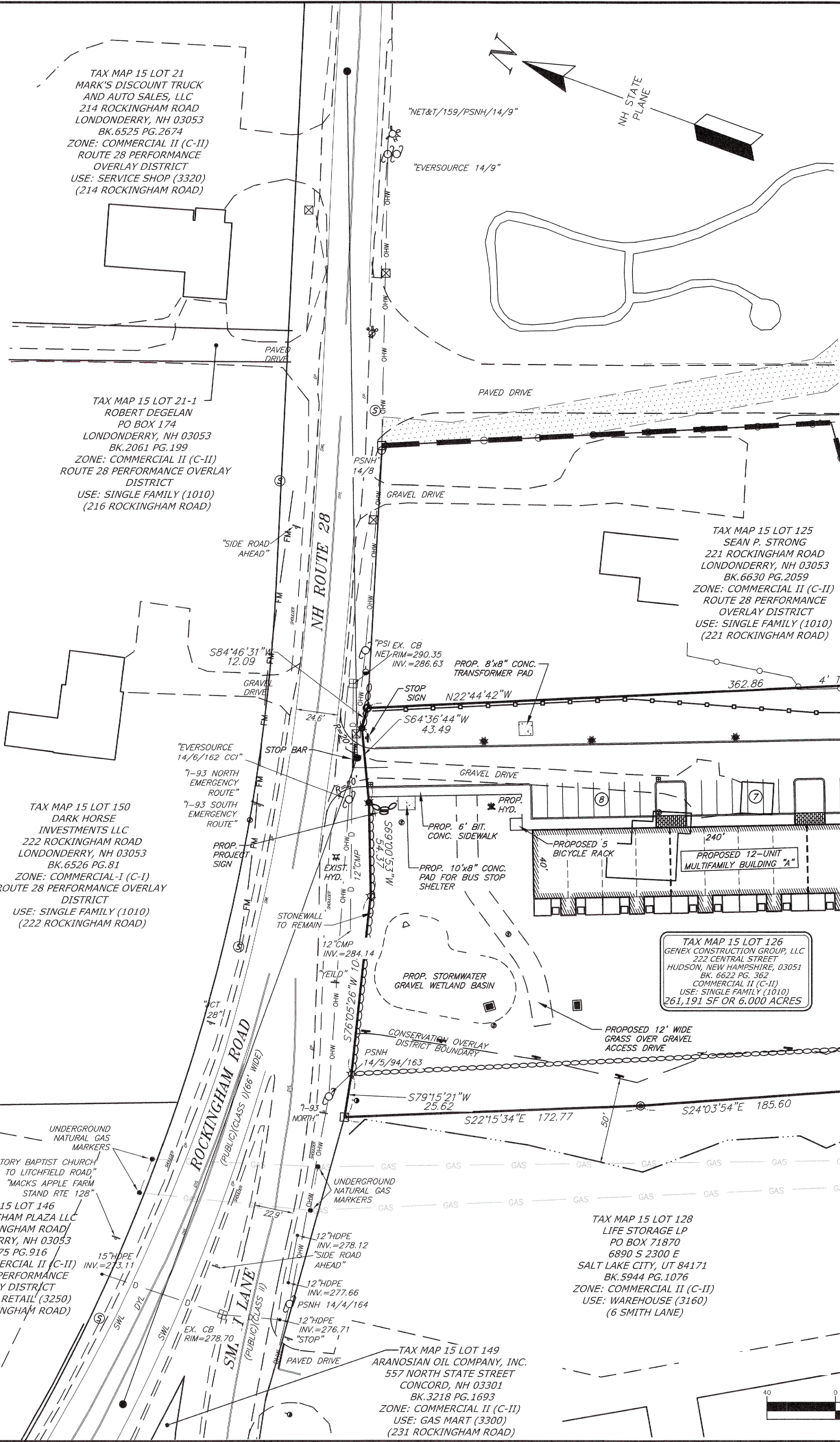
DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



VICINITY MAP
(SCALE: 1"=2500')

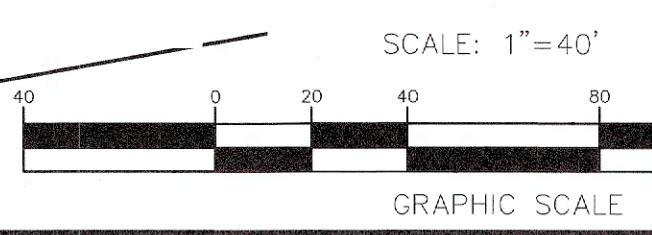
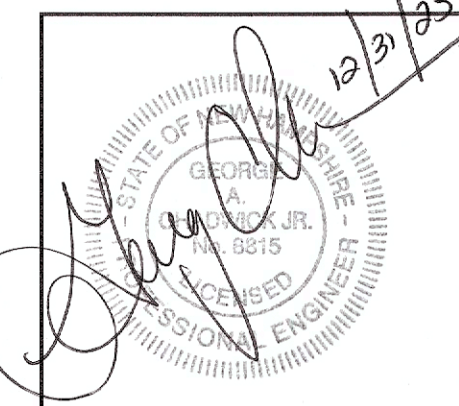
NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSTRUCTION OF FORTY (40) RESIDENTIAL RENTAL UNITS IN THREE (3) BUILDINGS AND ASSOCIATED FACILITIES ON TAX MAP 15 LOT 126.
2. OWNER OF RECORD:
TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NH 03051
BOOK 6622 PAGE 362
3. LOT AREA: PARCEL AREA: 261,191 S.F. OR 6.000 AC.
4. THE PARCEL IS IN THE COMMERCIAL II (C-II) ZONING DISTRICT.
5. THE LOT IS CURRENTLY A SINGLE FAMILY RESIDENCE.
6. PARKING REQUIREMENTS: (Sec 3.09)
40 UNIT RESIDENTIAL @ 2 SP/UNIT (STATE LAW 1.5 SPACES PER UNIT)
80 SPACES REQUIRED, 81 SPACES PROVIDED (2.02/UNIT) (INCLUDING 6 HANDICAP SPACES)
7. THE SITE IS SERVICED BY MANCHESTER WATER WORKS AND TOWN OF LONDONDERRY SEWER.
8. HORIZONTAL DATUM IS BASED ON STATE PLANE AND VERTICAL DATUM IS NAVD 1988 DERIVED FROM STATIS GPS OBSERVATIONS REDUCED BY OPUS. TOPOGRAPHIC INFORMATION IS BASED ON LIDAR DATA OBTAINED FROM LIDAR.UNH.EDU.
9. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY NO. 3301500317E, EFFECTIVE DATE MAY 17, 2005, INDICATES THE SUBJECT PREMISES IS LOCATED WITHIN ZONE X, NOT A DESIGNATED FLOOD HAZARD AREA.



NHDOT DRIVEWAY PERMIT
#DOT-DRI-003236

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



TAX MAP 15 LOT 126
NHDOT CURBCUT PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

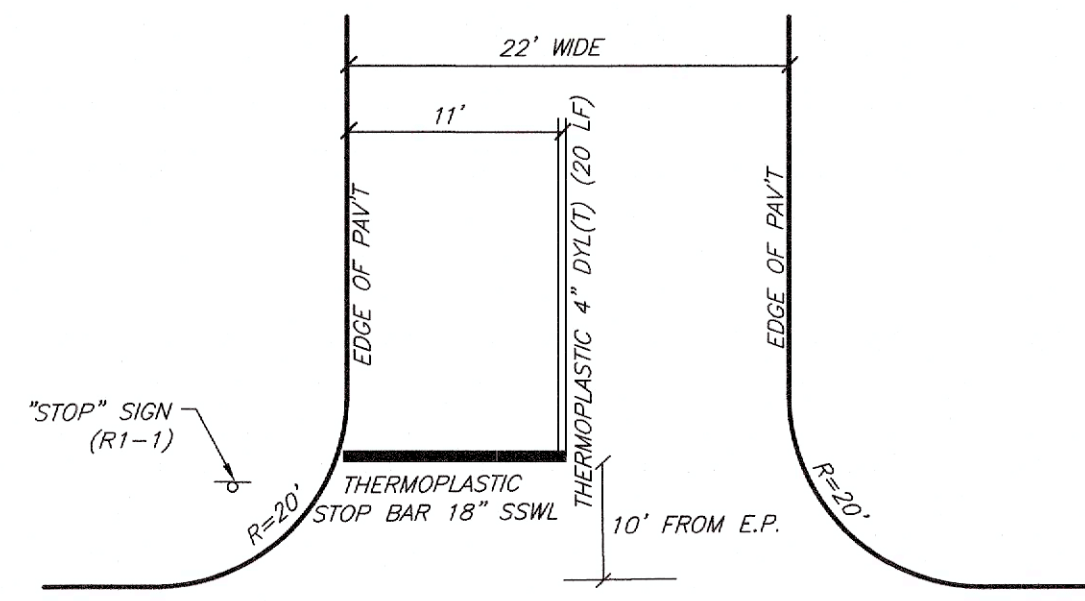
SCALE: 1" = 40' JUNE 12, 2025 SHEET 14 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	692	28	503-22

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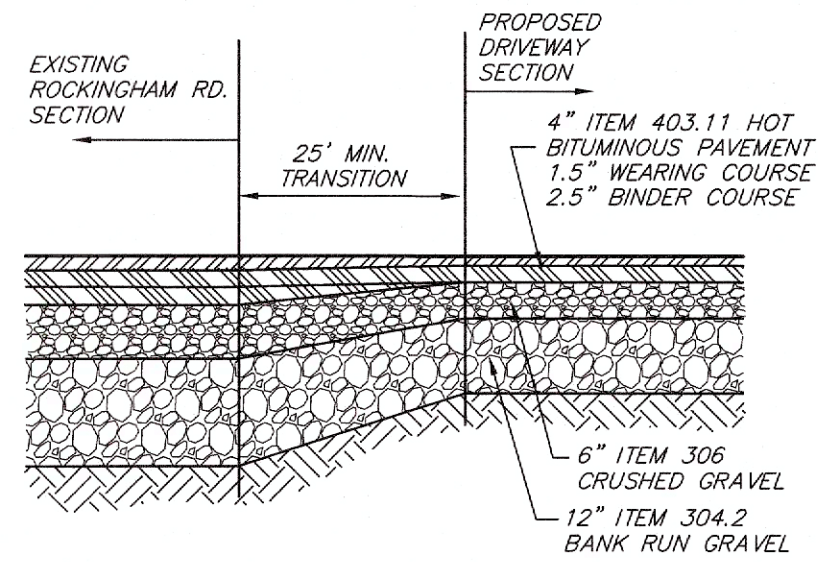
NOTES

1. THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED RECONSTRUCTED DRIVEWAY ACCESS FOR FORTY (40) RESIDENTIAL UNITS IN THREE (3) BUILDINGS AND ASSOCIATED FACILITIES. ON MAP 15/LOT 126.
2. PROPOSED DRIVEWAY TO BE 22 FEET WIDE.



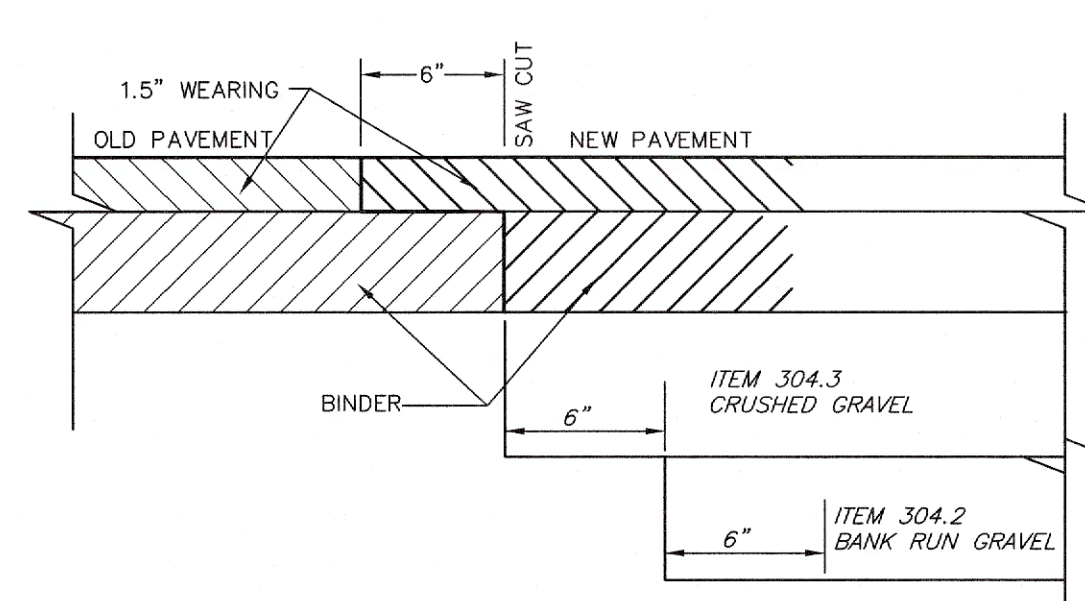
DRIVEWAY ENTRANCE DETAIL

NOT TO SCALE



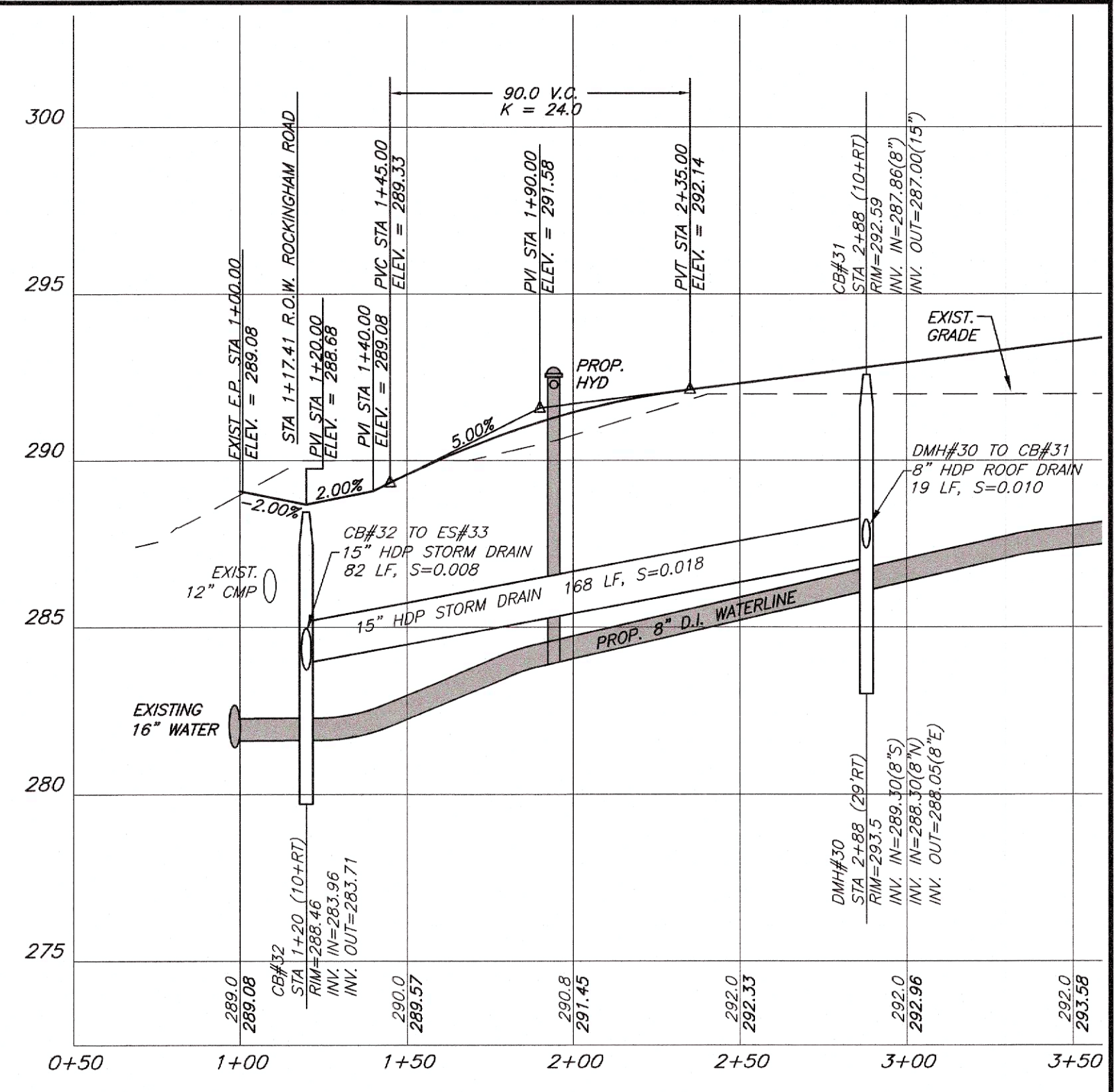
PAVEMENT SECTION TRANSITION

ROCKINGHAM ROAD/ ENTRANCE DRIVE
NOT TO SCALE



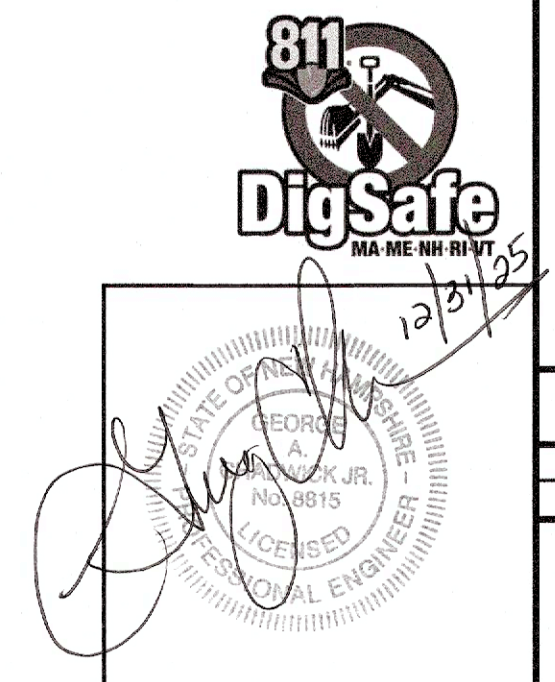
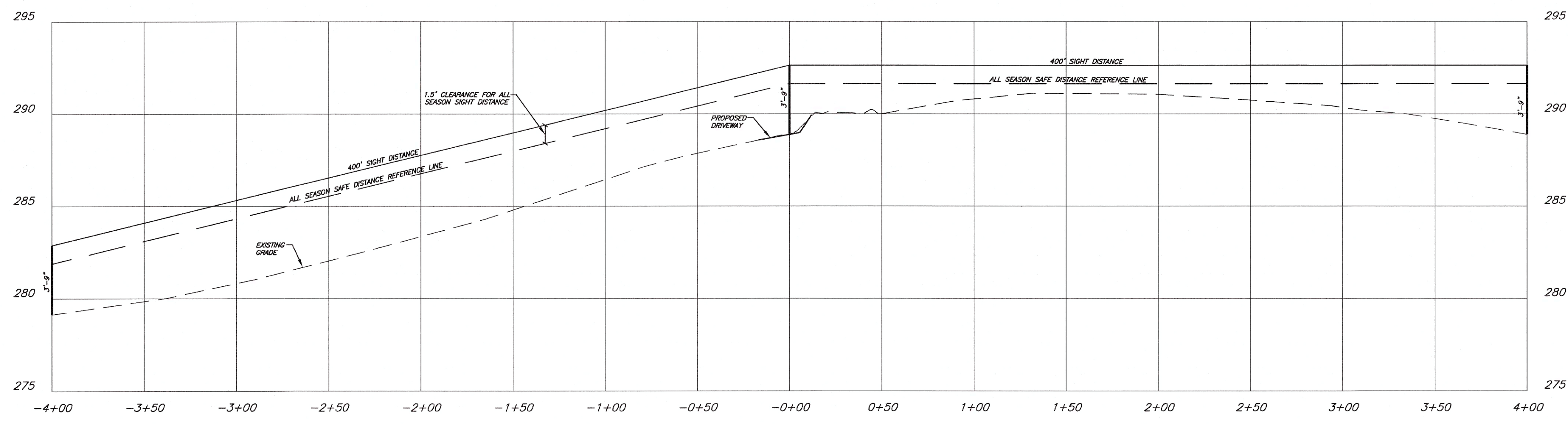
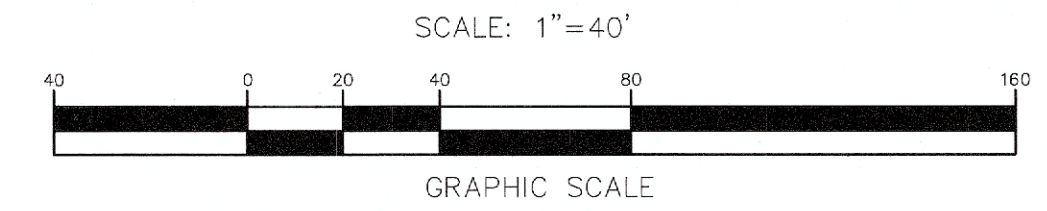
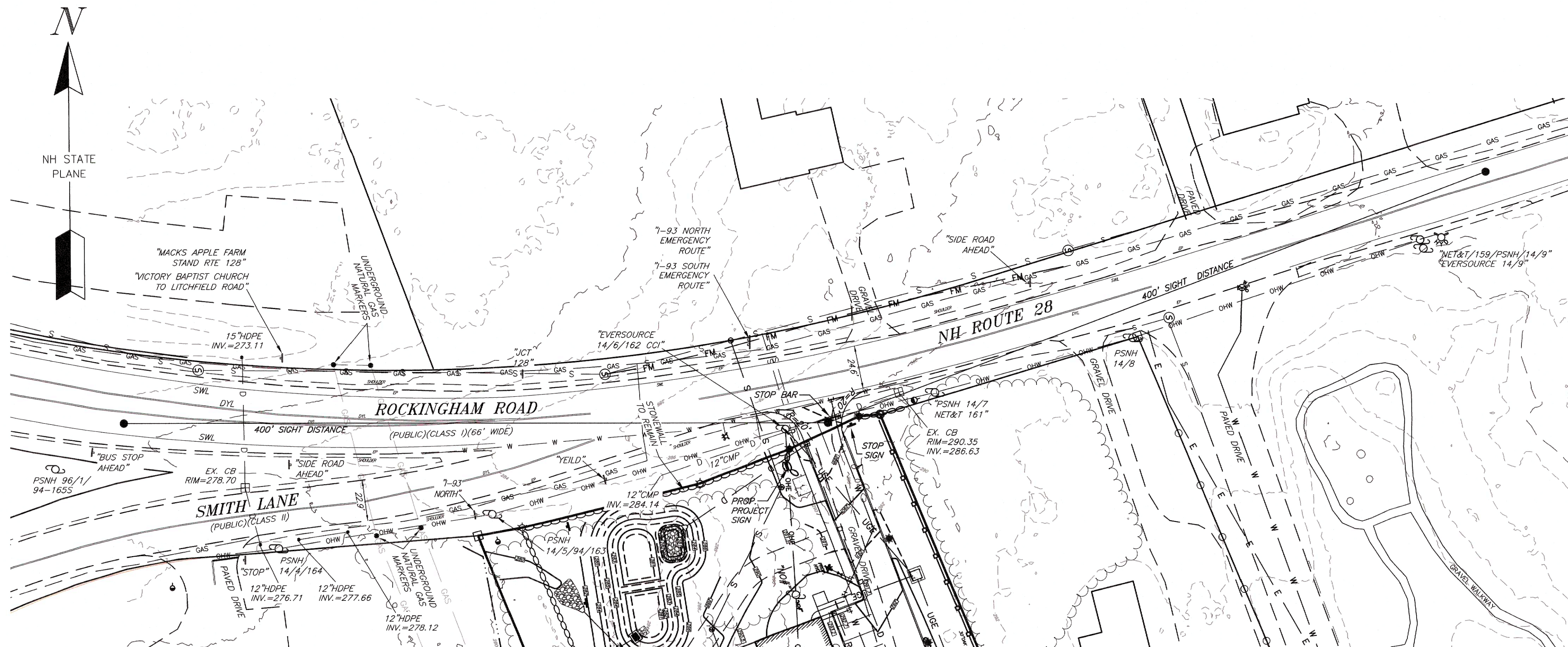
NEW TO OLD PAVEMENT DETAIL

NOT TO SCALE



DRIVEWAY PROFILE

SCALE: 1" = 40' HOR
1" = 4' VERT



DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L	E
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10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T	A

TAX MAP 15 LOT 126
NHDOT SIGHT DISTANCE PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 40' JUNE 12, 2025 SHEET 15 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	503-22
J.S.T	J.S.T	G.A.C	692	28	

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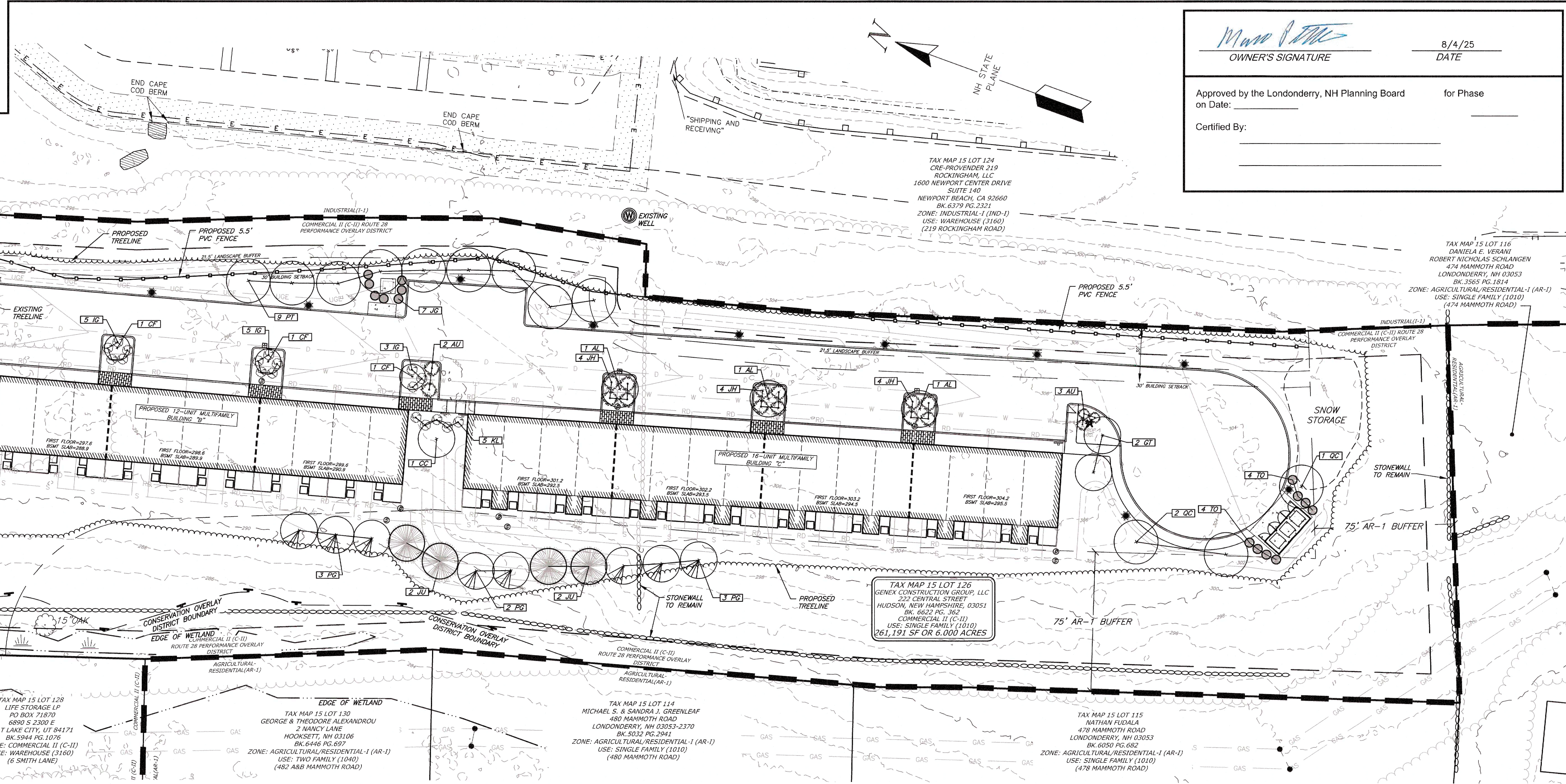
G:\PROJECT\0503022 GENEX ROCKINGHAM ROAD (DWG)\0503022CVD1.DWG

OWNER'S SIGNATURE

8/4/25
DATE

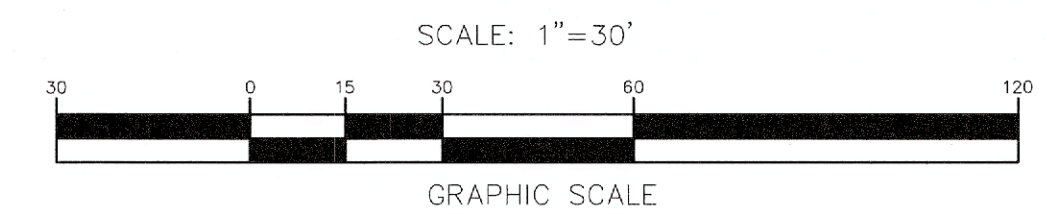
Approved by the Londonderry, NH Planning Board for Phase
on Date: _____

Certified By: _____



LINE SHEET 16
MATCH

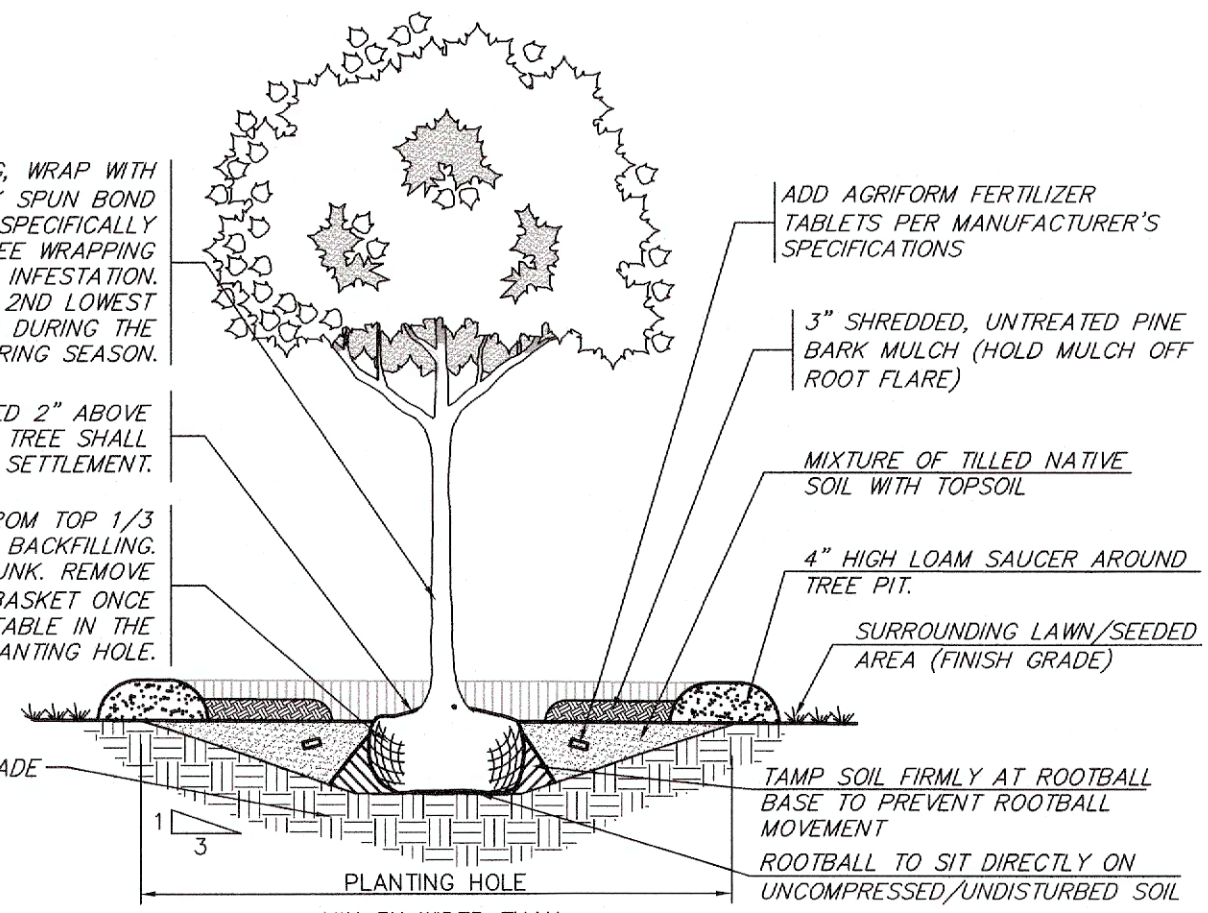
TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NEW HAMPSHIRE, 03051
BK. 6622 PG. 362
COMMERCIAL II (C-II)
USE: SINGLE FAMILY (1010)
261,191 SF OR 6,000 ACRES



FOR ALL FALL PLANTING, WRAP WITH 3" WIDE BLACK SPUN BOND POLYPROPYLENE SPECIFICALLY MANUFACTURED FOR TREE WRAPPING AND TO RESIST INSECT INFESTATION. WRAP TRUNK TO 2ND LOWEST BRANCH. REMOVE WRAP DURING THE FOLLOWING SPRING SEASON.

TREE SHALL BE PLANTED 2" ABOVE SURROUNDING GRADE. TREE SHALL BE PLUMB AFTER SETTLEMENT.

ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING. UNTIE ROPE FROM TRUNK. REMOVE TOP 8-16" OF WIRE BASKET ONCE THE ROOTBALL IS STABLE IN THE PLANTING HOLE.



DECIDUOUS TREE PLANTING
NOT TO SCALE

INSTALL 3 GUYS PER TREE EQUALLY SPACED AROUND ROOTBALL. GUY WIRE TO BE NEW PLIABLE ANNEALED GALVANIZED SOFT STEEL WIRE NO. 12 GAUGE SIZE. ATTACH AT 2/3 HGT. OF TREE IN TWO-PLY, BLACK REINFORCED RUBBER GARDEN HOSE. TIGHTLY CONNECT, HOWEVER ALLOW FOR SLIGHT NATURAL LOOSENING TO OCCUR. REMOVE GUYS AFTER 9 MONTHS.

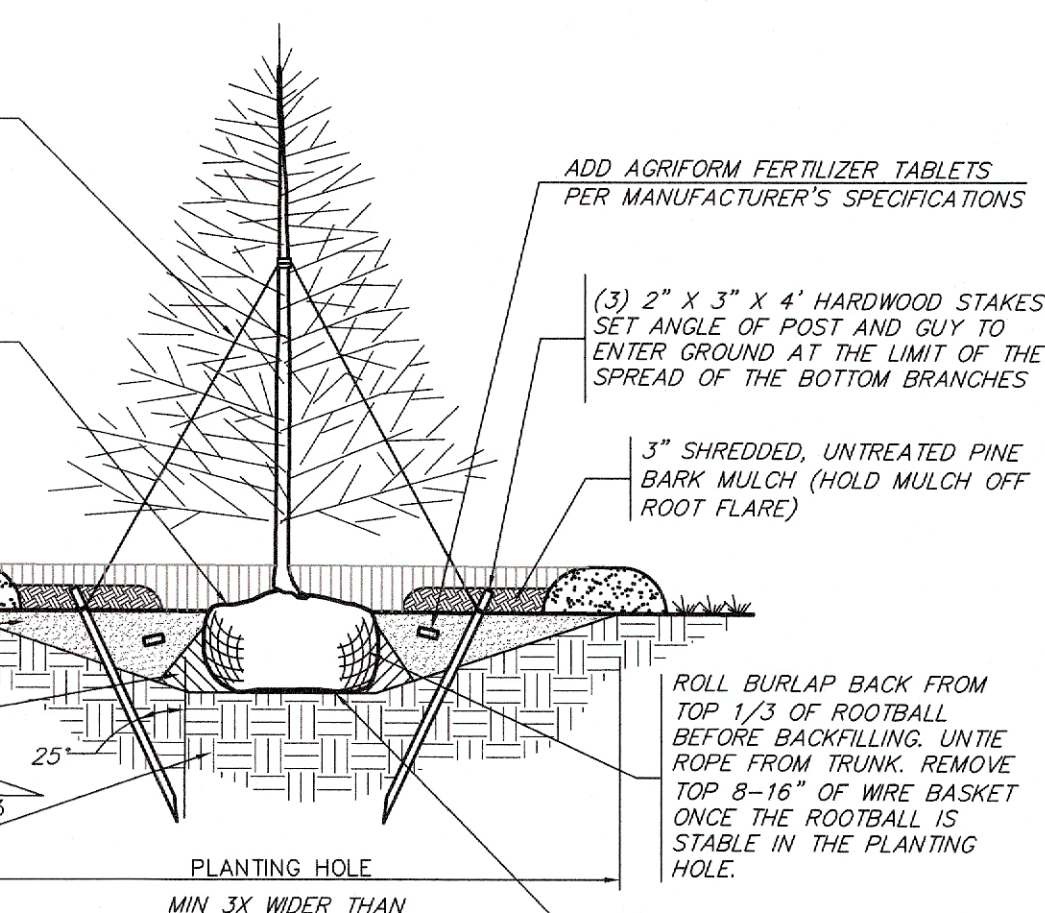
TREE SHALL BE PLANTED 2" ABOVE SURROUNDING GRADE. TREE SHALL BE PLUMB AFTER SETTLEMENT.

4" HIGH LOAM SAUCER AROUND TREE PIT. SURROUNDING LAWN/SEEDED AREA (FINISH GRADE)

BACKFILL WITH TOPSOIL MIXTURE

TAMP SOIL FIRMLY AT ROOTBALL BASE TO PREVENT ROOTBALL MOVEMENT

ROOTBALL TO SIT DIRECTLY ON UNCOMPRESSED/UNDISTURBED SOIL



CONIFEROUS TREE PLANTING DETAIL
NOT TO SCALE

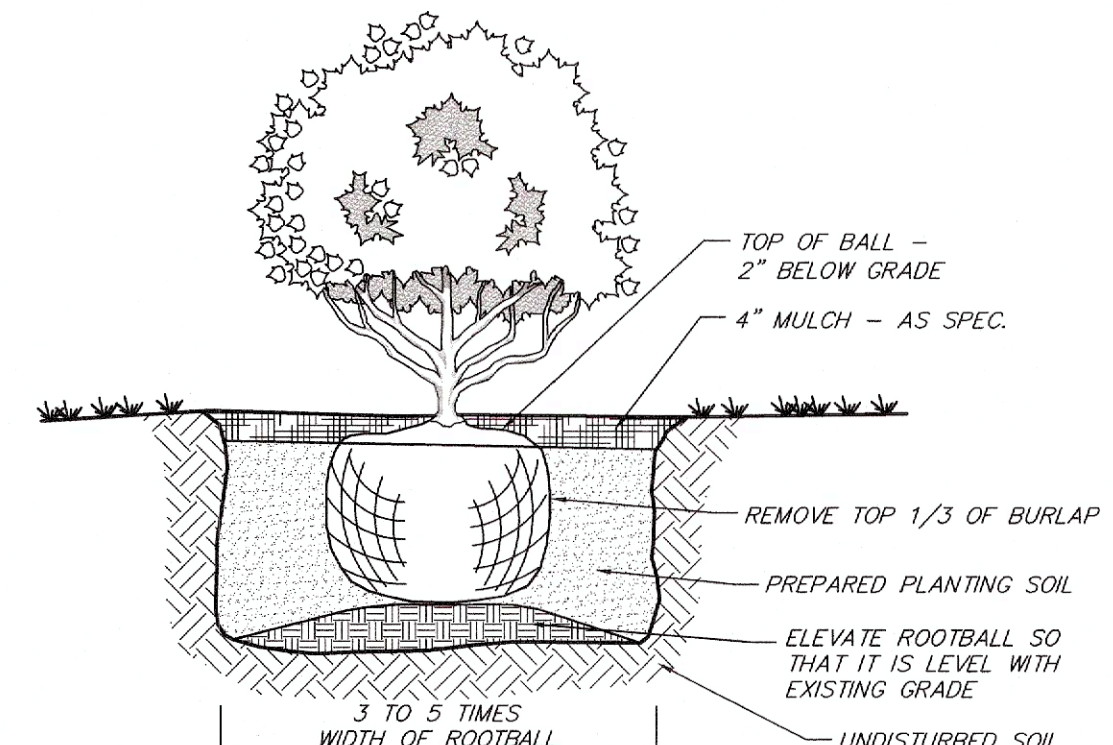
ADD AGRIFORM FERTILIZER TABLETS PER MANUFACTURER'S SPECIFICATIONS

(3) 2" X 3" X 4" HARDWOOD STAKES SET ANGLE OF POST AND GUY TO ENTER GROUND AT THE LIMIT OF THE SPREAD OF THE BOTTOM BRANCHES

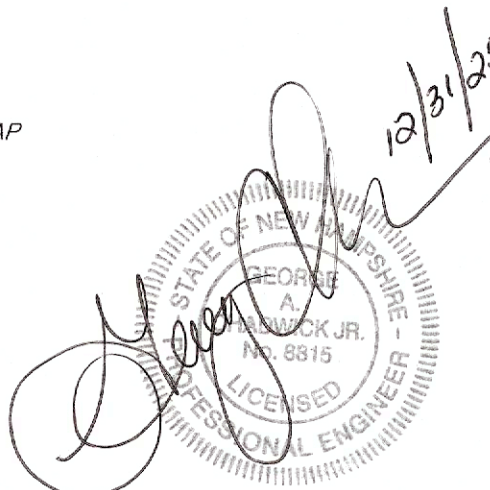
3" SHREDDED, UNTREATED PINE BARK MULCH (HOLD MULCH OFF ROOT FLARE)

ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING. UNTIE ROPE FROM TRUNK. REMOVE TOP 8-16" OF WIRE BASKET ONCE THE ROOTBALL IS STABLE IN THE PLANTING HOLE.

ROOTBALL TO SIT DIRECTLY ON UNCOMPRESSED/UNDISTURBED SOIL



SHRUB PLANTING DETAIL
NOT TO SCALE



TAX MAP 15 LOT 126
LANDSCAPE PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 30' JUNE 12, 2025 SHEET 17 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	503-22
JST	JST	GAC	692	28	

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9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

G:\PROJECT\0503022 GENEX Rockingham Road\DWG\0503022c-101.dwg

ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF TYPE FIXTURES AS REQUIRED

APEX LIGHTING SOLUTIONS

20-30 BEAVER ROAD, WETHERSFIELD, CT 06109
TELEPHONE 860.632.8766 / WWW.APEXLTG.COM

JOB NAME: GENEX - ROCKINGHAM RD - LONDONDERRY, NH
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LED
SALES: CR
SPECIFIER: BEDFORD DESIGN CONSULTANTS

GENERAL DISCLAIMER:
Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

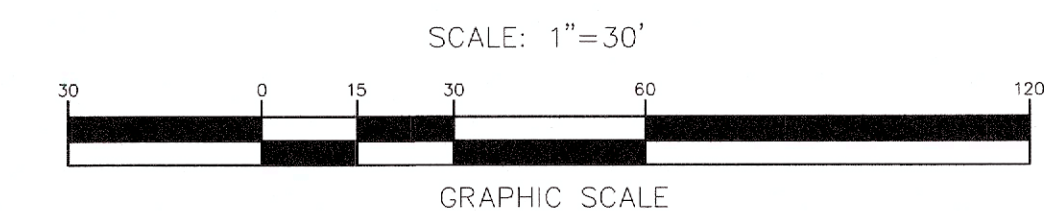
NOTE TO REVIEWER:
Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an increased Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results. For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
1	S2S	Single	5354	41.88	0.900	B1-U0-G1	GARDCO OPF-S-A01-730-T2M-AR1-UNV-FINISH-OPF-S-HIS-1 / MOUNTED TO SSS-CB-4-11-20-D1-DT5-FINISH
1	S4S	Single	5468	41.88	0.900	B1-U0-G2	GARDCO OPF-S-A01-730-T4M-AR1-UNV-FINISH-OPF-S-HIS-T4-1 / MOUNTED TO SSS-CB-4-11-20-D1-DT5-FINISH
13	SB	Single	4875	41.88	0.900	B0-U0-G2	GARDCO OPF-S-A01-730-BLC-AR1-UNV-FINISH / MOUNTED TO SSS-CB-4-11-20-D1-DT5-FINISH

Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	0	0.11	2.7	0.0	N.A.	N.A.
PARKING & DRIVE LANES	0	1.07	2.7	0.0	N.A.	N.A.



GARDCO OPF-S-A01-730



Professional Engineer Seal for Bedford Design, State of New Hampshire, License No. 14471/14.

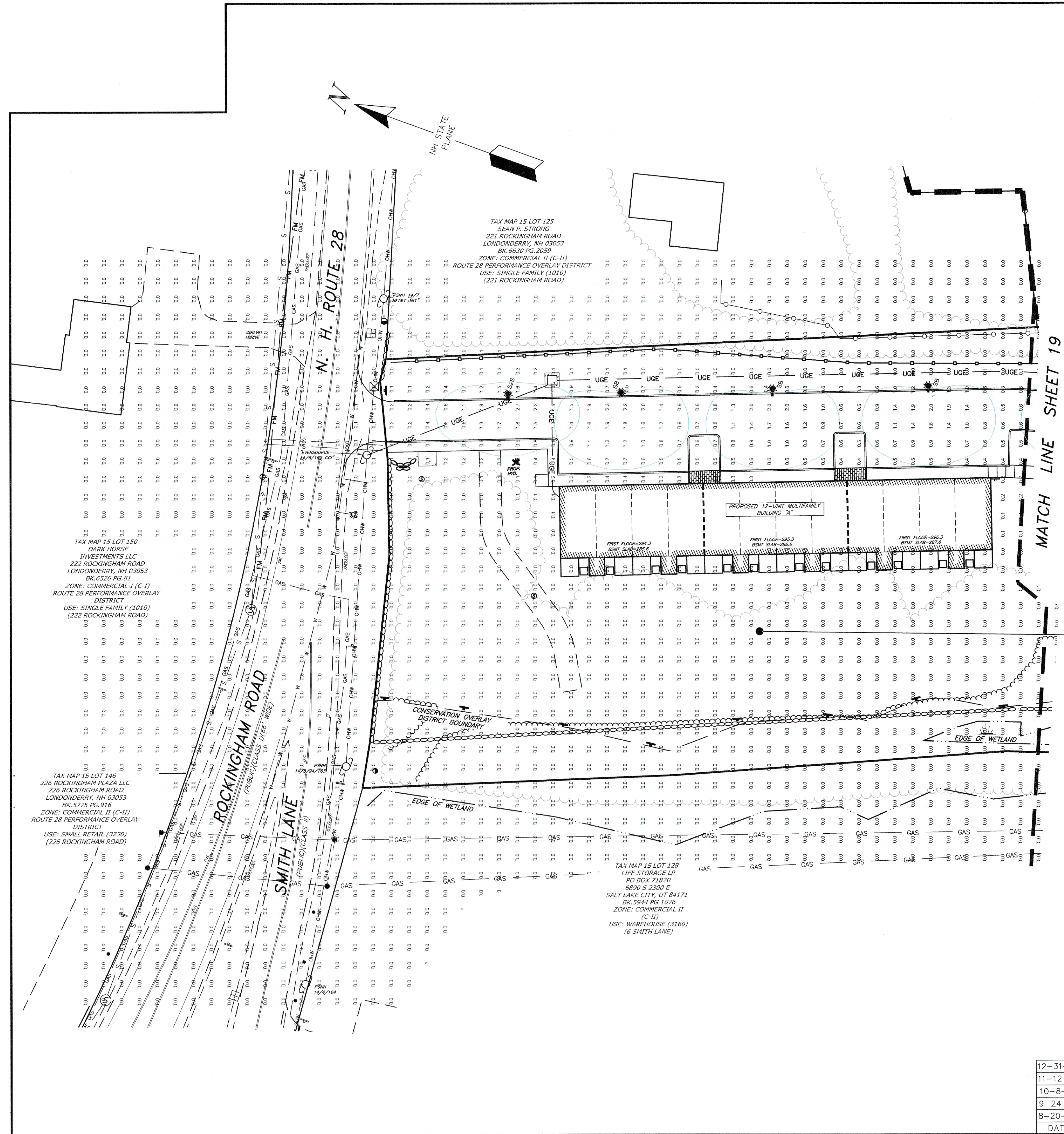
TAX MAP 15 LOT 126
LIGHTING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 30' JUNE 12, 2025 SHEET 18 OF 33

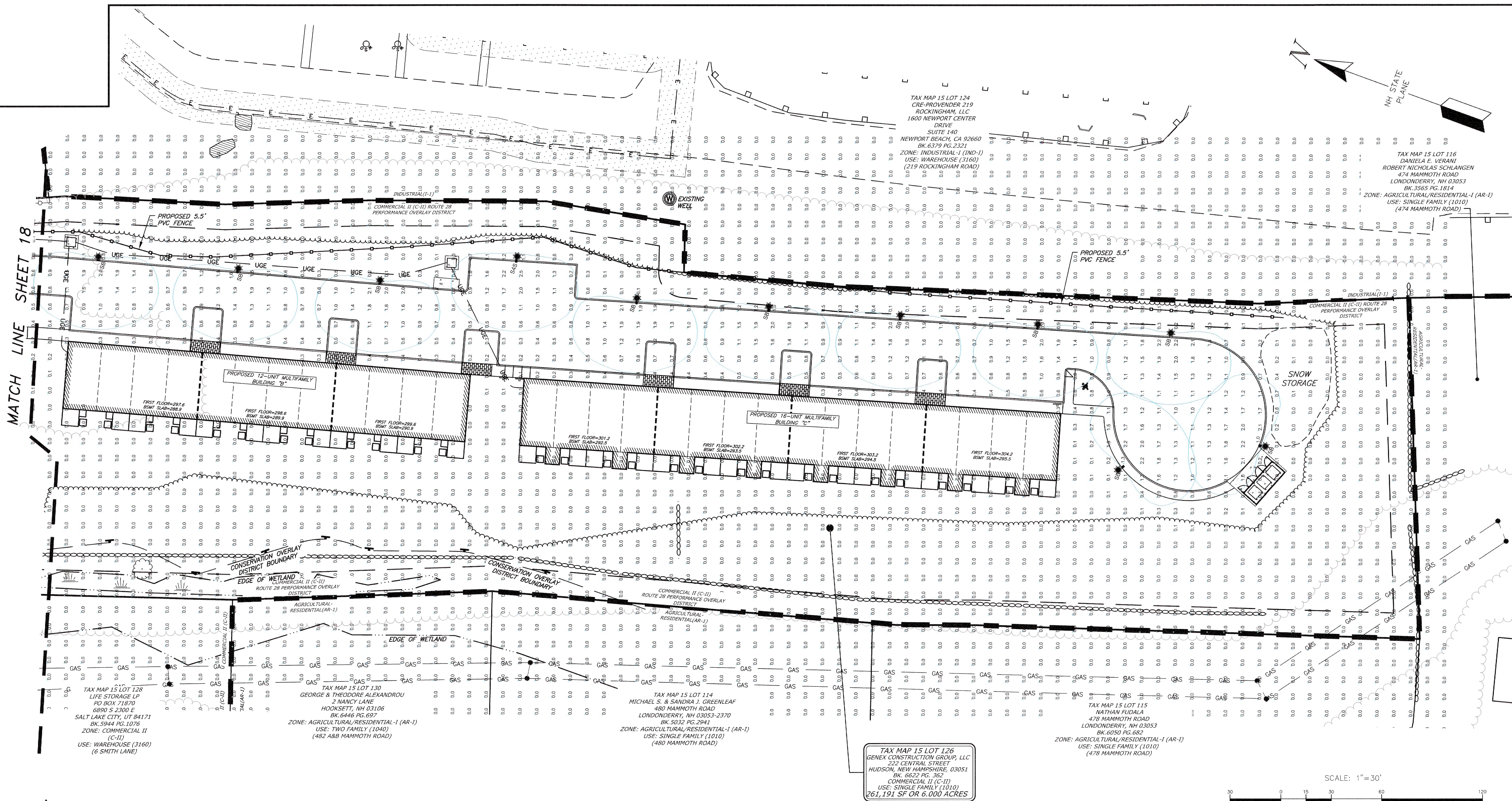
DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	692	28	503-22

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DATE	DESCRIPTION	BY	REV.
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9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



G:\PROJECT\0503022 GENEX Rockingham Road\DWG\0503022c-01.dwg



20-30 BEAVER ROAD, WETHERSFIELD, CT 06109
TELEPHONE 860.632.8766 / WWW.APEXLTG.COM

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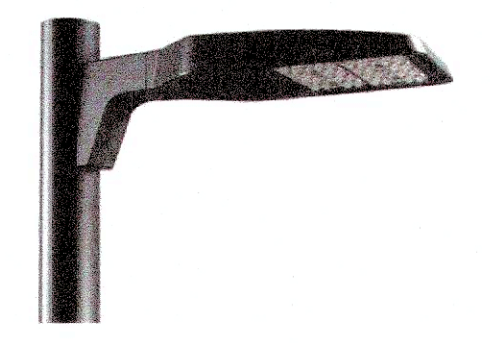
* LLF Determined Using Current Published Lamp Data
NOTE TO REVIEWER:
Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog and a Luminaire Dirt Depreciation Factor (LDD) based on recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

JOB NAME: GENEX - ROCKINGHAM RD - LONDONDERRY, NH
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LED
SALES: CR
SPECIFIER: BEDFORD DESIGN CONSULTANTS

ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF TYPE FIXTURES AS REQUIRED

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1	S4S	Single	5488	41.88	0.900	B1-U0-G2	GARDCO OPF-S-A01-730-T4M-AR1-UNV-FINISH-OPF-S-HIS-T4-1 / MOUNTED TO SSS-CB-4-11-20-D1-DT5-FINISH
13	SB	Single	4875	41.88	0.900	B0-U0-G2	GARDCO OPF-S-A01-730-BLC-AR1-UNV-FINISH / MOUNTED TO SSS-CB-4-11-20-D1-DT5-FINISH

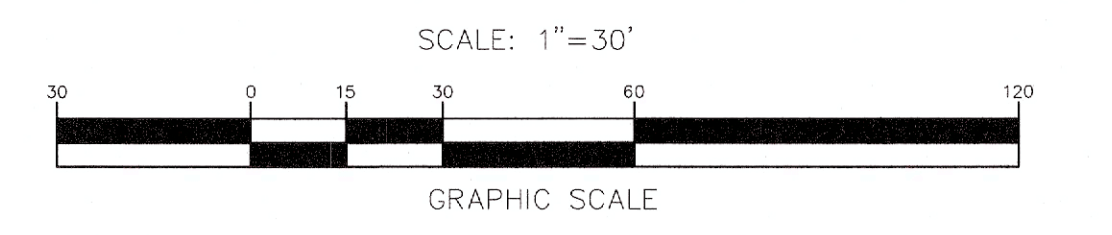
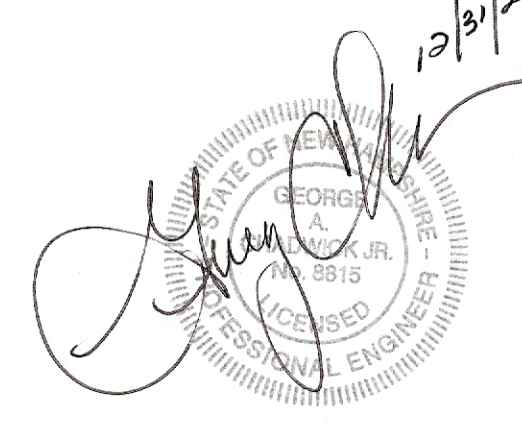
Calculation Summary							
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min	
OVERALL SITE	0	0.11	2.7	0.0	N.A.	N.A.	
PARKING & DRIVE LANES	0	1.07	2.7	0.0	N.A.	N.A.	



GARDCO OPF-S-A01-730



TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NEW HAMPSHIRE, 03051
BK. 6622 PG. 362
COMMERCIAL II (C-II)
USE: SINGLE FAMILY (1010)
261,191 SF OR 6,000 ACRES



TAX MAP 15 LOT 126
LIGHTING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: 1" = 30'
JUNE 12, 2025
SHEET 19 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	692	28	503-22

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Removal of Non-Native Invasive Plants

During maintenance activities, check for the presence of invasive plants. Non-native invasive plants crowd out natives in natural and managed landscapes. Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to prevent the removed plant material so the plants don't grow where disposed. Remove and dispose of all invasive plant materials in accordance with "Methods for Disposing Non-Native Invasive Plants" published by the University of New Hampshire Cooperative Extension. http://extension.unh.edu/resources/files/resource09098_rpt1720.pdf

Snow Disposal and Plowing

The purpose for the snow and snowmelt management plan is to provide guidelines regarding snow disposal site selection, site preparation and maintenance that are acceptable to the Department of Environmental Protection. For the areas that require snow removal, snow storage onsite will largely be accomplished by utilizing pervious upland areas along the shoulder of the roadways and parking areas as windrowed by plows. No snow shall be pushed into the buffers or wetlands. Any excess snow shall be trucked off site and disposed of in a legal manner. Ensure that drainage structures are not blocked by ice, snow, debris or trash during winter months. Sand shall be the primary agent used for driveway and parking lot safety during ice and snow conditions. No deicing materials shall be stored on site.

- All operators shall be "green SnowPro" certified.
Avoid dumping of snow into any water body, including streams, ponds, or wetlands, as this could lead to water quality impacts and flooding.
Avoid dispersing of snow on top of storm drain catch basins or in stormwater basins. Snow combined with sand and debris may block the storm drainage system, causing localized flooding. A high volume of sand, sediment, and litter released from melting snow also may quickly be transported through the system into the surface water.
During winter conditions sand use site-wide shall be applied to the minimum extent possible to maintain safe conditions.
The usage of Sodium Chloride for snow and ice removal is prohibited.
The amount of salt usage shall be reported yearly to NHDES

Stormwater BMP's on-site (see attached map for locations)

Pre-Treatment Areas: Sediment Forebays

Treatment Areas: Stormwater Gravel Wetland

Recommended Maintenance for Specific BMP's:

Sediment Forebays

- Forebays help reduce the sediment load to downstream BMPs, and will therefore require more frequent cleaning.
Inspect sediment forebays quarterly.
Conduct periodic mowing of embankments (generally two times per year) to control growth of woody vegetation on embankments. Set mower blades no lower than 3 to 4 inches;
Remove debris from outlet structures at least once per year;
Check for signs of rilling or gullying and repair areas as needed;
Remove and dispose of accumulated sediment based on inspection;
After removing sediment, replace any vegetation damaged during the clean-out by either reseeding or sodding. When reseeding, incorporate practices such as hydroseeding with a tackifier, blanket, or similar practice to ensure that no scour occurs in the forebay while the seeds germinate;
Install and maintain a staff gage or other measuring device, to indicate depth of sediment accumulation and level at which clean-out is required.

Deep Sump Catch Basins

- Catch basins may require frequent maintenance. Depending on the location, this may require several cleanings of the sumps per year. At a minimum, inspection of outlet structure and appurtenances at least twice annually once after snow melt and once after leaf drop and following any rainfall event exceeding 2.5 inches in a 24-hour period, with maintenance or rehabilitation conducted as warranted by such inspection;
Removal of surface debris from inlet grate and outlet structures twice annually and following any rainfall event exceeding 2.5 inches in a 24-hour period;
Removal of accumulated sediment and debris when it approaches half the depth of the sump;
If floating hydrocarbons are observed during an inspection, the material should be removed immediately by skimming, absorbent materials, or other method and disposed in conformance with applicable State and Federal regulations;
Cleaning may require a Vacuum truck instead of a "clam-shell" to avoid damage to the hood;
Damaged hoods should be replaced when noted by inspection.

Grassed Swales/Landscaped Areas

- Removal of debris from inlet and outlet structures twice annually and following any rainfall event exceeding 2.5 inches in a 24-hour period;
Removal of accumulated sediment and debris annually or as necessary following inspection;
Inspection at least twice annually (and following any rainfall event exceeding 2.5 inches in a 24-hour period) for erosion, sediment accumulation, vegetation loss, and presence of invasive species with maintenance or rehabilitation conducted as warranted by such inspection;
Perform periodic mowing of embankments; do not cut shorter than 4" depth required for water quality flow;
Repair eroded areas, remove invasive plant species and dead vegetation, and reseed areas with applicable grass mix as warranted by inspection;

Stormwater Gravel Wetland

- Removal of debris from inlet and outlet structures whenever observed by inspection;
Removal of accumulated sediment and debris when it significantly affects the basin capacity and function;
Inspection of pretreatment measures at least twice annually, and removal of accumulated sediment as warranted by inspection, but no less than twice annually;

Outlet Protection:

- Inspect the riprap outlet protection twice annually for damage and deterioration. Repair/Replace materials as necessary to provide proper outlet protection and prevent soil erosion and transport.

Pavement Sweeping Program

Long-term management practices include quarterly sweeping of driveways and non-pervious pavement parking areas. The sweeping program will remove sand and contaminants directly from paved surfaces before they become mobilized during rain events and transported to the drainage system. Pavement sweeping is a highly effective source control measure for reducing pollutant loading in stormwater. All sweepings will be disposed of in a legal manner.

Fertilizer Use

Only slow-release organic low-phosphorus fertilizers will be used in any landscaped areas in order to limit the amount of nutrients that could enter the stormwater system.

Maintenance Schedule

The following is a general maintenance schedule that can be used as a reference by the Property Manager. This schedule includes the maintenance action to be taken and when the action is to occur.

Table with 3 columns: Site Component, Action to be Taken, Timeline for Completion. Rows include Pavement Areas (Monthly), Swales, Forebays, Gravel Wetland Basins & Landscaped Areas (April/October), Swales, Gravel Wetland Basins (April/October), Swales, Gravel Wetland Basins (After each storm greater than 2.5" for 3 months after construction), Drainage Flared End Outlets & Headwalls (April/October), Catch Basins (Monthly Inspection, Quarterly Cleaning).

ROCKPOINT COMMONS

225 Rockingham Road Londonderry, New Hampshire

Stormwater Drainage Inspection and Maintenance Log (sheet 1 of 2)

(Make additional copies for each inspection) (All inspection checklists to be kept in a log book in date order from oldest to newest inspection and sent to the Town of Londonderry Department of Engineering and Environmental Services on an Annual basis)

Site Maintenance Supervisor: Date: Routine Response to Rainfall Event in Other

Table with 7 columns: Best Management Practice, Minimum Frequency, Date Performed, Comments, Cleaning/Repair Required, Date of Cleaning/Repair, Performed By. Rows include DMH no. 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 23, 30, 31, 32, 36, 34, 35, 22, 24, 33, 37.

ROCKPOINT COMMONS

225 Rockingham Road Londonderry, New Hampshire

Stormwater Drainage Inspection and Maintenance Log (sheet 2 of 2)

- Inspect the riprap outlet protection twice annually for damage and deterioration. Repair/Replace materials as necessary to provide proper outlet protection and prevent soil erosion and transport.

ROCKPOINT COMMONS

225 Rockingham Road Londonderry, New Hampshire

Deicing Inspection and Maintenance Log

(Make additional copies for each inspection) (All inspection checklists to be kept in a log book in date order from oldest to newest inspection) The amount of salt usage shall be reported yearly to NHDES

Site Maintenance Supervisor: Date: Routine Response to Snowfall Event in Other

Table with 4 columns: Location, Date Performed, Comments, materials applied, Performed By. Rows include Entrance Drive, Walkways.

INSPECTION OF STORMWATER GRAVEL WETLANDS

Years 0-3 of Operation

Inspections should be conducted bi-annually, and during and after 2.5" rainfall events.

General Information

Form fields for BMP Description, Location, Inspector's Name, Date of Inspection, Start Time, End Time, Type of Inspection, and weather conditions.

Specific Information

Table with 4 columns: Maintenance Activity, Maintenance Frequency, Is Status of BMP Satisfactory?, Corrective Action Needed. Rows include inspect for invasive species, Replace all media and vegetation.

In addition, the following information should be recorded and mapped at least once per year:

- Types and distribution of dominant wetland plants
Presence and distribution of planted wetland species
Presence and distribution of invasive species
Indications other species are replacing planted wetland species
Percent of standing water that is not vegetated
Replace all media and vegetation
Stability of original depth zones and micro-topographic features
Accumulation of sediment in the forebay and micropool and survival rate of plants

INSPECTION OF STORMWATER GRAVEL WETLANDS

Year 4 - Lifetime of Operation

Inspections should be conducted bi-annually, and during and after 2.5" rainfall events.

General Information

Form fields for BMP Description, Location, Inspector's Name, Date of Inspection, Start Time, End Time, Type of Inspection, and weather conditions.

Specific Information

Table with 4 columns: Maintenance Activity, Maintenance Frequency, Is Status of BMP Satisfactory?, Corrective Action Needed. Rows include inspect for invasive species, Clean forebays, Clean sediment in basin/wetland system, Replace dead vegetation, Prune, Replace all media and vegetation.

CATCH BASIN INSPECTION FORM

Inspections should be conducted bi-annually, and during and after 2.5" rainfall events.

Form for Catch Basin Inspection with fields for Catch Basin ID, Final Discharge from Structure?, Catch Basin Label, Basin Material, Pipe Material, Required Maintenance Problems, Catch Basin Grade Type, Sediment Buildup, Description of Flow, Street Name/Structure Location, Weather Conditions, Sample of Sediment Collected for Analysis?

INSPECTION OF GRASSED SWALE

Inspections should be conducted bi-annually, and during and after 2.5" rainfall events.

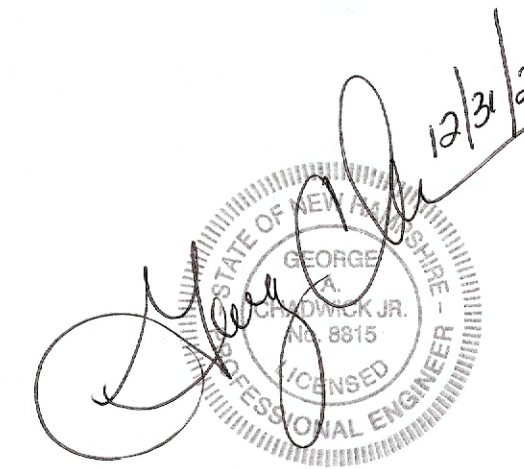
General Information

Form fields for BMP Description, Location, Inspector's Name, Date of Inspection, Start Time, End Time, Type of Inspection, and weather conditions.

Specific Information

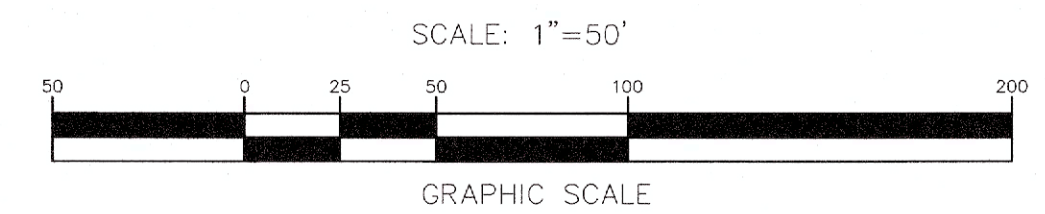
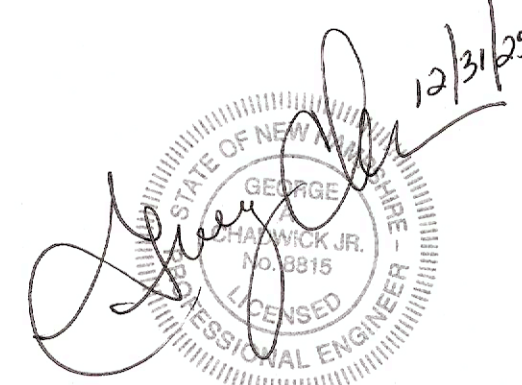
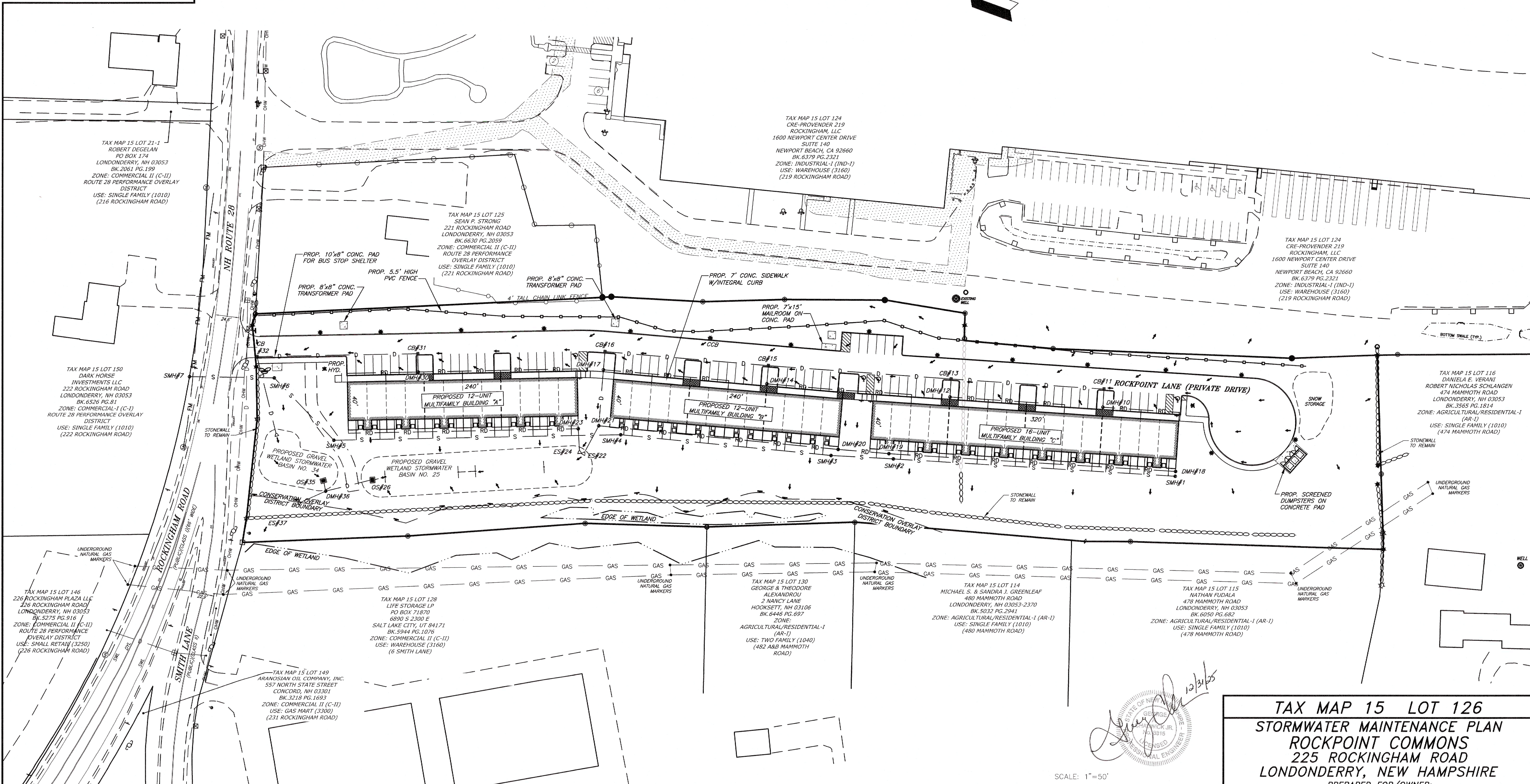
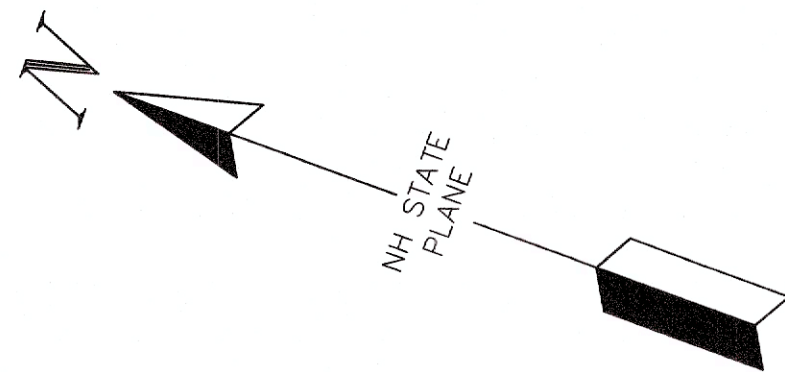
Table with 4 columns: Maintenance Activity, Maintenance Frequency, Is Status of BMP Satisfactory?, Corrective Action Needed. Rows include inspect for soil erosion and repair, inspect for invasive species and remove if present, Remove trash and debris, Remove dead vegetation.

G:\PROJECT\05030222 GENEX Rockingham Road\DWG\05030222c\01.dwg



TAX MAP 15 LOT 126 STORMWATER MAINTENANCE PLAN ROCKPOINT COMMONS 225 ROCKINGHAM ROAD LONDONDERRY, NEW HAMPSHIRE PREPARED FOR/OWNER: GENEX CONSTRUCTION GROUP, LLC 222 CENTRAL STREET HUDSON, N.H. 03051 BOOK 6622 PAGE 362 SCALE: NONE JUNE 12, 2025 SHEET 20 OF 33 DESIGN: JUST DRAWN: JUST CHECKED: GAC FB: 692 PG: 28 503-22 Bedford Design ENGINEERS, SURVEYORS & LANDSCAPE ARCHITECTS 603-622-5533 • 592 HARVEY ROAD MANCHESTER, NH 03103 • www.BedfordDesign.com

Table with 4 columns: DATE, DESCRIPTION, BY, REV. Rows include 12-31-25 PER DRC - STANTEC REVIEW #2, 11-12-25 PER DRC PLAN REVIEW, 10-8-25 PER ALT. OF TERRAIN DESIGN REVIEW, 9-24-25 PER TOWN SEWER DEPT. 2ND REVIEW, 8-20-25 PER TOWN SEWER DEPT. REVIEW.



TAX MAP 15 LOT 126
STORMWATER MAINTENANCE PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

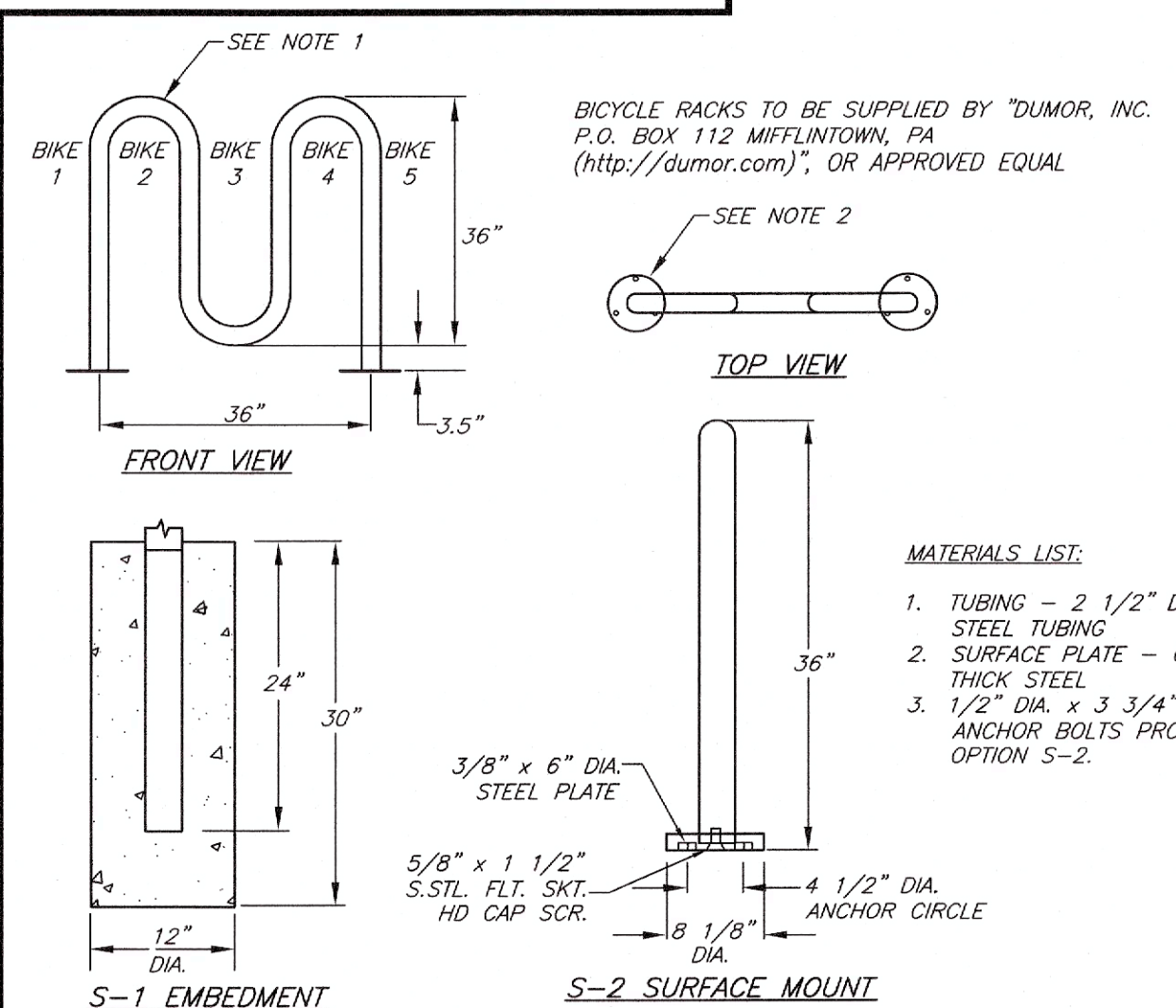
SCALE: 1" = 50'	JUNE 12, 2025	SHEET 21 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
FB: 692	PG: 28	503-22

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



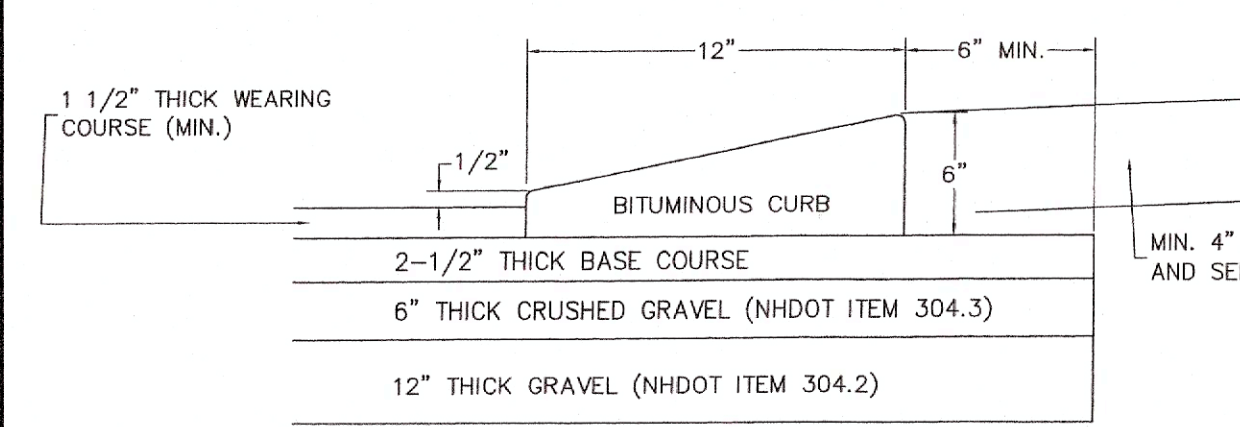
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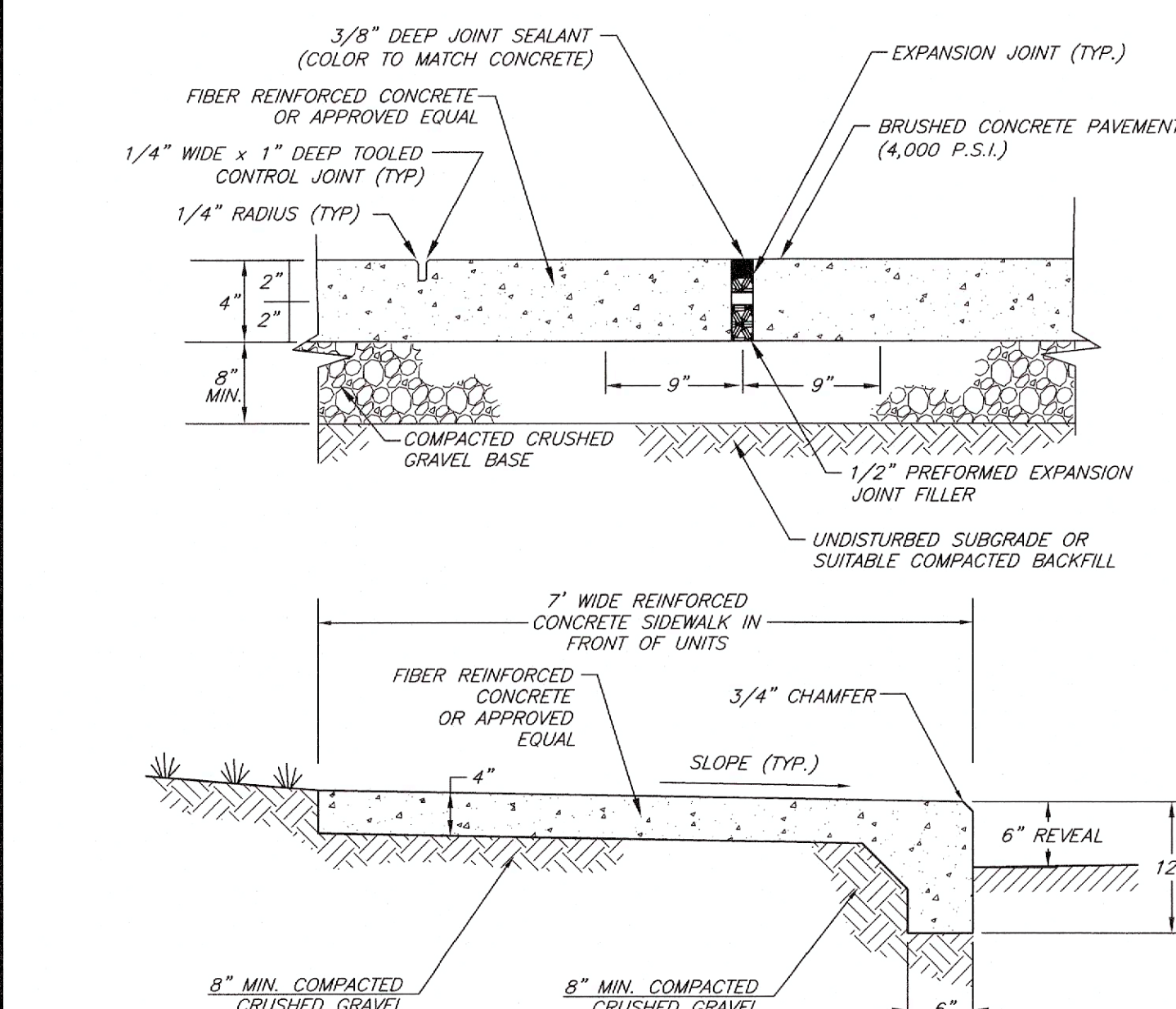


BICYCLE RACKS TO BE SUPPLIED BY "DUMOR, INC.
P.O. BOX 112 MIFLINTOWN, PA
(http://dumor.com)", OR APPROVED EQUAL

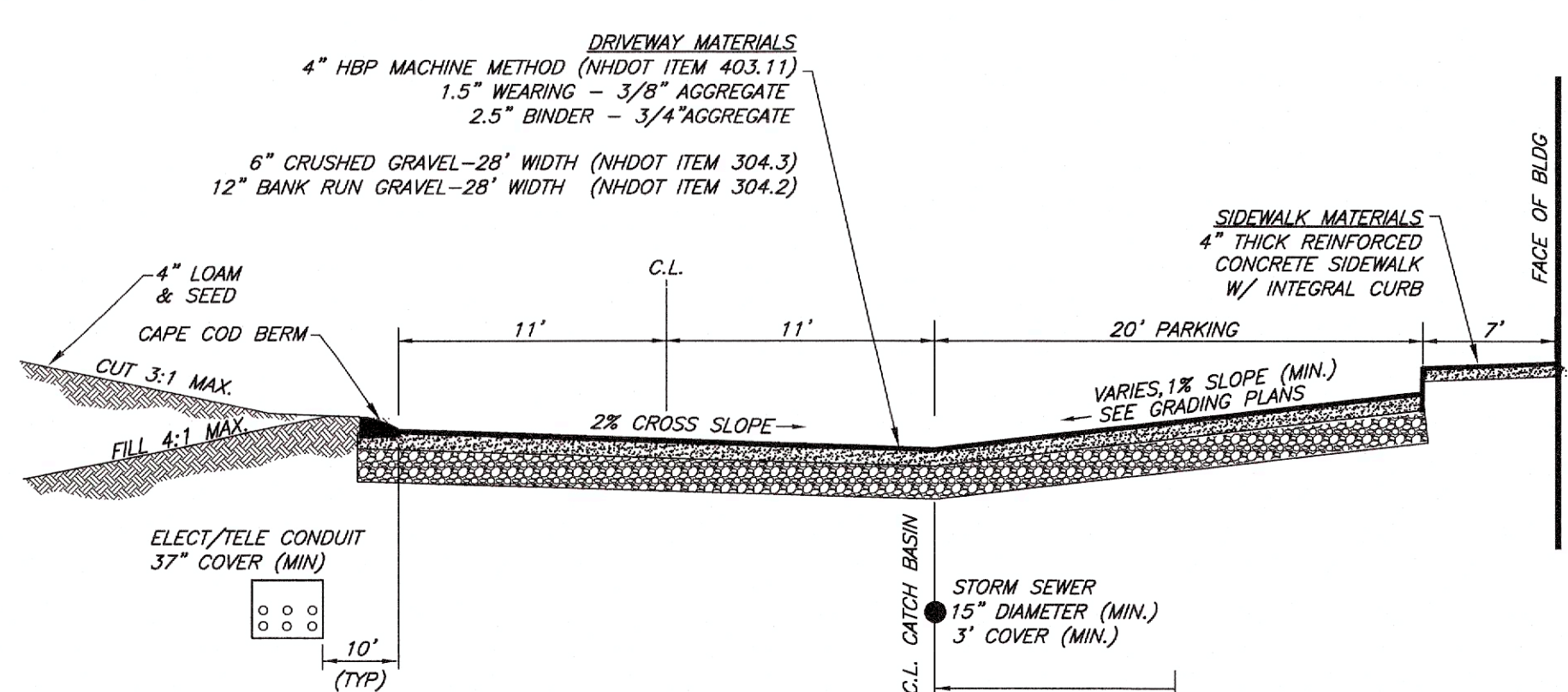
- MATERIALS LIST:**
1. TUBING - 2 1/2" DIA. SCH 40 STEEL TUBING
 2. SURFACE PLATE - 6" DIA. x 3/8" THICK STEEL
 3. 1/2" DIA. x 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR OPTION S-2.



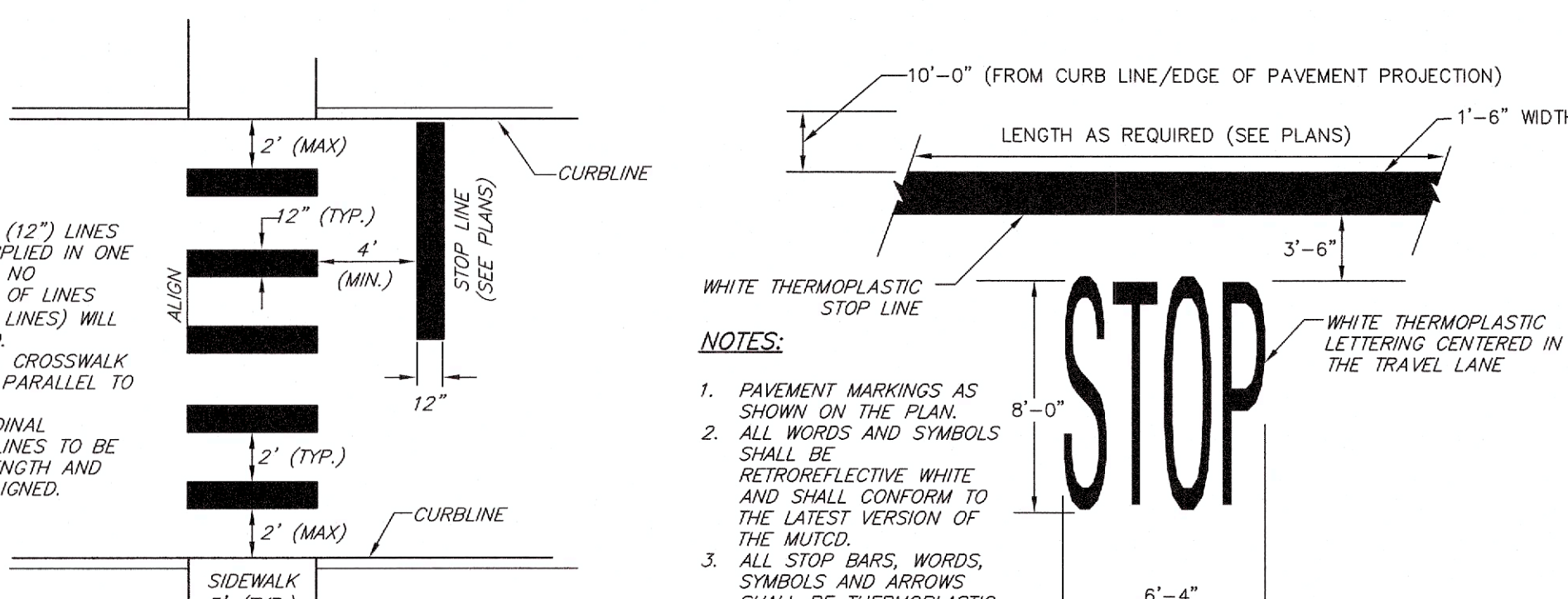
- NOTES:**
1. APPLY TACK COAT PRIOR TO PLACEMENT OF CURB
 2. BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
 3. CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.



- NOTES:**
1. CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.
 2. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL.
 3. CONTROL JOINTS TO BE LOCATED 5- FEET ON CENTER.
 4. EXPANSION JOINTS TO BE LOCATED 25- FEET ON CENTER.
 5. WELDED WIRE FABRIC SHALL BE LAPSED A MINIMUM OF 2 WIRE SPACES.
 6. ALL CONCRETE TO BE 4,000 PSI NHDOT CLASS AA.

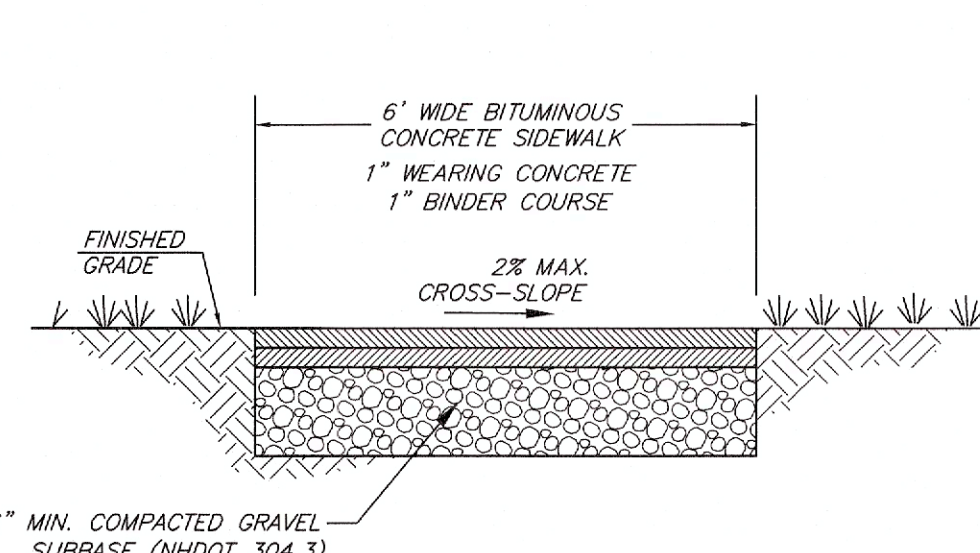
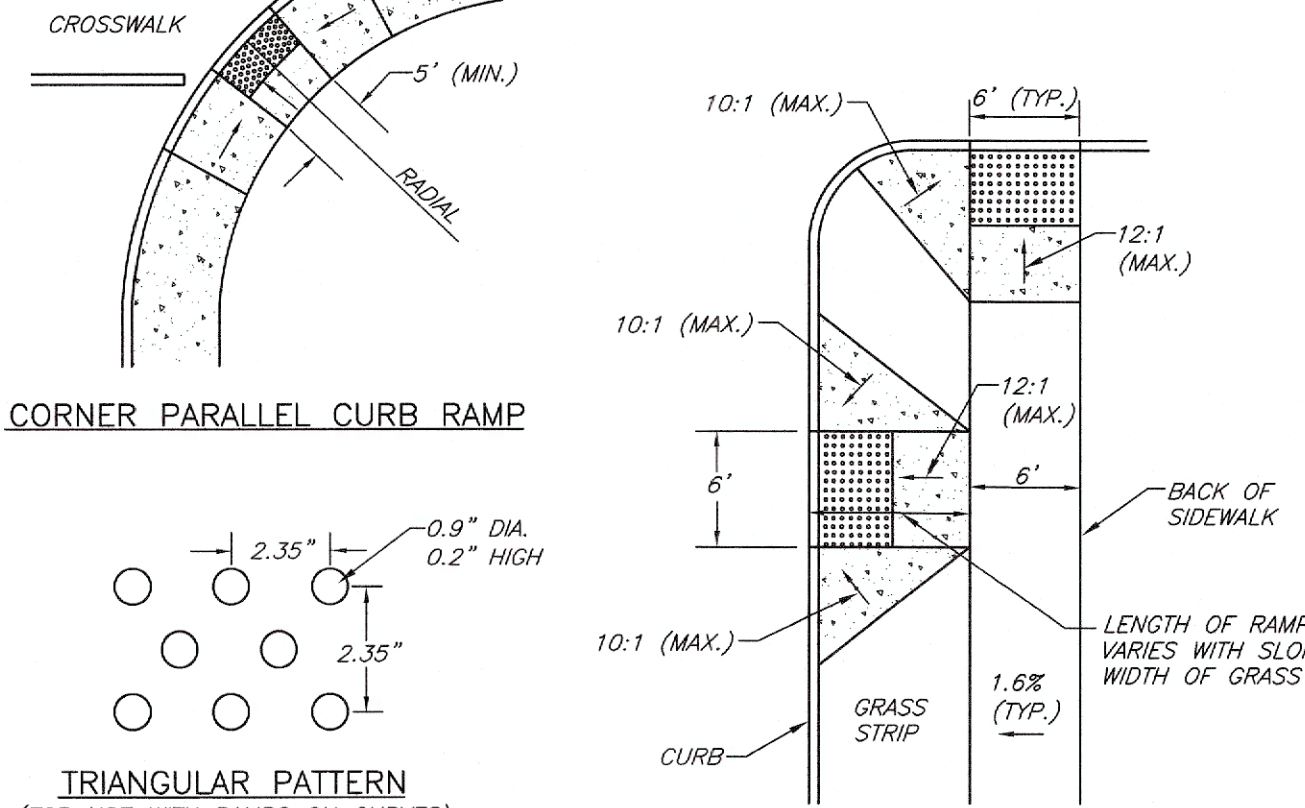
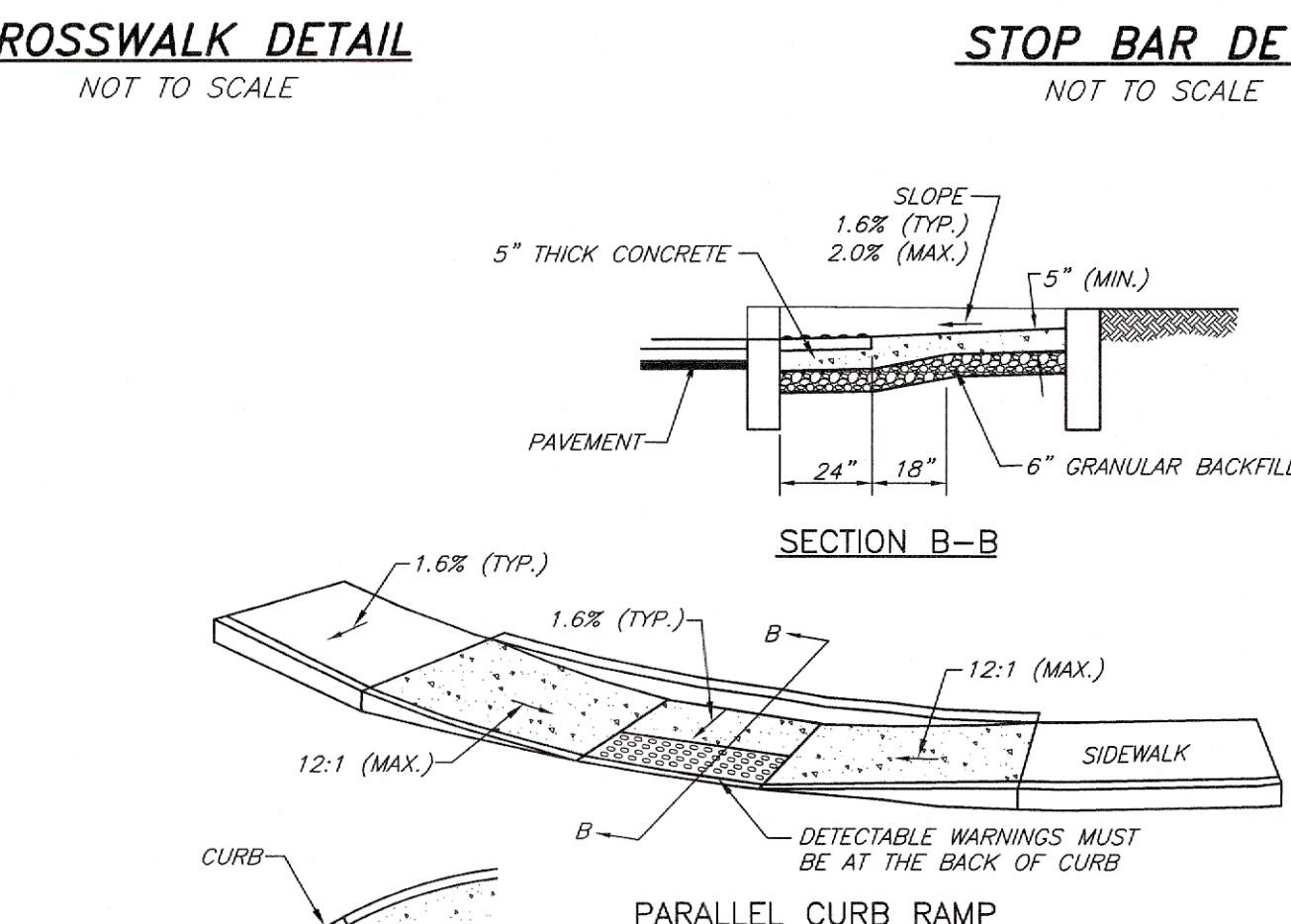


- 1. ALL ROADWAY MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.**
- 2. PROVIDE 4" (MIN) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.**

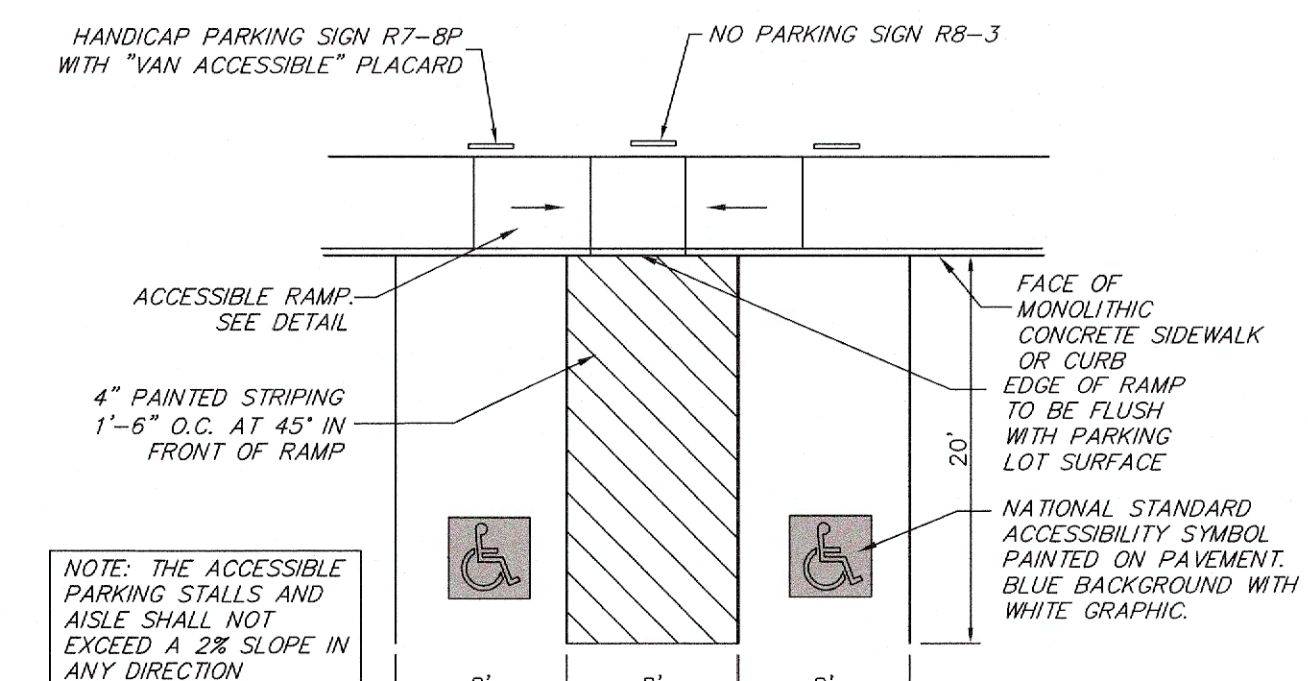


- NOTES:**
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO 6 INCH LINES) WILL BE ACCEPTED.
 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.

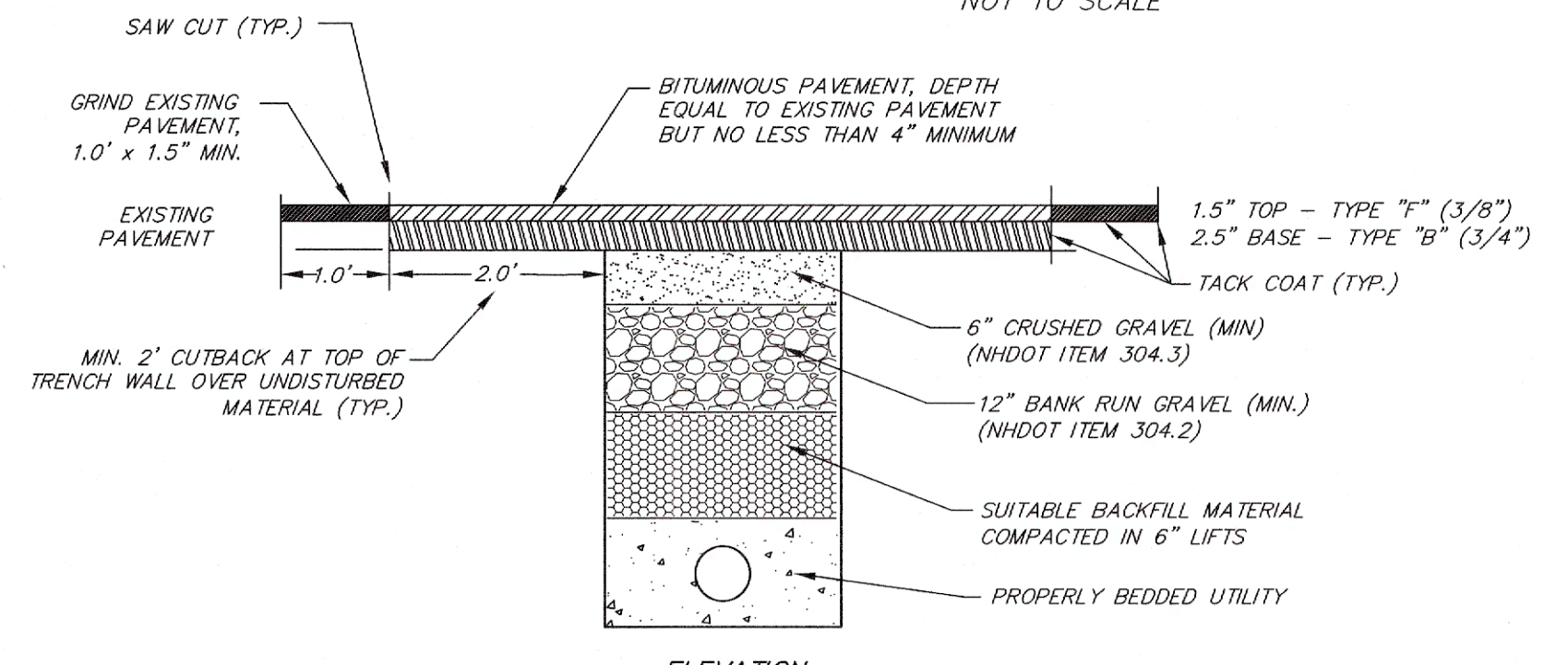
- NOTES:**
1. PAVEMENT MARKINGS AS SHOWN ON THE PLAN.
 2. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
 3. ALL STOP BARS, WORDS, SYMBOLS AND ARROWS SHALL BE THERMOPLASTIC.



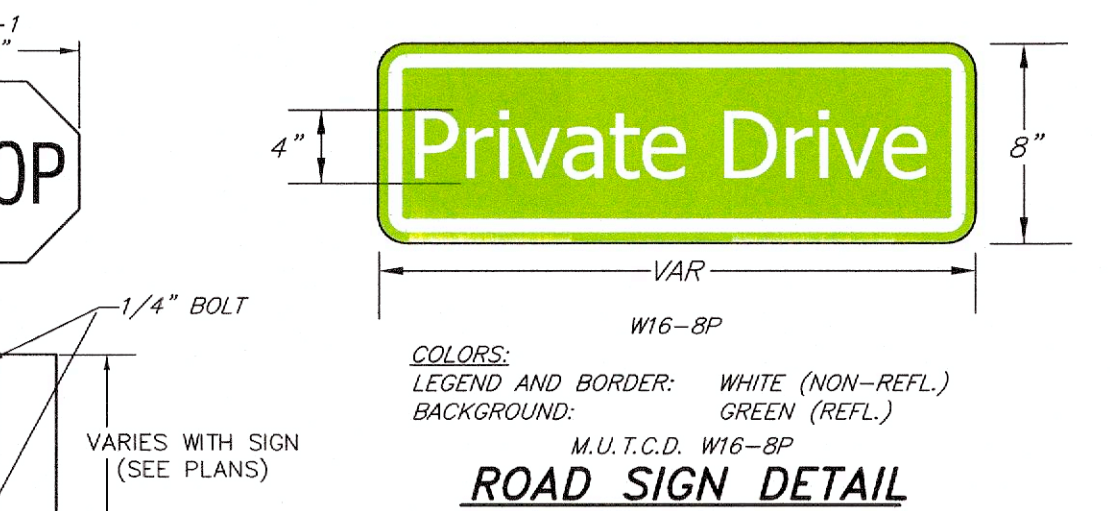
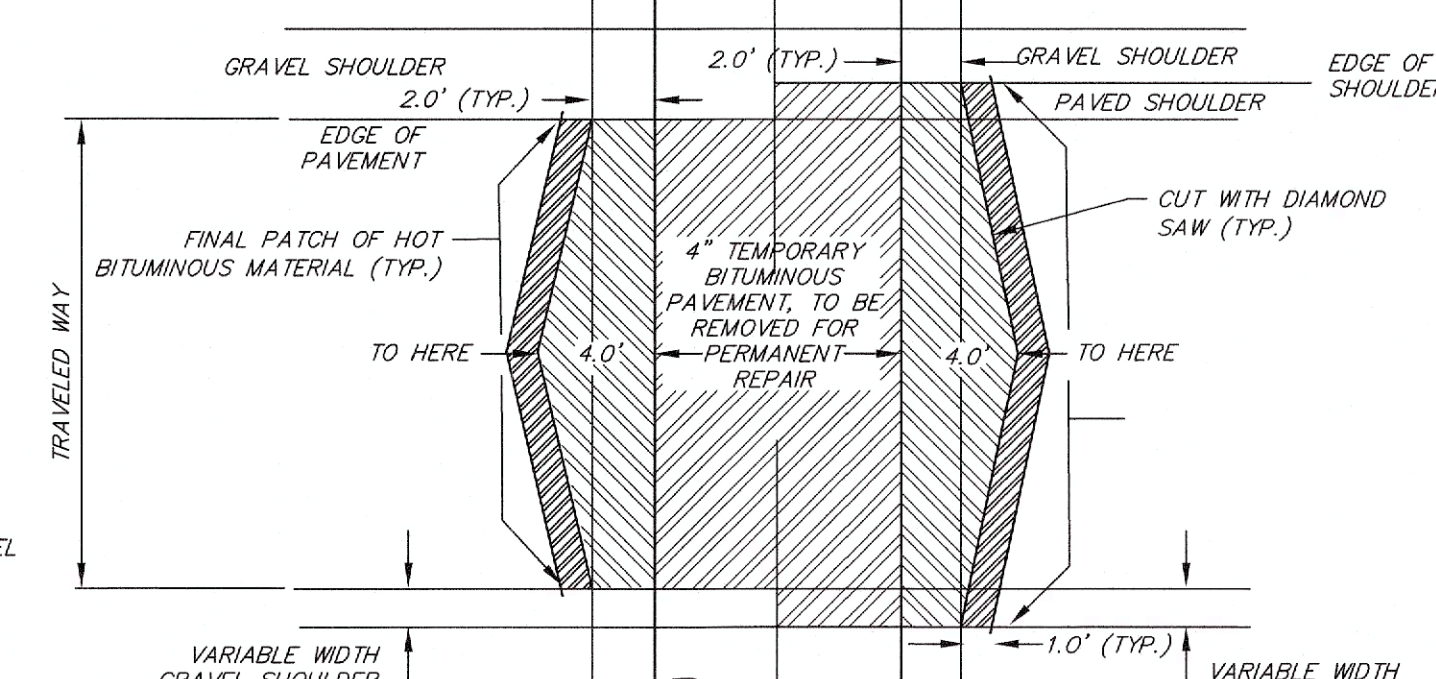
BITUMINOUS SIDEWALK DETAIL
NOT TO SCALE



ACCESSIBLE PARKING SPACES
NOT TO SCALE

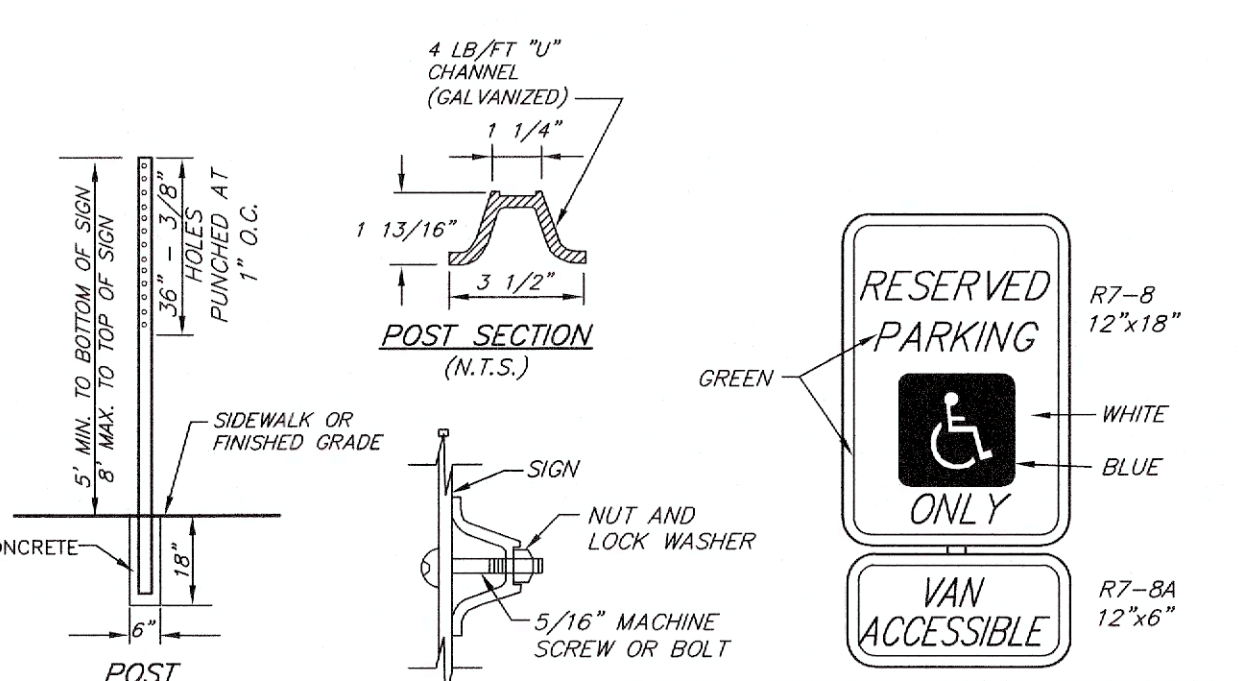


TYPICAL PERMANENT PAVEMENT REPAIR
NOT TO SCALE

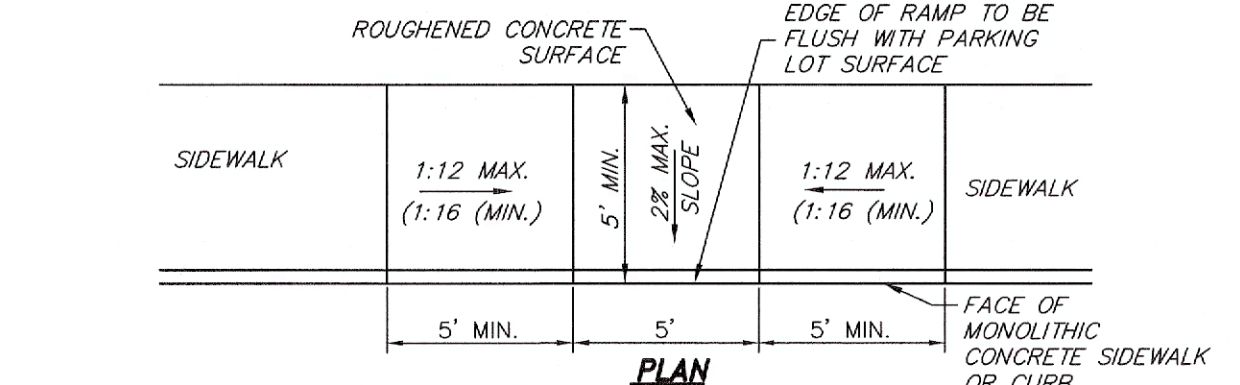


- NOTES:**
1. POSTS SHALL BE SET PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL. CARE SHALL BE TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED POSTS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERRECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION."
 6. WHEN THE SIGN IS IN PLACE NO PART OF THE POST SHALL BE VISIBLE ABOVE THE SIGN.

TRAFFIC SIGN DETAIL
NOT TO SCALE



VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



ACCESSIBLE PARKING RAMP
NOT TO SCALE

12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A
DATE	DESCRIPTION	BY	REV.

TAX MAP 15 LOT 126

CONSTRUCTION DETAILS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

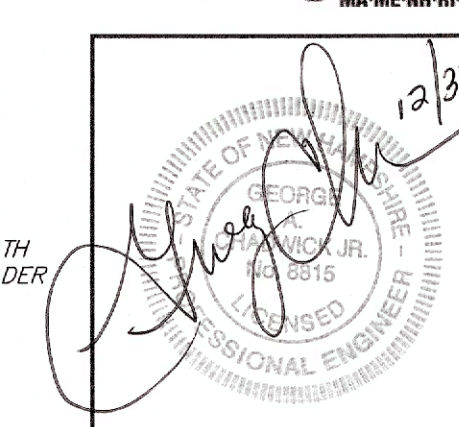
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: AS SHOWN JUNE 12, 2025 SHEET 22 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PS:
JST	JST	GAC	692	28

503-22

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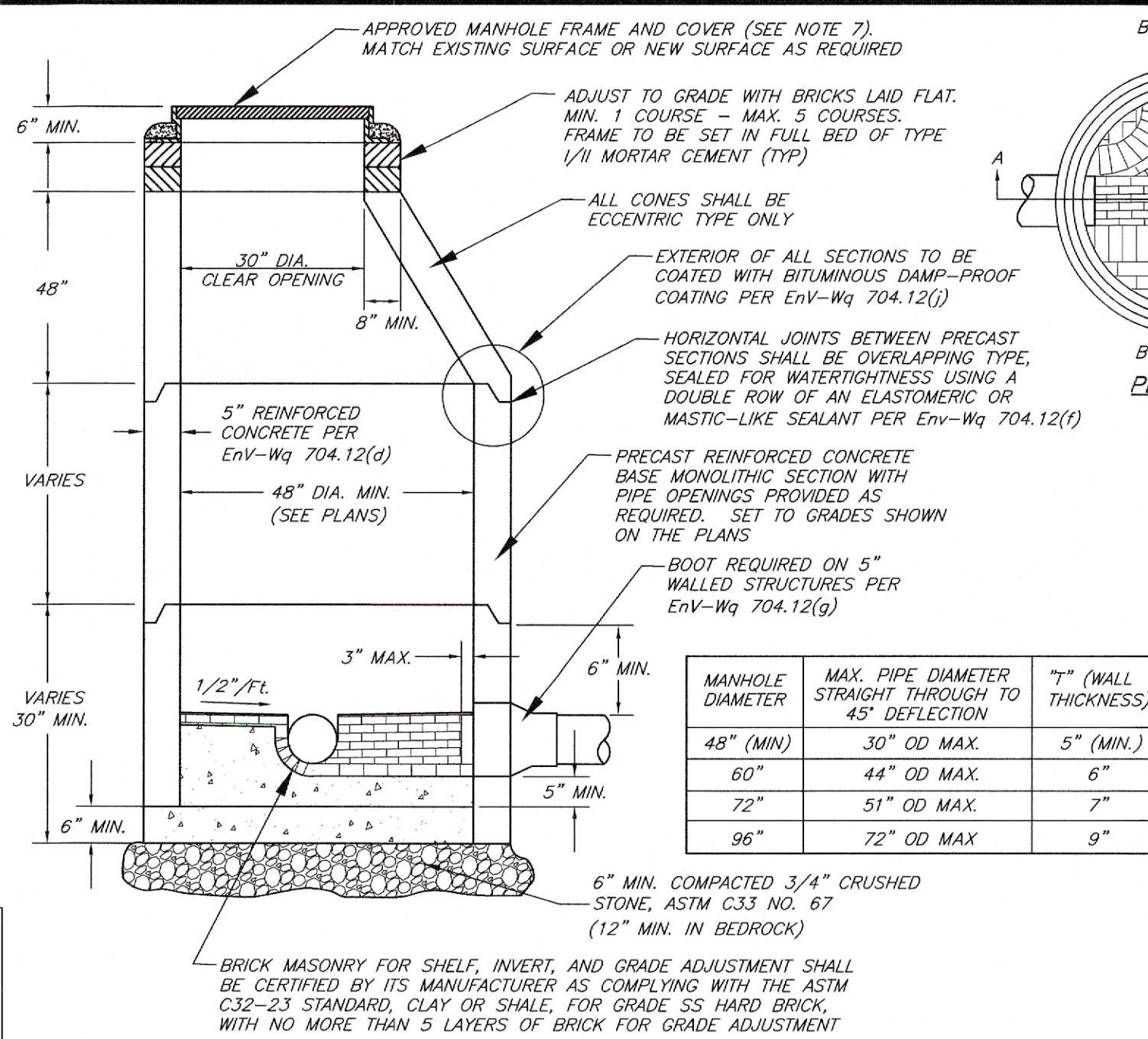


MANHOLE TESTING PER Env-Wq 704.17

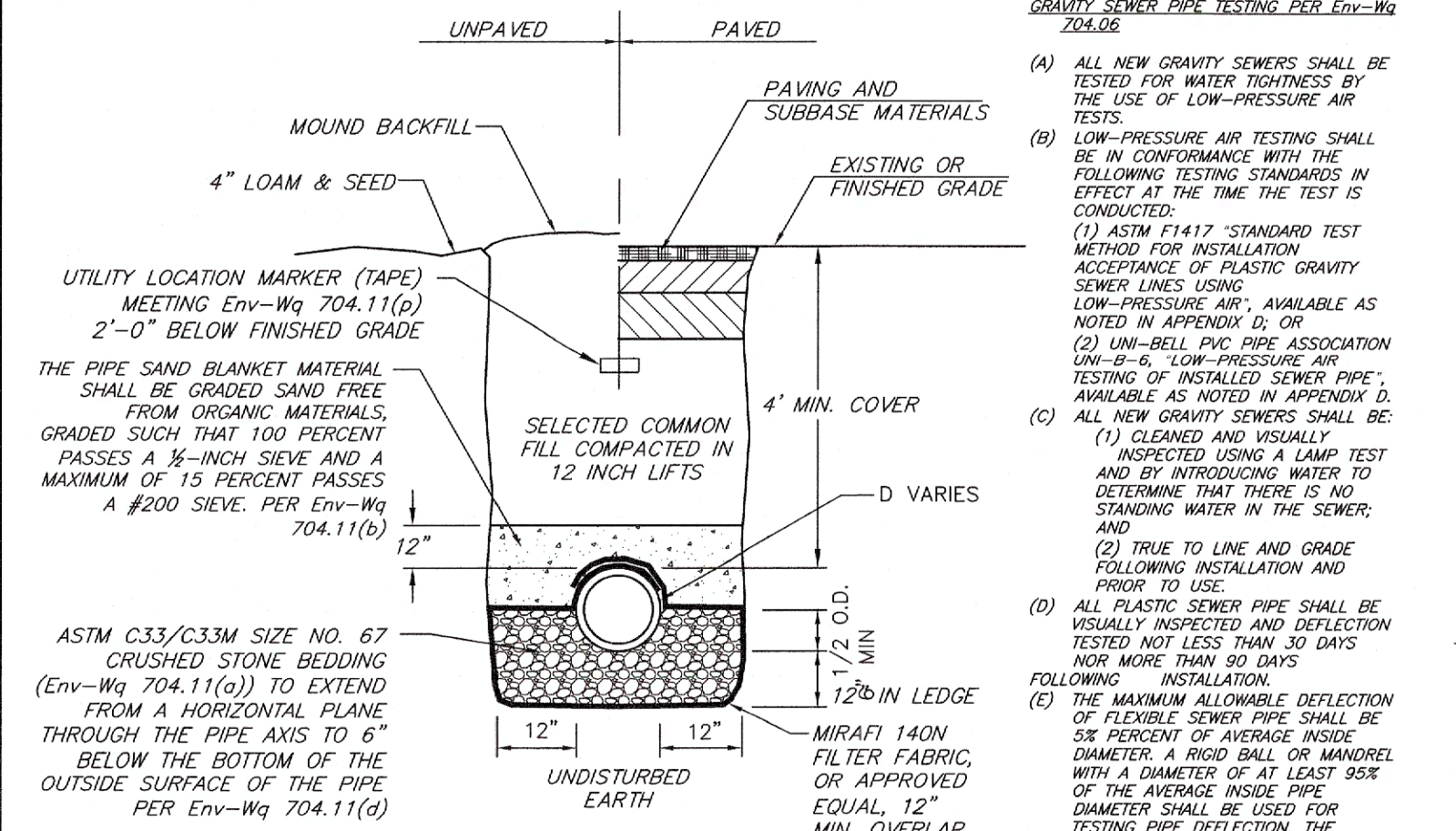
- (A) MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244/C1244M-20 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED, AVAILABLE AS NOTED IN APPENDIX D. A MANHOLE MAY BE BACKFILLED PRIOR TO PERFORMING A VACUUM TEST, BUT IF THE MANHOLE FAILS THE VACUUM TEST, BACKFILL SHALL BE REMOVED SO REPAIRS TO THE MANHOLE CAN BE MADE FROM THE OUTSIDE OF THE MANHOLE PRIOR TO RETESTING.
- (B) THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
- (1) THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES HG; AND
 - (2) THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR A 1-INCH HG PRESSURE DROP TO 9 INCHES HG SHALL BE:
 - A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP IN DEPTH.
 - B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES TO 15 FEET DEEP; AND
 - C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
- (C) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (B), ABOVE.
- (D) INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETED.
- (E) IMMEDIATELY FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON THE TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9 A.M. AND 4:30 P.M. MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCED NOTICE.

THE SEWER SERVICE MANHOLES SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED WITH AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND/OR ENGINEERING DEPARTMENT PERSONNEL PRESENT ON SITE AS A WITNESS.

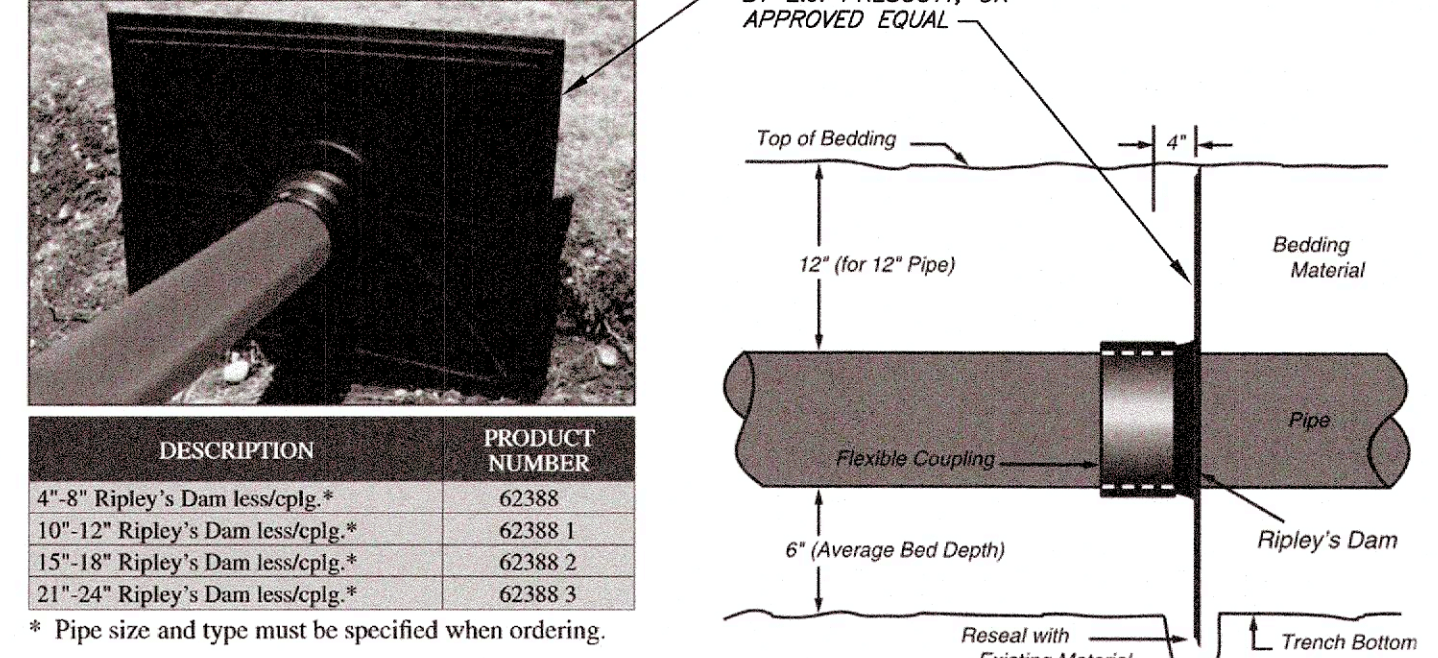


PRE-CAST SANITARY SEWER MANHOLE
NOT TO SCALE



- NOTES:**
1. MIN. TRENCH WIDTH SHALL BE THE INSIDE PIPE DIAMETER + 24 INCHES. 2. INSTALL 2" RIGID POLYSTYRENE THERMAL INSULATION WITH A MINIMUM "R" VALUE OF 10 AND EXTEND 4' EACH SIDE OF PIPE IF MINIMUM COVER CAN NOT BE ACHIEVED.
 4. FOR CROSS COUNTRY SANITARY SEWER PIPE 6" FOR SANITARY SEWER PIPE UNDER PAVED AREAS
 2. INSTALL TRENCH DAMS TO PREVENT GROUNDWATER FLOW ALONG PIPE AS SUBSURFACE CONDITIONS WARRANT.

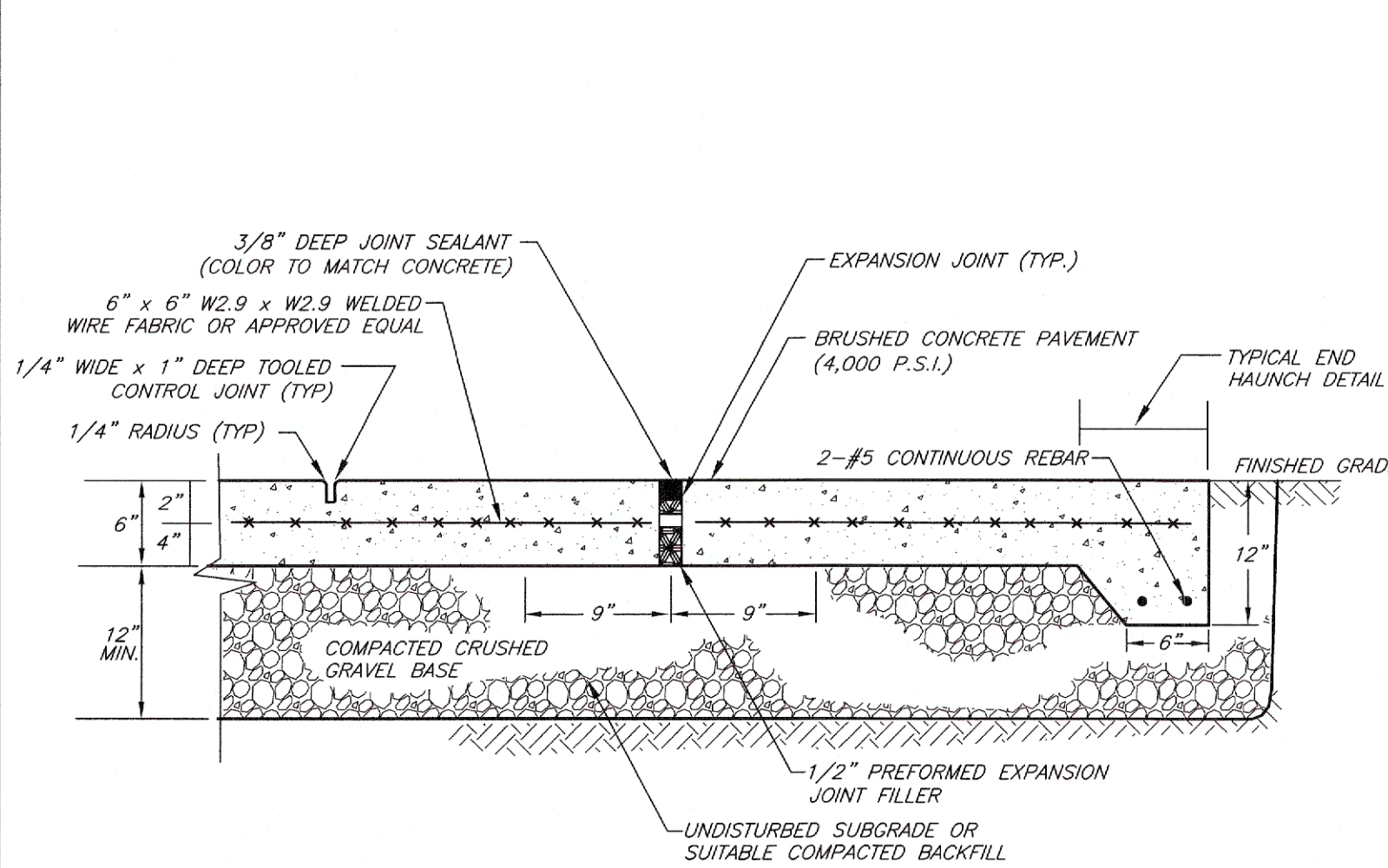
SEWER MAIN TRENCH DETAIL
NOT TO SCALE



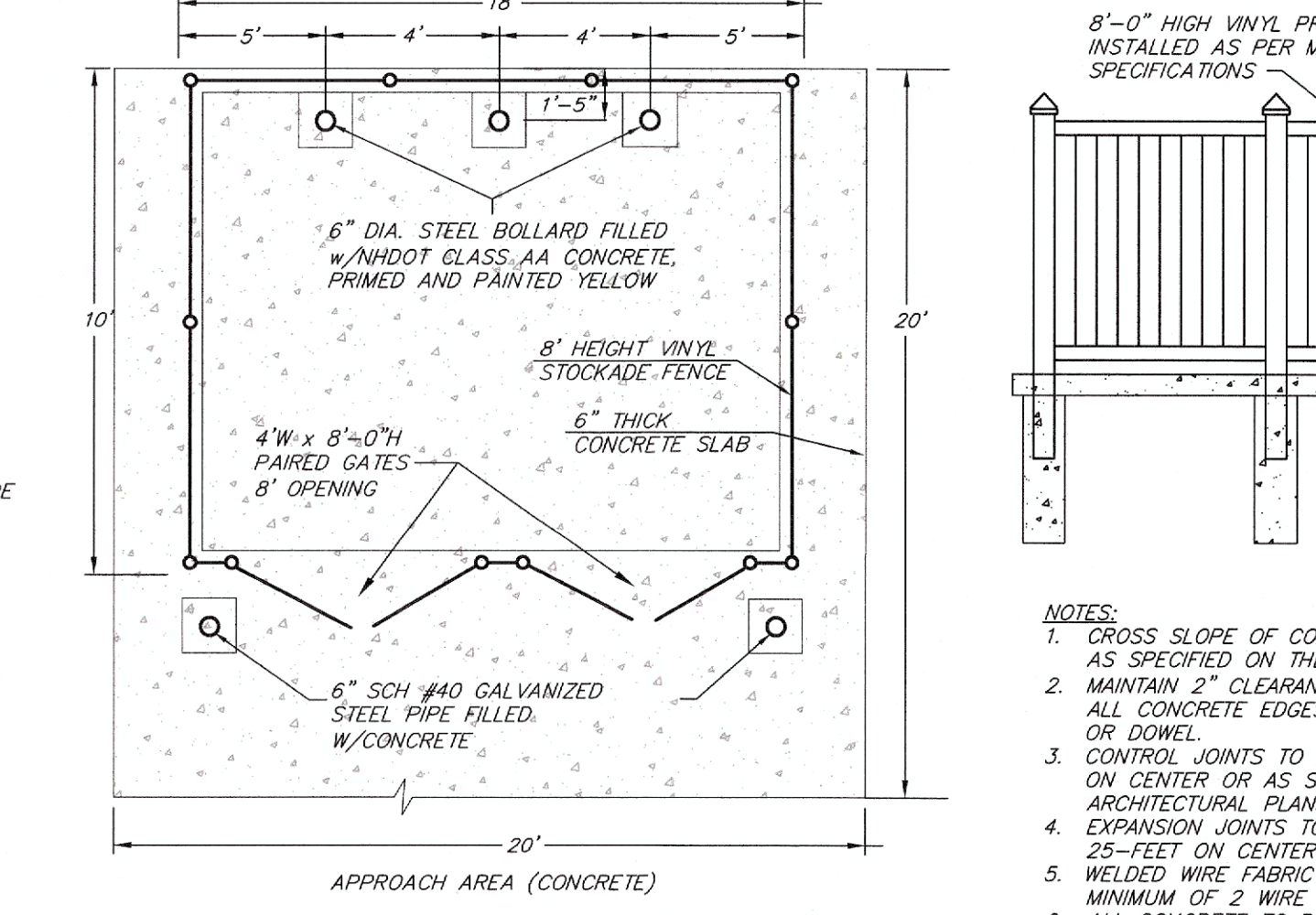
- INSTALLATION INSTRUCTIONS:**
1. MEASURE THE DISTANCE BETWEEN THE LASER POINT AND THE TRENCH BOTTOM.
 2. COMPARE THAT DISTANCE WITH THE DISTANCE BETWEEN THE TARGET POINT AND THE BOTTOM OF THE DAM. DIG A TRENCH APPROXIMATELY THREE FEET FROM THE PRECEDING BELL TO ACCOMMODATE THE BOTTOM OF THE DAM.
 3. WITH THE NECK OF THE DAM FACING UPSTREAM, FIT THE DAM INTO THE HAND-DUG TRENCH.
 4. CENTER THE DAM OPENING INTO THE CORRECT POSITION USING THE LASER AND SNAP THE EDGES INTO THE TRENCH SIDE WALLS. THE DAM OPENING MUST BE LOCATED BEFORE BACKFILLING BEGINS.
 5. PLACE BEDDING MATERIAL ON BOTH SIDES OF THE DAM.
 6. SLIDE THE FLEXIBLE COUPLING SUPPLIED, OVER THE PIPE TO BE INSTALLED, SLIDE THE PIPE THROUGH THE DAM OPENING AND BELL AS USUAL. SLIDE THE FLEXIBLE COUPLING OVER THE DAM NECK AND TIGHTEN.
 7. SET THE PIPE TO LINE AND GRADE AND BACKFILL.

- NOTES:**
1. COLLARS TO BE INSTALLED EQUIDISTANT FROM ENDS OF PIPE AND SPACED 20 FEET APART.
 2. COLLARS SHALL BE WATERPROOF AND HAVE A FLEXIBLE WATERPROOF CONNECTION AROUND THE PIPE AT ALL SPLICES.

ANTI-SEEP COLLAR DETAIL
NOT TO SCALE



REINFORCED CONCRETE PAD DETAIL
NOT TO SCALE

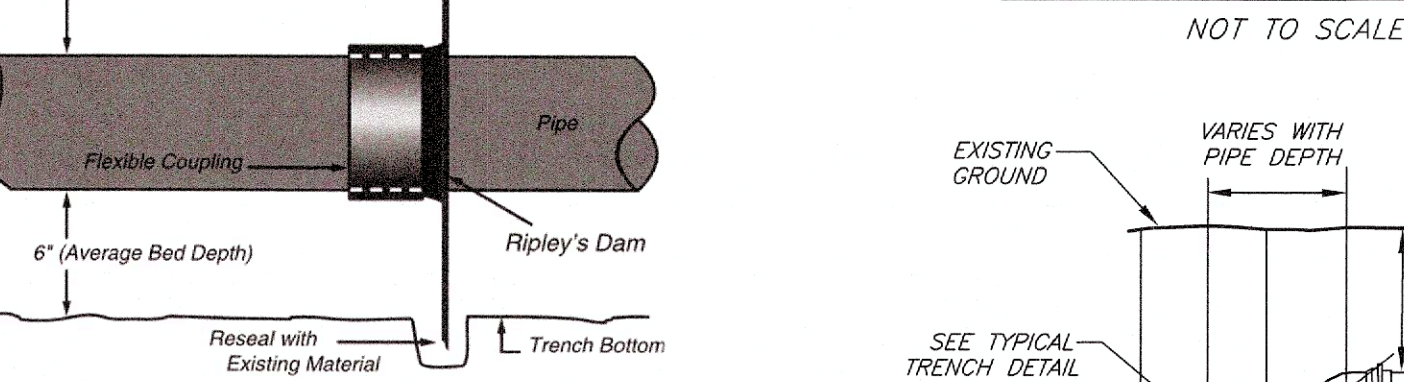


DOUBLE DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

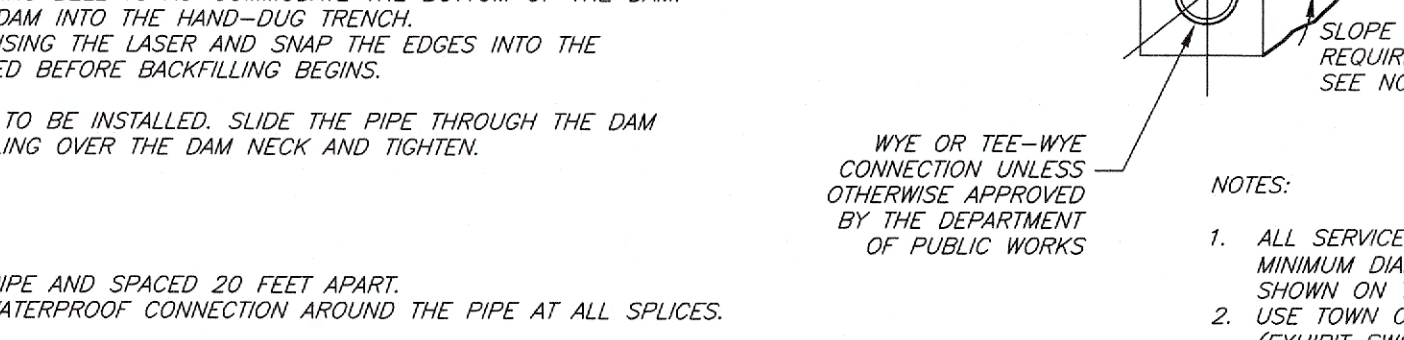
- NOTES:**
1. IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWINGS. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND HS-20-44 LOADING INCLUDING THE FRAME AND COVER.
 2. SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
 3. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL AND NHDES REQUIREMENTS. INVERT AND SHELF TO BE PLACED AFTER PASSAGE OF LEAKAGE TEST.
 4. CARE TO BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. BASE SECTION SHALL BE FULL.
 5. MANHOLE CHANNELS REQUIRING CHANGE IN ALIGNMENT ARE TO BE BUILT AS A SMOOTH RADIUS.
 6. IN CROSS COUNTRY AREAS BEYOND ROADWAY RIGHT-OF-WAYS, THE MANHOLE FRAME ELEVATION SHALL BE SET A MINIMUM OF 6" ABOVE FINISHED GRADE. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE.
 7. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN (H20 LOADING) AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH (MINIMUM HEIGHT) LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER.
 8. PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL BE CERTIFIED BY THEIR MANUFACTURER(S) AS CONFORMING TO THE ASTM C478 STANDARD IN EFFECT AT THE TIME THE BARREL SECTIONS, CONES, AND BASES ARE MANUFACTURED; ALL SECTIONS TO BE H-20 LOAD RATED.
 9. THE CASTINGS SHALL BE OF EVEN-GRAINED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BLISTERS, SAND HOLES, AND DEFECTS.
 10. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
 11. CASTINGS SHALL BE EQUAL TO CLASS 30 AND CERTIFIED BY THEIR MANUFACTURER AS CONFORMING TO THE ASTM A48/A8M STANDARD IN EFFECT AT THE TIME THE CASTINGS WERE MANUFACTURED.
 12. MORTAR SHALL BE COMPOSED OF TYPE 1/2 MORTAR CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION PER Env-Wq 704.13(c).



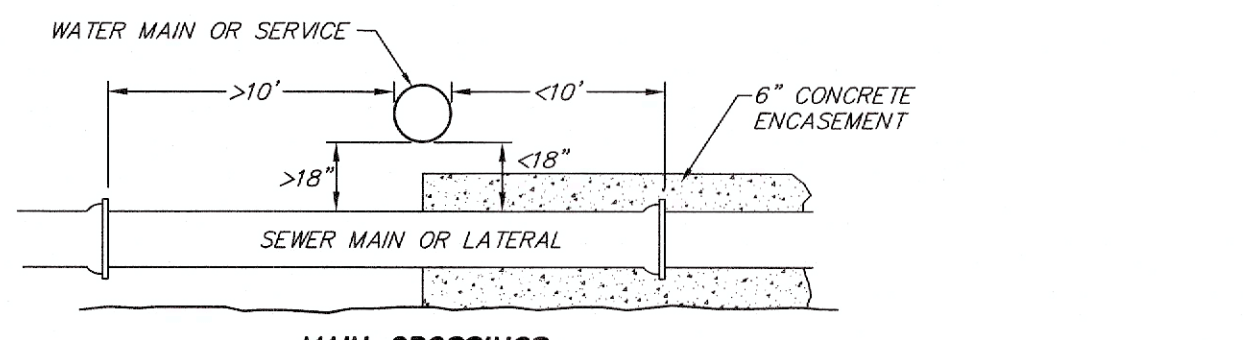
SECTION "B-B"



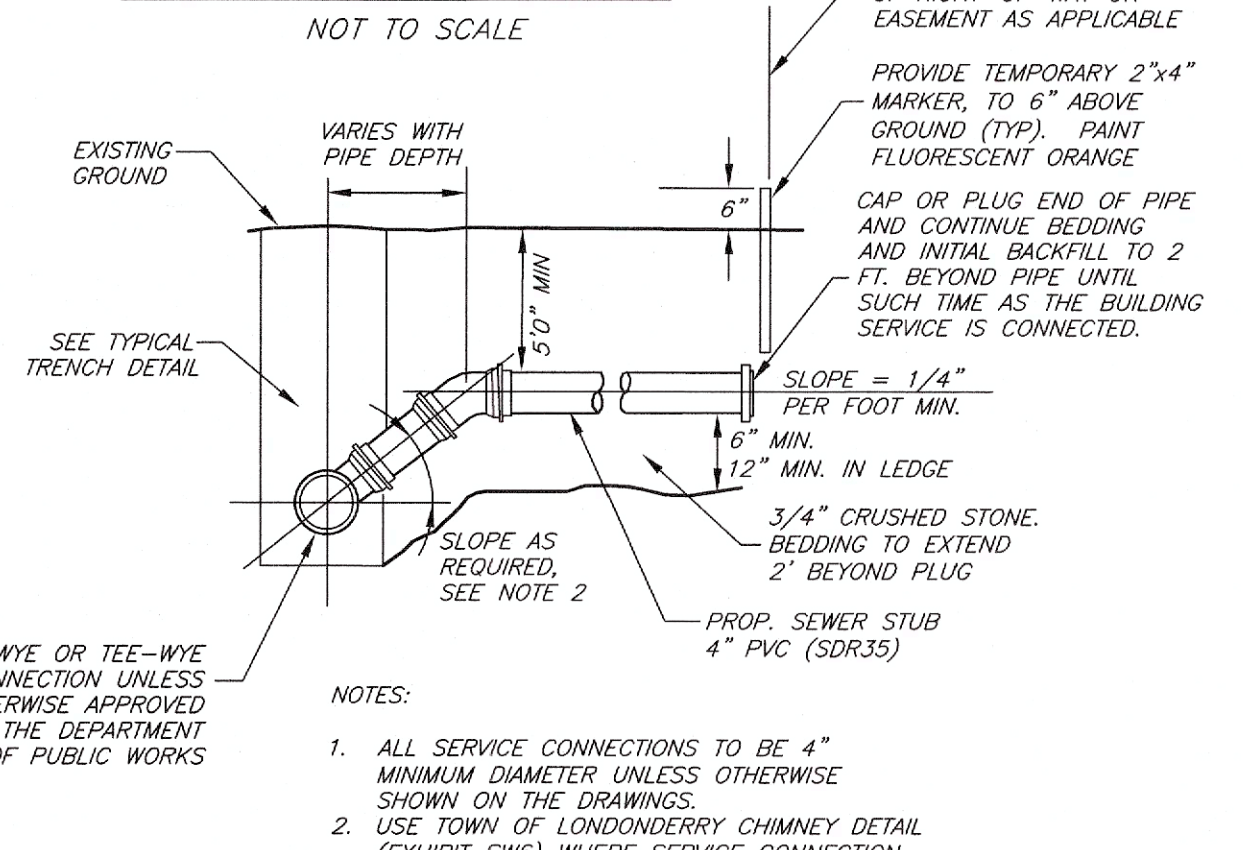
SECTION "A-A"



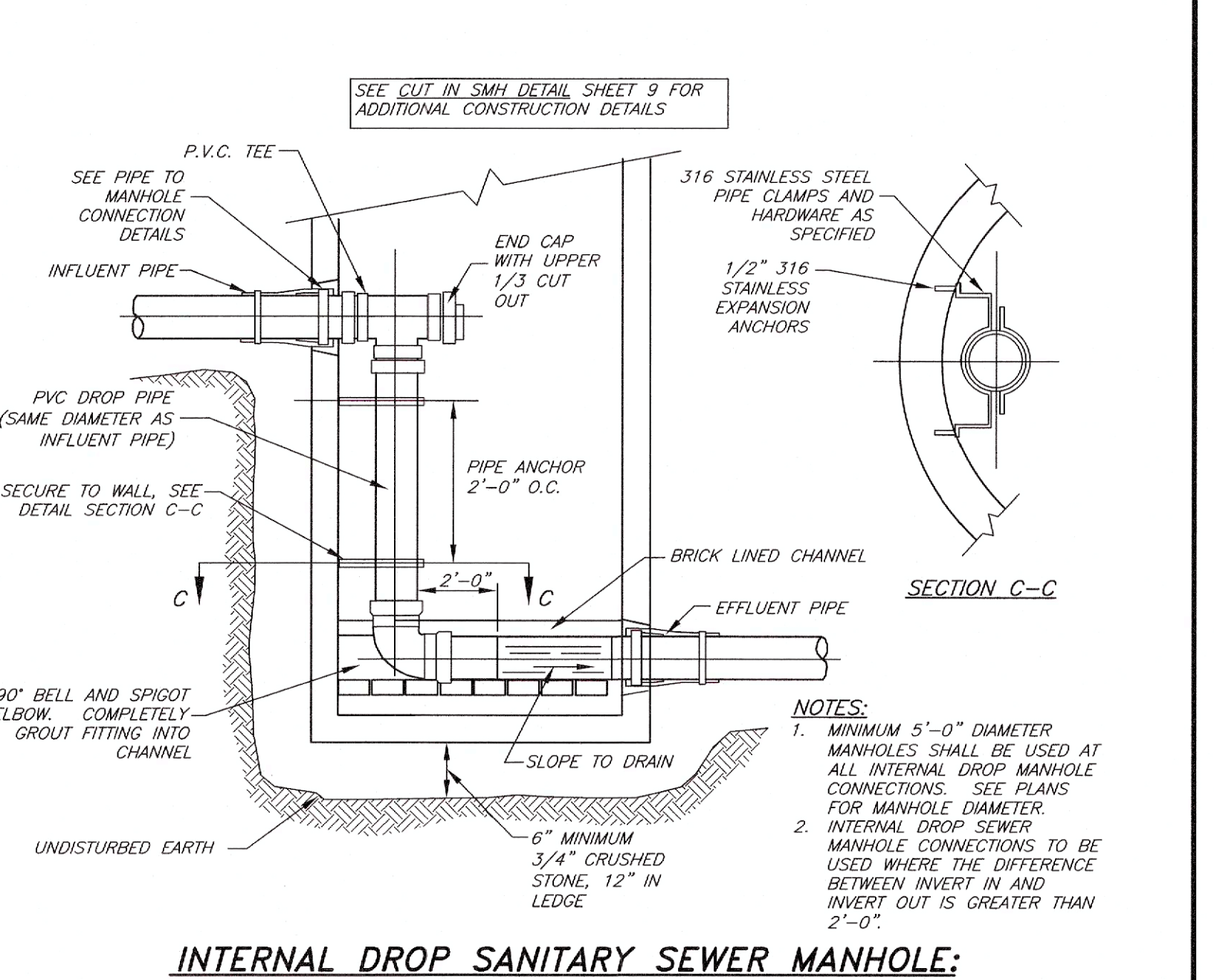
DETAIL "B" HORIZONTAL JOINTS



MAIN CROSSINGS WATER MAIN AND SEWER MAIN CROSSING DETAIL
NOT TO SCALE



TYPICAL SEWER SERVICE CONNECTION
EXHIBIT SW5



INTERNAL DROP SANITARY SEWER MANHOLE:
EXHIBIT SW3

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BUL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126

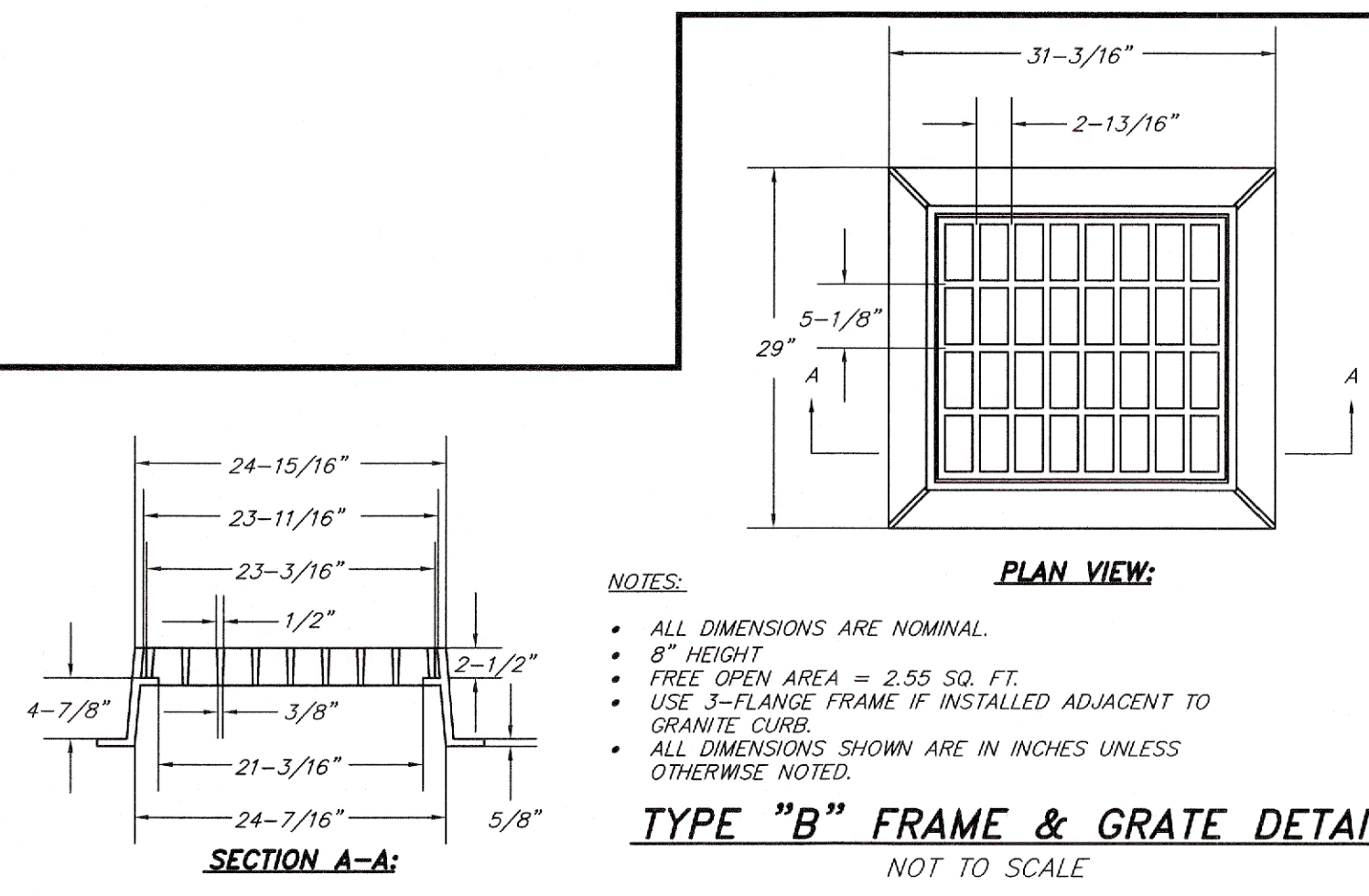
CONSTRUCTION DETAILS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: AS SHOWN JUNE 12, 2025 SHEET 23 OF 33

DESIGN: JST DRAWN: JST CHECKED: GAC FB: 692 PG: 28 503-22

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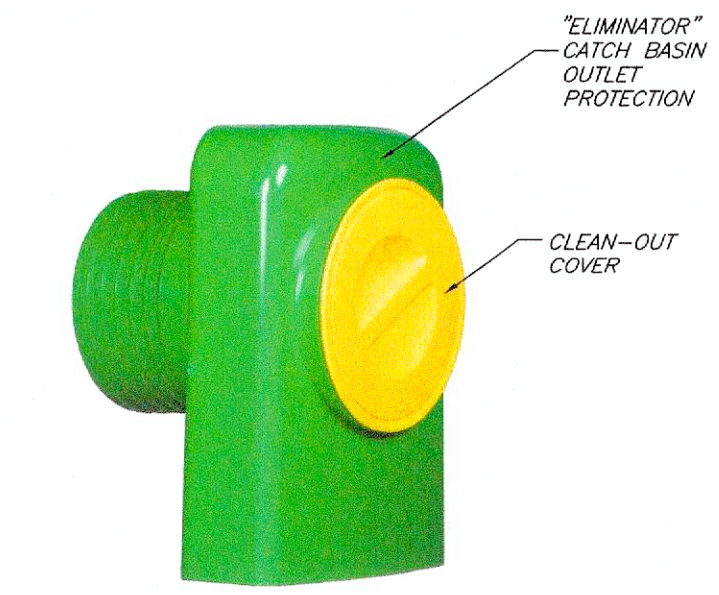
NOTES:

- ALL DIMENSIONS ARE NOMINAL.
- 8" HEIGHT
- FREE OPEN AREA = 2.55 SQ. FT.
- USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.
- ALL DIMENSIONS SHOWN ARE IN INCHES UNLESS OTHERWISE NOTED.

TYPE "B" FRAME & GRATE DETAIL
NOT TO SCALE

POLYETHYLENE LINER NOTES:

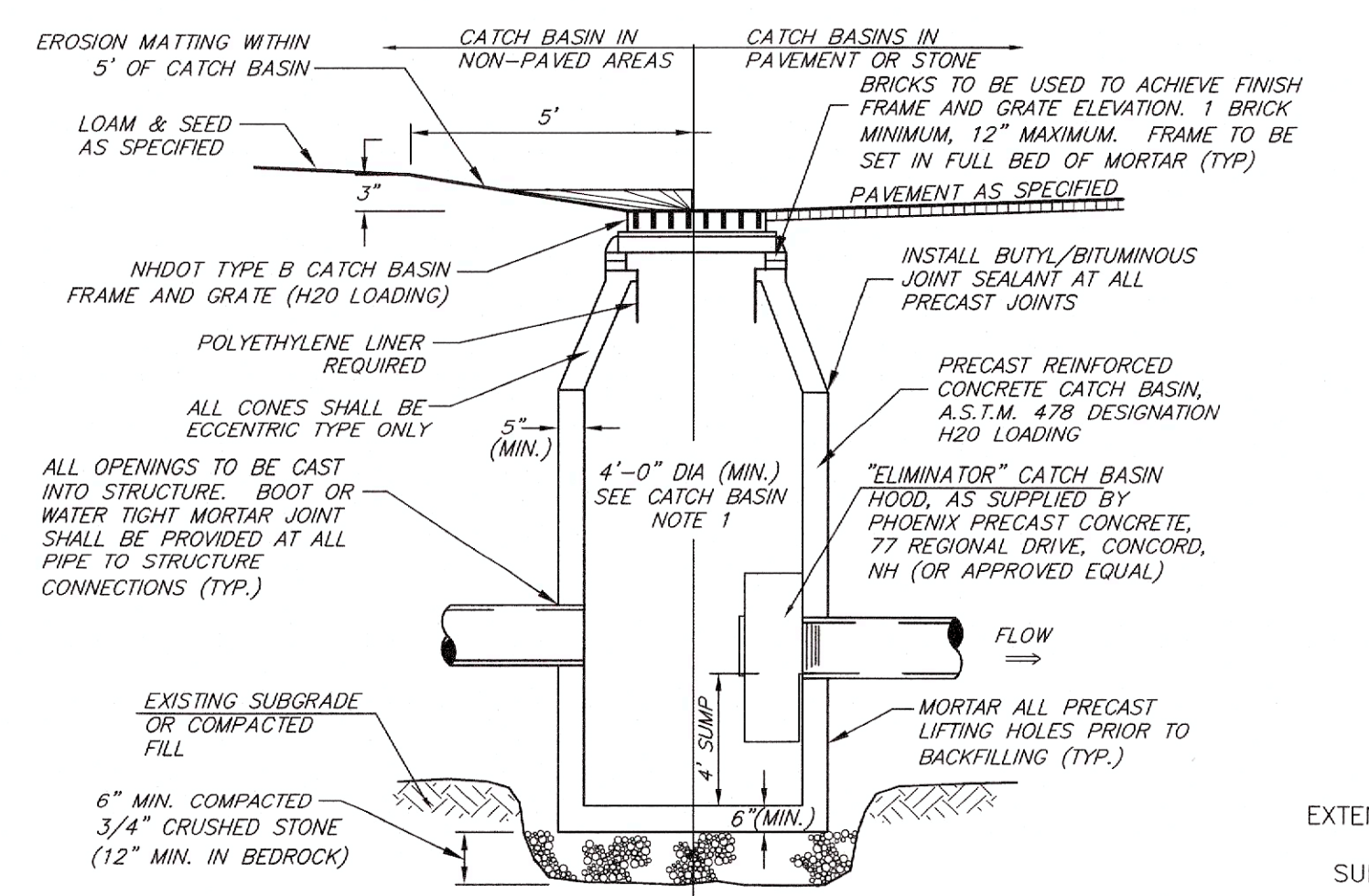
1. ALL CATCH BASINS SHALL BE OUTFITTED WITH A POLYETHYLENE LINER DOWNSPOUT AND MEET H2O LOADING RATE.
2. POLYETHYLENE LINER (NHDOT ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
3. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT BETWEEN FRAME AND POLYETHYLENE SHEET.
4. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH CURB).
6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 3" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.



NOTES:

1. HOOD SHALL BE "ELIMINATOR" OIL & FLOATING DEBRIS TRAP AS MANUFACTURED BY GROUND WATER RESOLVE, INC., QUINCY, MA, TEL. 817-773-1128, ON THE WEB @ WWW.KLEINSTREAM.COM
2. HOODS AVAILABLE TO FIT 12", 15" AND 18" DIAMETER OUTLETS.
3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

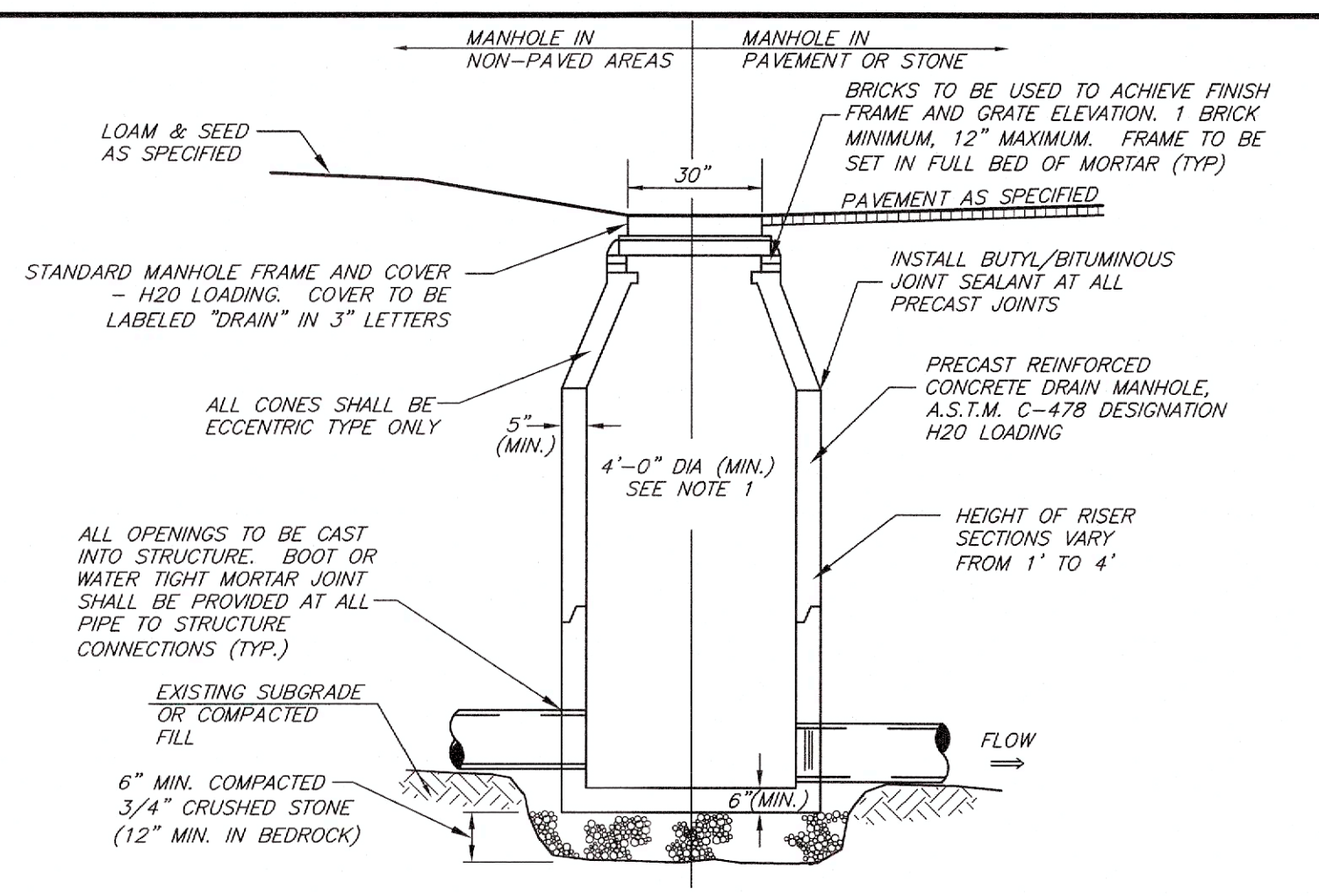
CATCH BASIN HOOD (ELIMINATOR)
NOT TO SCALE



CATCH BASIN NOTES:

1. WHERE DEPTH EXCEEDS 12 FT., USE 5'-0" DIAMETER (MIN.) MAXIMUM DEPTH = 18 FEET.
2. MINIMUM PIPE DROP (INLET TO OUTLET SHALL BE 3" UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING).
3. ALL BOOTS, GASKETS, AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

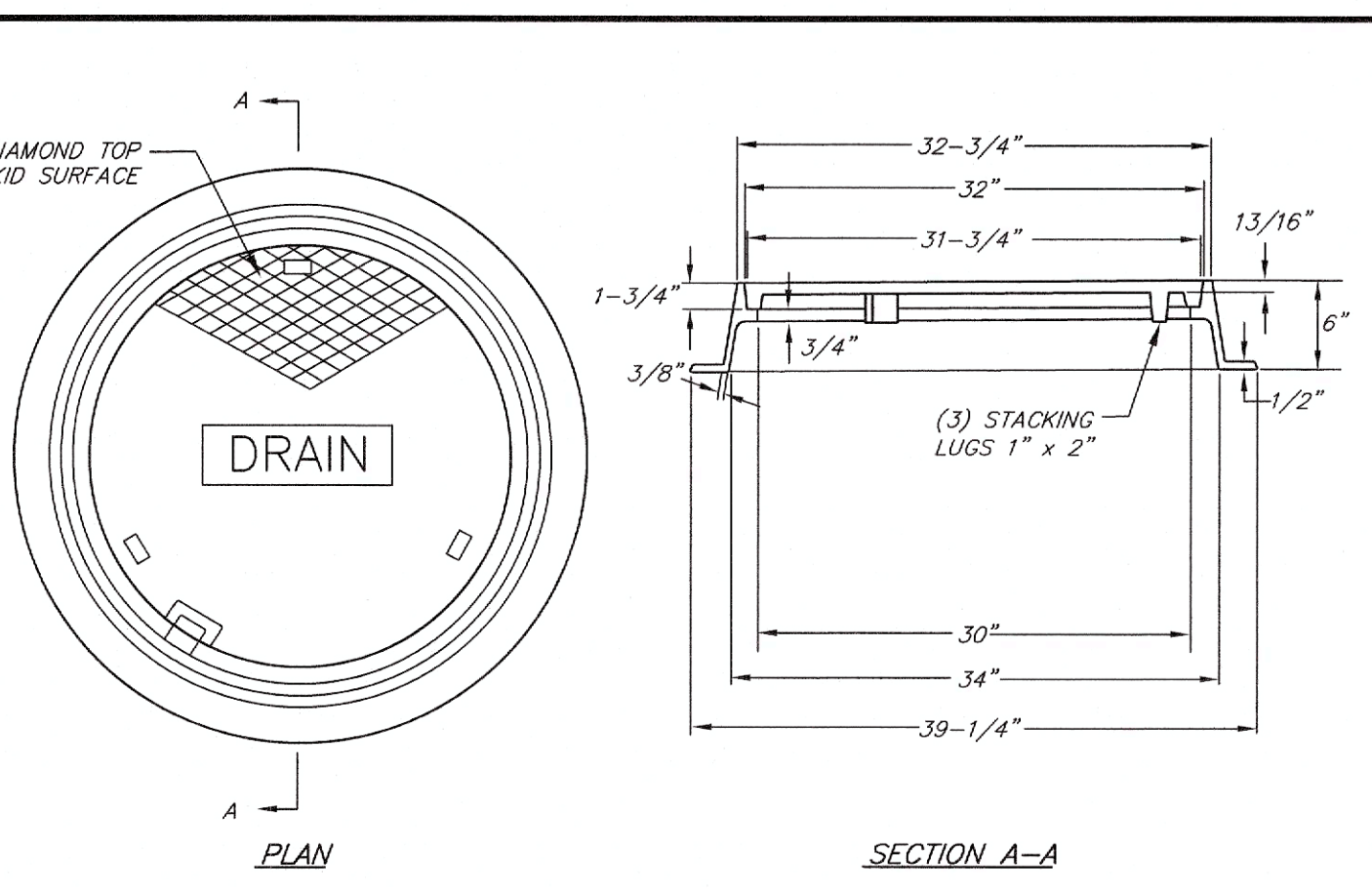
CATCH BASIN DETAIL
NOT TO SCALE



DRAIN MANHOLE NOTES:

1. WHERE DEPTH EXCEEDS 12 FT., USE 5'-0" DIAMETER (MIN.) MAXIMUM DEPTH = 18 FEET.
2. MINIMUM PIPE DROP (INLET TO OUTLET SHALL BE 3" UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING).
3. ALL BOOTS, GASKETS, AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

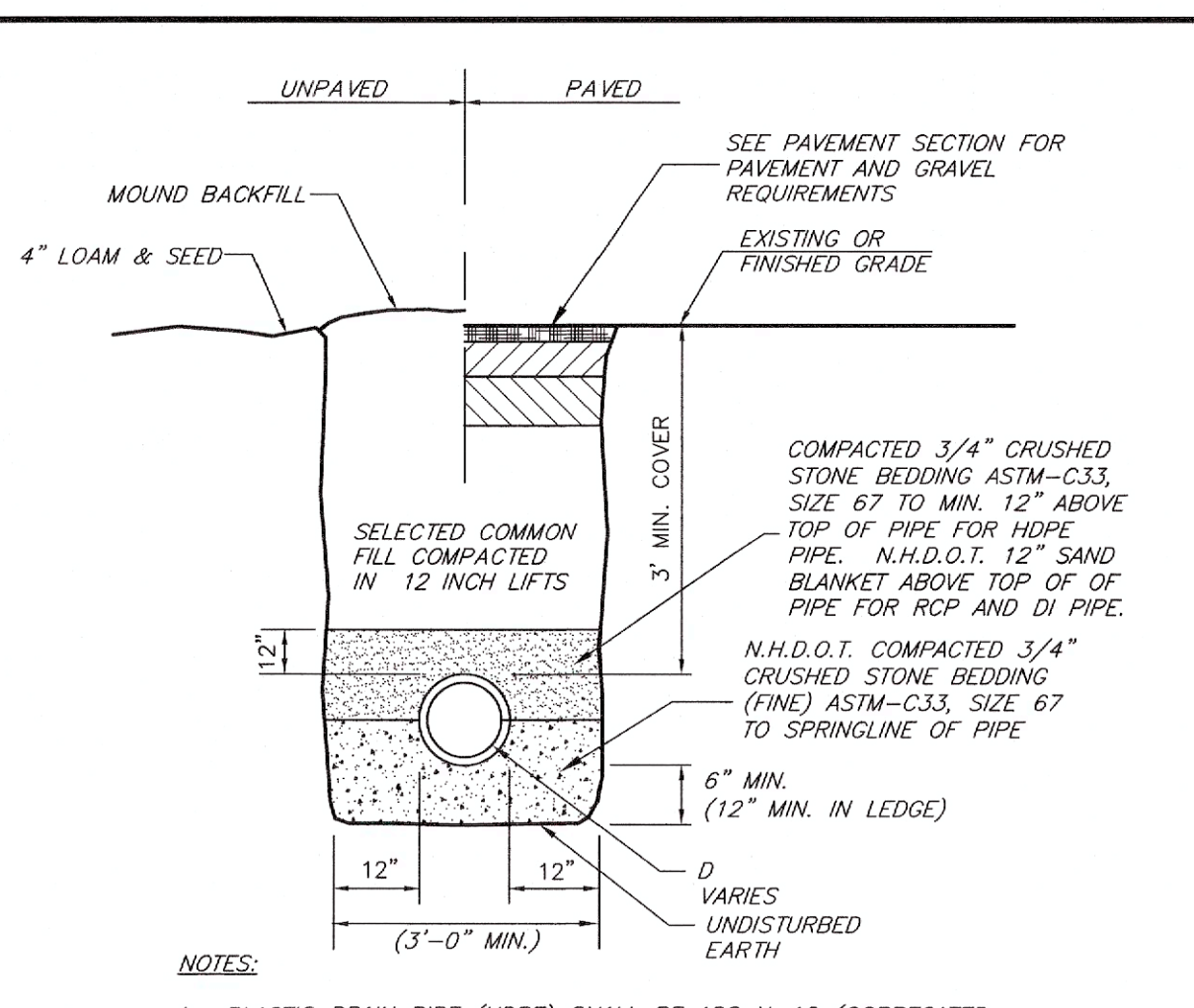
DRAINAGE MANHOLE DETAIL
NOT TO SCALE



NOTES:

1. ALL DIMENSIONS ARE NOMINAL.
2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
 - a. THE FRAMES MUST MEET H2O LOADING RATE.
 - b. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 - c. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
3. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.
4. LABEL SHALL IDENTIFY UTILITY IN ACCORDANCE WITH CITY/TOWN STANDARDS.

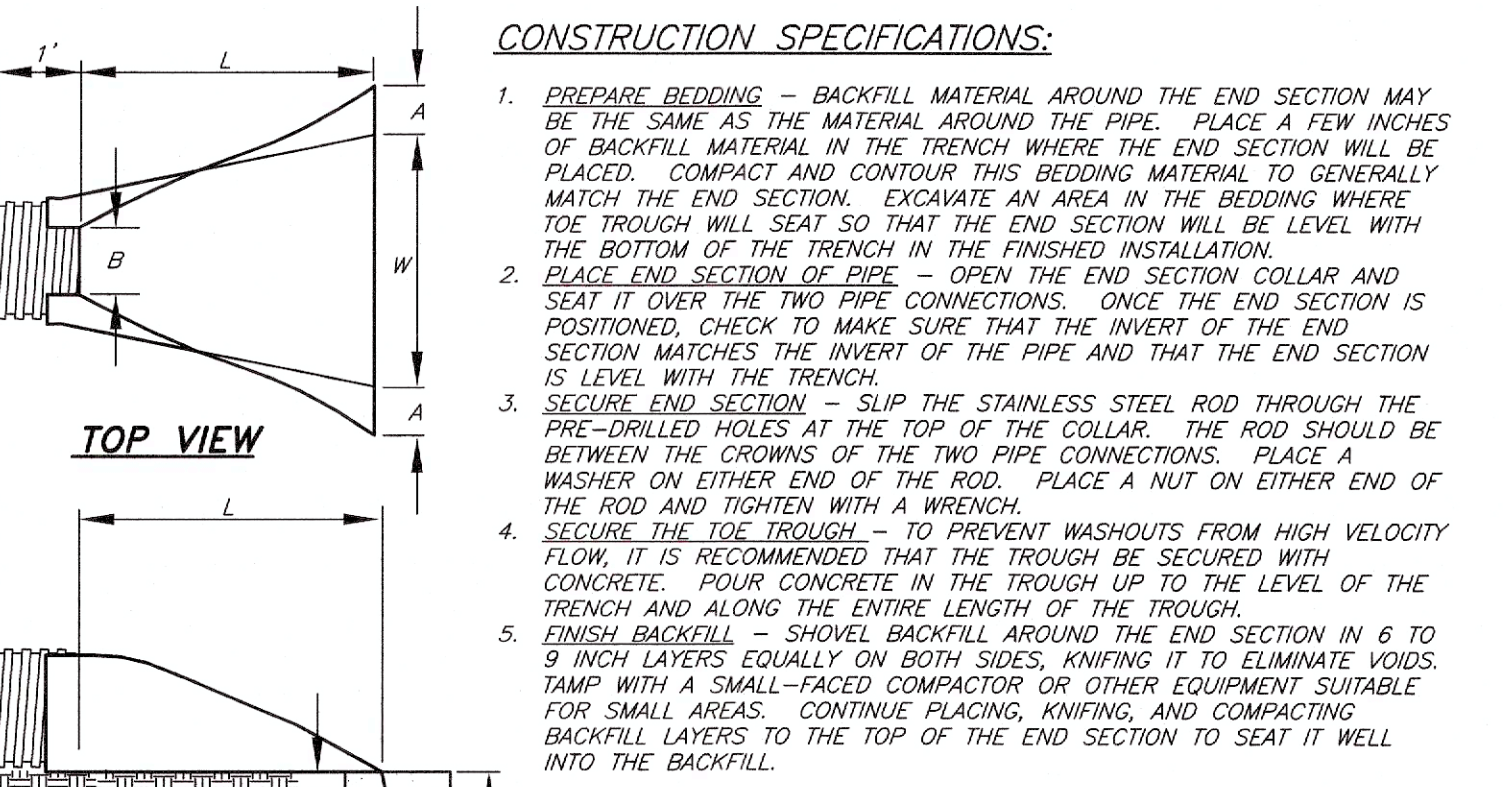
MANHOLE FRAME AND COVER
NOT TO SCALE



NOTES:

1. PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR APPROVED EQUAL MEETING MASHTO M-252 AND H2O LOADING.
2. D.I. PIPE SHALL BE CLASS 50.
3. REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.

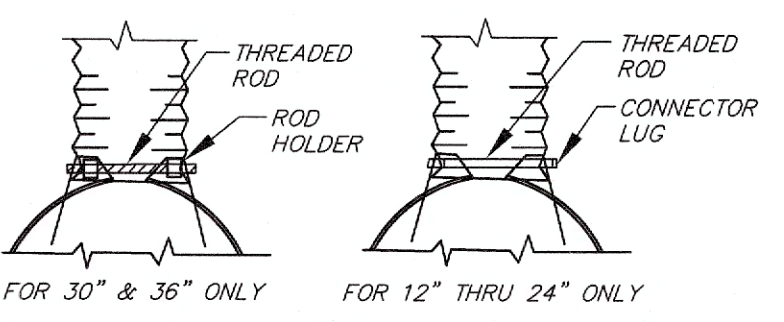
DRAINAGE TRENCH DETAIL
NOT TO SCALE



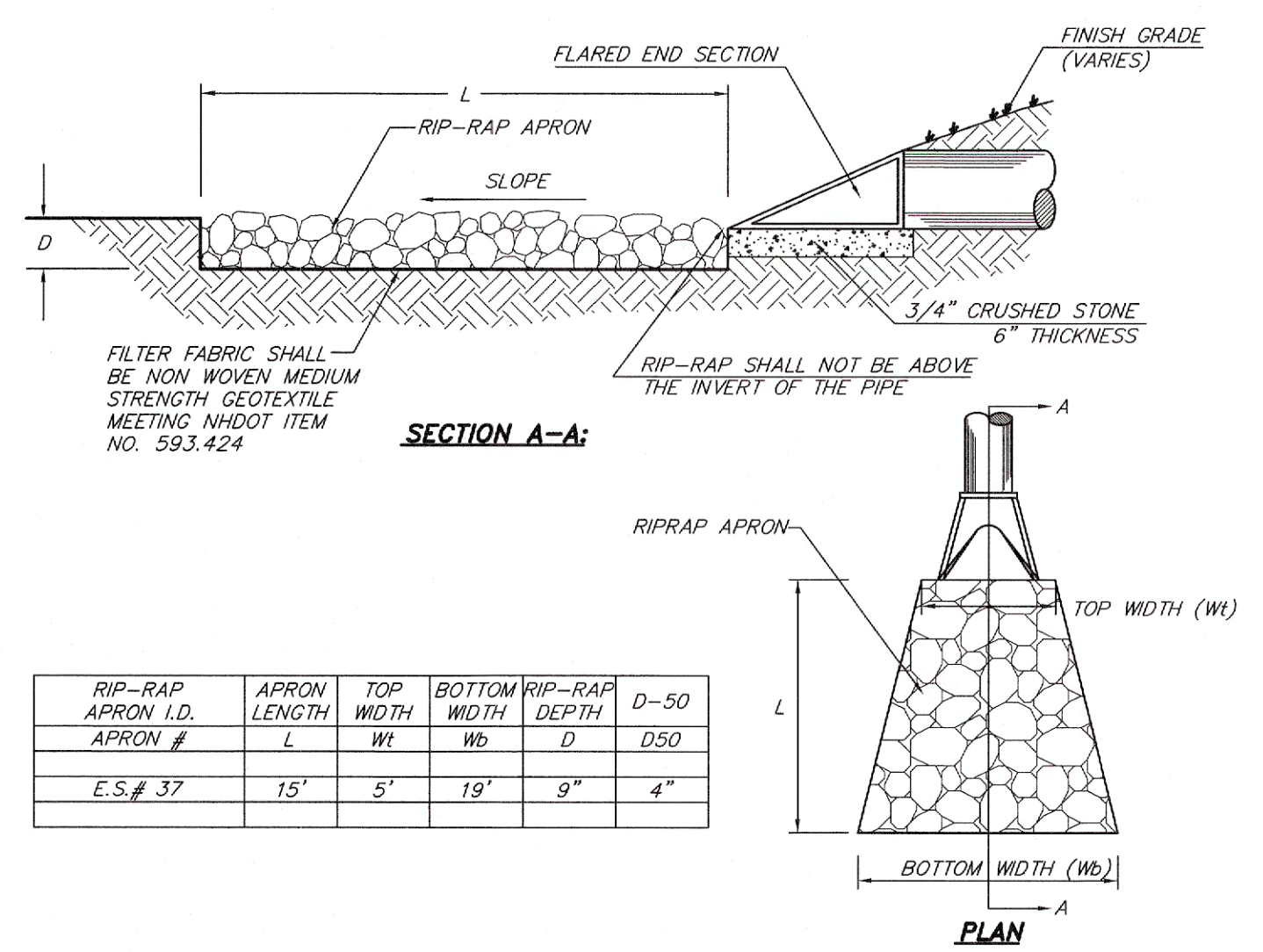
CONSTRUCTION SPECIFICATIONS:

1. PREPARE BEDDING - BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TROUGH WILL BE SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH IN THE FINISHED INSTALLATION.
2. PLACE END SECTION OF PIPE - OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION IS LEVEL WITH THE TRENCH.
3. SECURE END SECTION - SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.
4. SECURE THE JOE TROUGH - TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
5. FINISH BACKFILL - SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIVING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIVING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

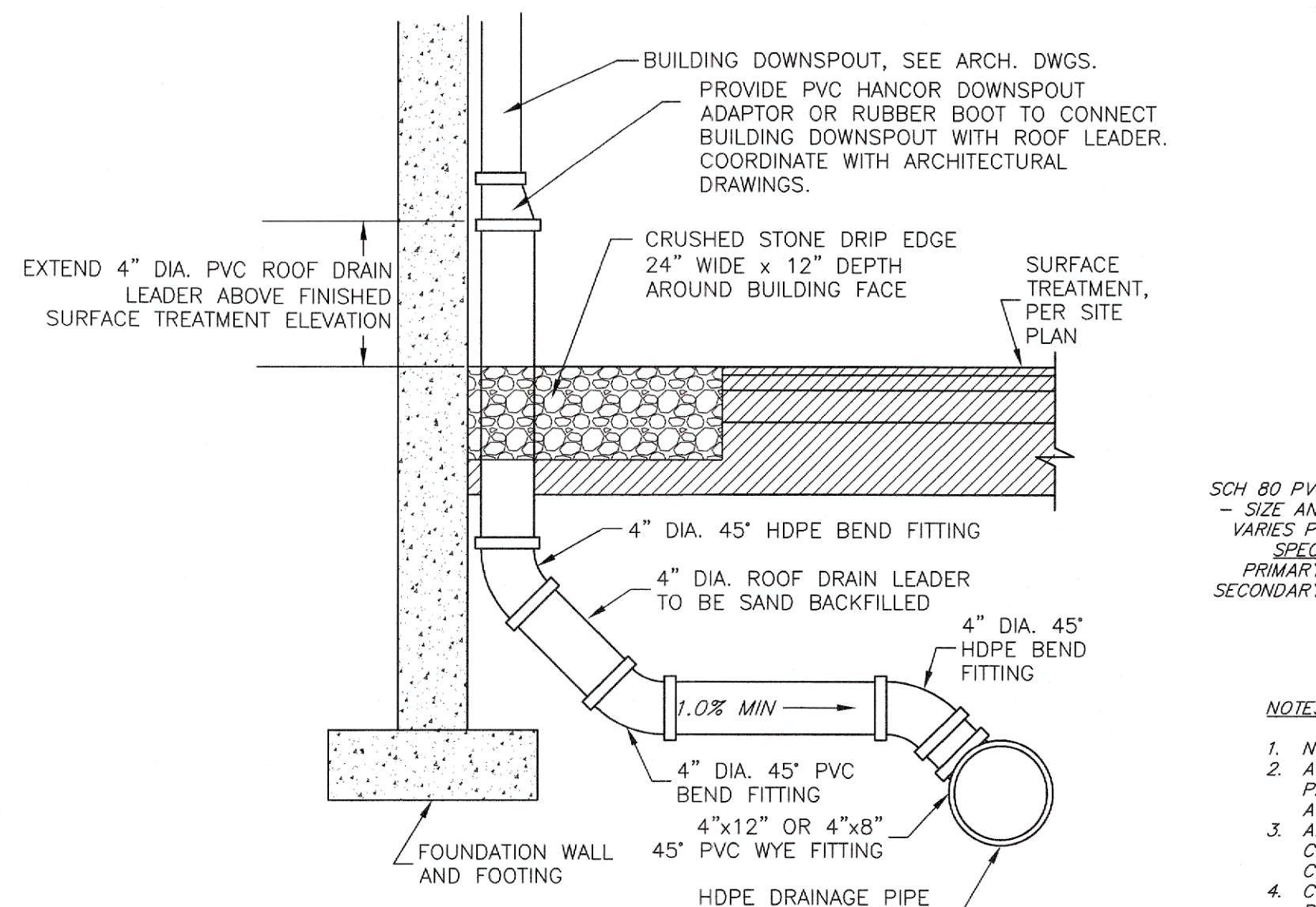
PIPE DIA.	PART NO.	A 1" TOL.	B MAX.	H 1" TOL.	L 0.5" TOL.	W 2" TOL.
15"	1210 NP	6.5"	10"	6.5"	25"	29"
18"	1810 NP	7.5"	15"	6.5"	32"	35"
24"	2410 NP	7.5"	18"	6.5"	36"	45"
30"	3010 NP	10.5"	NA	7"	53"	68"
36"	3610 NP	10.5"	NA	7"	53"	68"



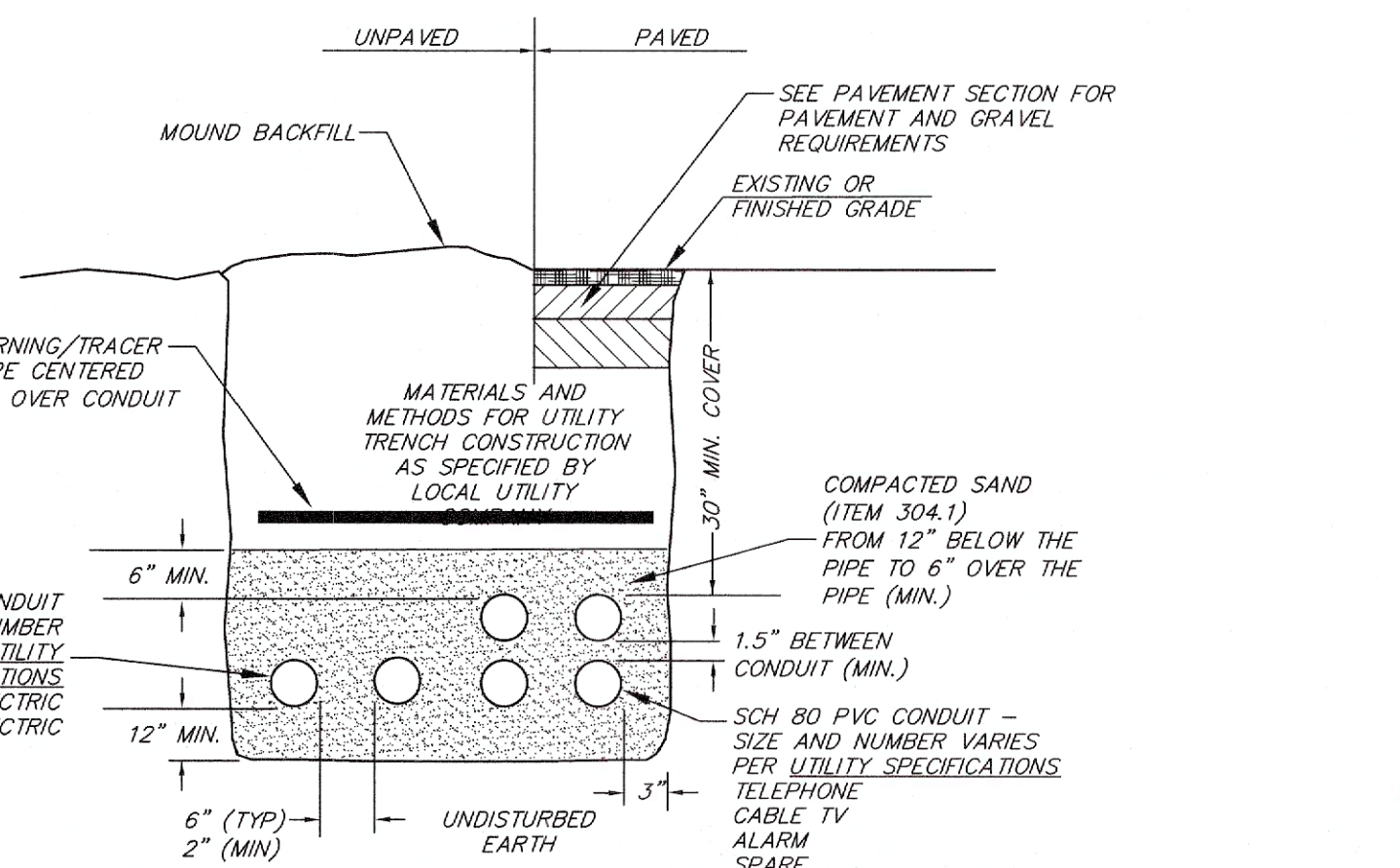
END SECTION FOR HDPE PIPE
NOT TO SCALE



FLARED END SECTION RIP-RAP APRON DETAIL:
NOT TO SCALE



ROOF DRAIN LEADER
NOT TO SCALE



NOTES:

1. NO CONDUIT RUN SHALL EXCEED 360 DEGREE IN TOTAL BENDS.
2. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, SHALL BE INSTALLED IN THE CONDUIT PRIOR TO INSTALLING THE CONDUIT. THE STRING SHALL BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
3. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRICAL SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRICAL CODES.
4. CONTRACTOR SHALL CONFIRM SIZE OF ELECTRICAL CONDUIT MEETS THE MINIMUM SIZE CRITERIA REQUIRED BASED ON THE NATIONAL ELECTRICAL CODE FOR THE SIZE OF THE CONDUITOR WITHIN EACH CONDUIT.

ELECTRICAL/LIGHTING/COMMUNICATIONS UTILITY TRENCH DETAIL
NOT TO SCALE

RIP-RAP APRON MAINTENANCE & CONSTRUCTION NOTES

- MAINTENANCE NOTES:**
- ROCK RIP-RAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. THE IMMEDIATE AREA DOWNSTREAM FROM THE RIP-RAP SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. IF THE RIP-RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIP-RAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIP-RAP. IF THE RIP-RAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIP-RAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIP-RAP.
- CONSTRUCTION SPECIFICATIONS:**
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIP-RAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING PLACEMENT OF THE ROCK RIP-RAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 IN.
 4. STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT DISPLACEMENT OF THE UNDERLYING MATERIAL. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE, FOR ANY PERMANENT STRUCTURES.
 5. STONES FOR RIP-RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIP-RAP.
 6. VOIDS IN THE ROCK RIP-RAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126

CONSTRUCTION DETAILS

ROCKPOINT COMMONS

225 ROCKINGHAM ROAD

LONDONDERRY, NEW HAMPSHIRE

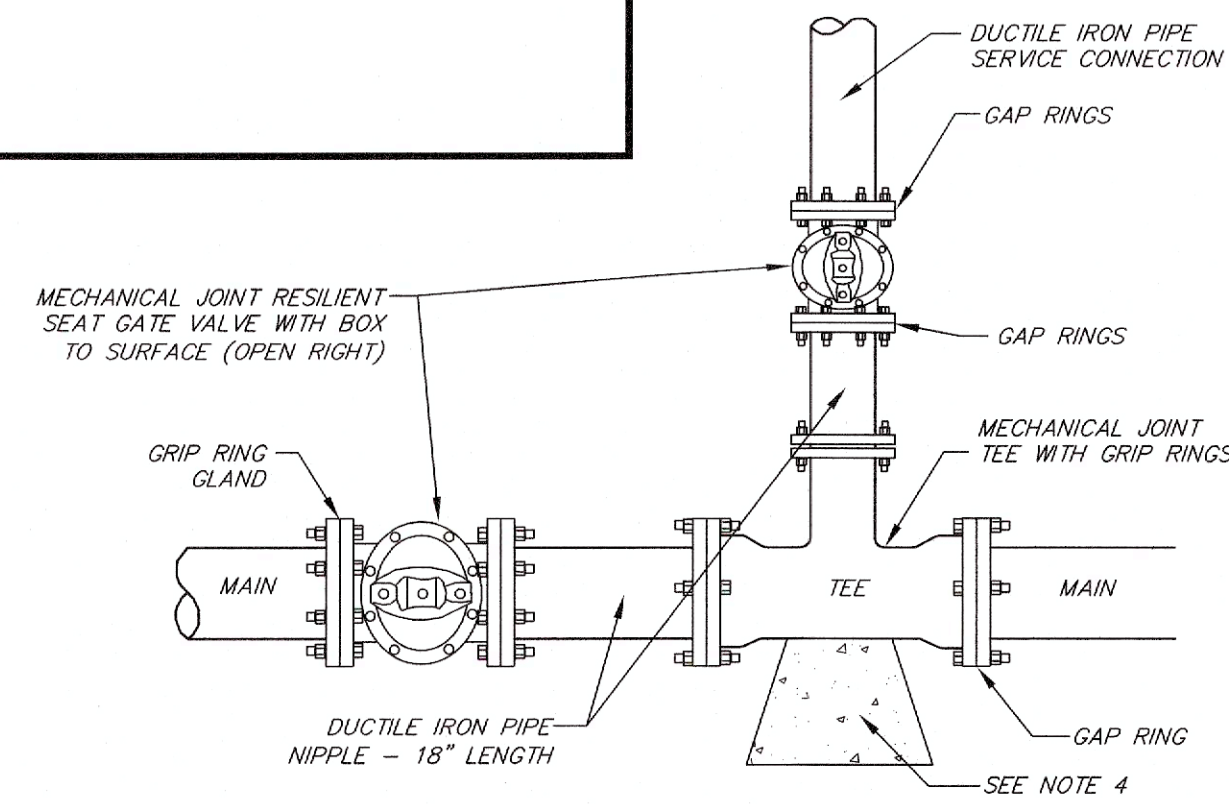
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SCALE: AS SHOWN JUNE 12, 2025 SHEET 24 OF 33

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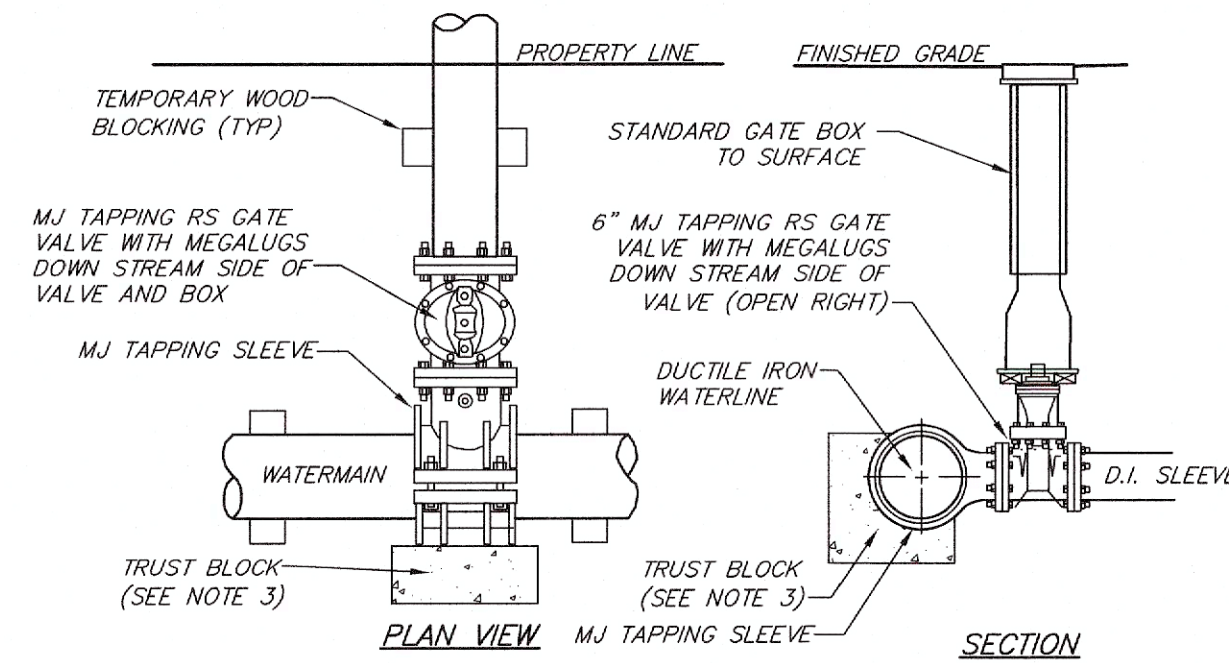
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- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO MANCHESTER WATER WORKS SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5.5- FEET FROM TOP OF PIPE TO FINISH GRADE.
 3. EDGE RETAINER CLAMPS AND THRUST BLOCKS SHALL BE USED FOR THRUST RESTRAINT.
 4. MIN. 2'x2'x4\"/>

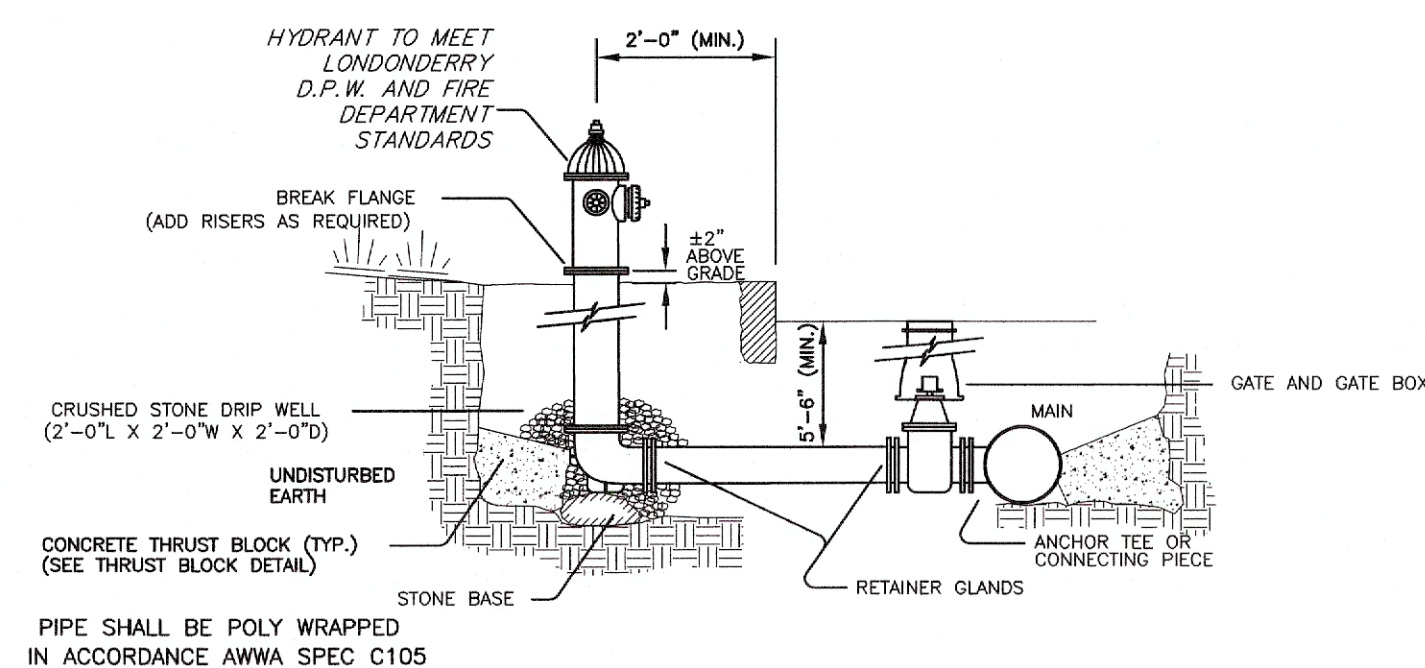
WATER TEE INSTALLATION
NOT TO SCALE



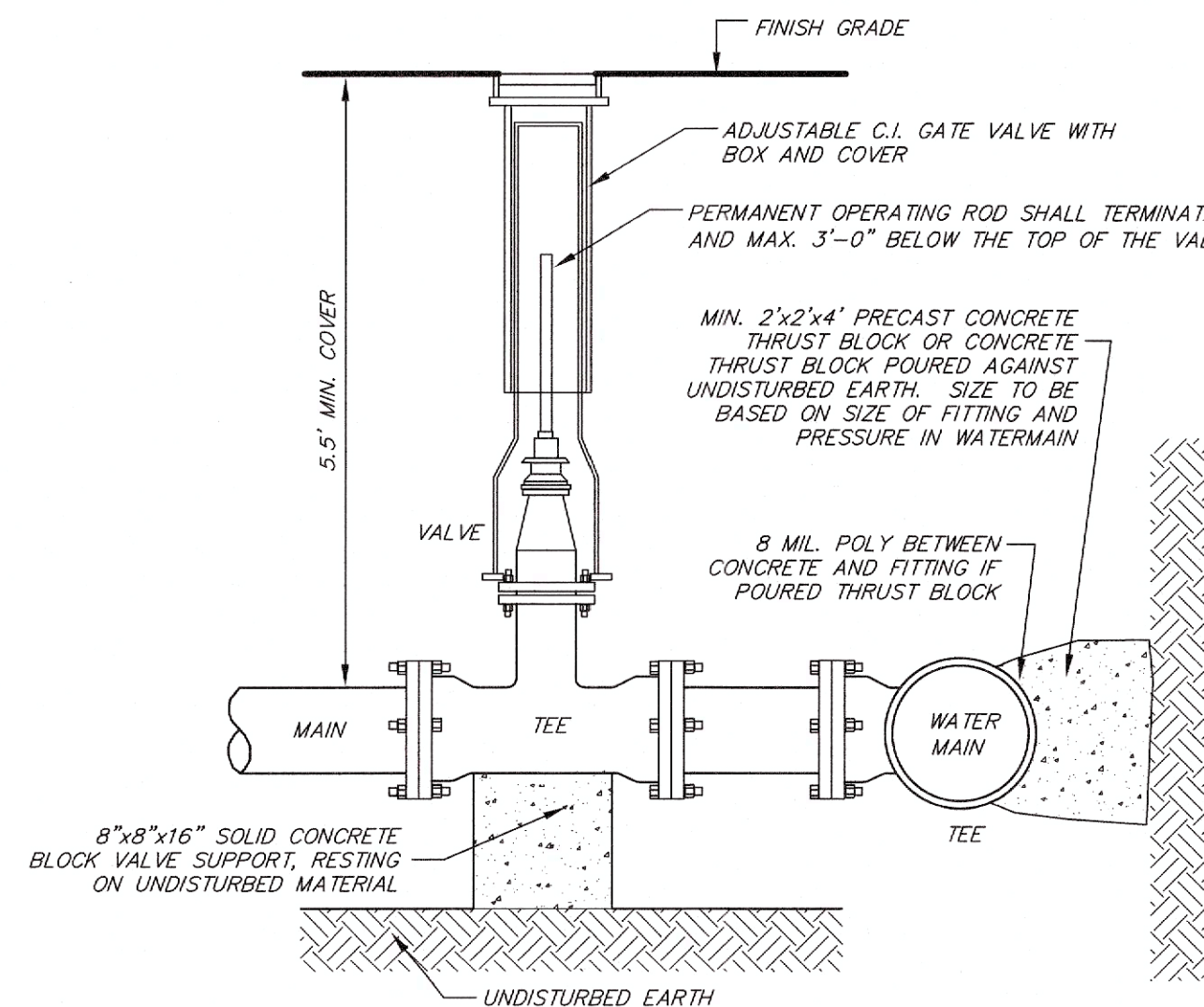
- NOTES:**
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO MANCHESTER WATER WORKS SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5- FEET FROM TOP OF PIPE TO FINISH GRADE.
 3. MIN. 2'x2'x4\"/>

WET TAP TEE INSTALLATION
NOT TO SCALE

- DUCTILE IRON PIPE -**
1. THE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL CONFORM TO ANSI A.21.51 (AWWA C-151) FOR PIPE CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS FOR WATER.
 2. CEMENT LININGS SHALL BE DOUBLE THE STANDARD THICKNESS AND SHALL CONFORM TO ANSI A.21.4.
 3. SEAL COATING SHALL BE APPLIED INSIDE AND OUT.
 4. ALL PIPE SHALL BE PUSH-ON TYPE JOINT, IN ACCORDANCE WITH ANSI A.21.11.
 5. ALL PIPE SHALL BE CAST IN U.S.A.



TYPICAL HYDRANT INSTALLATION
NOT TO SCALE



GATE VALVES 4"-12" - GATE VALVES SHALL BE 200 PSI WORKING PRESSURE, VERTICAL, PLAIN NON-RISING STEM, NUT OPERATED, OPEN RIGHT WITH MECHANICAL JOINT END CONNECTIONS.

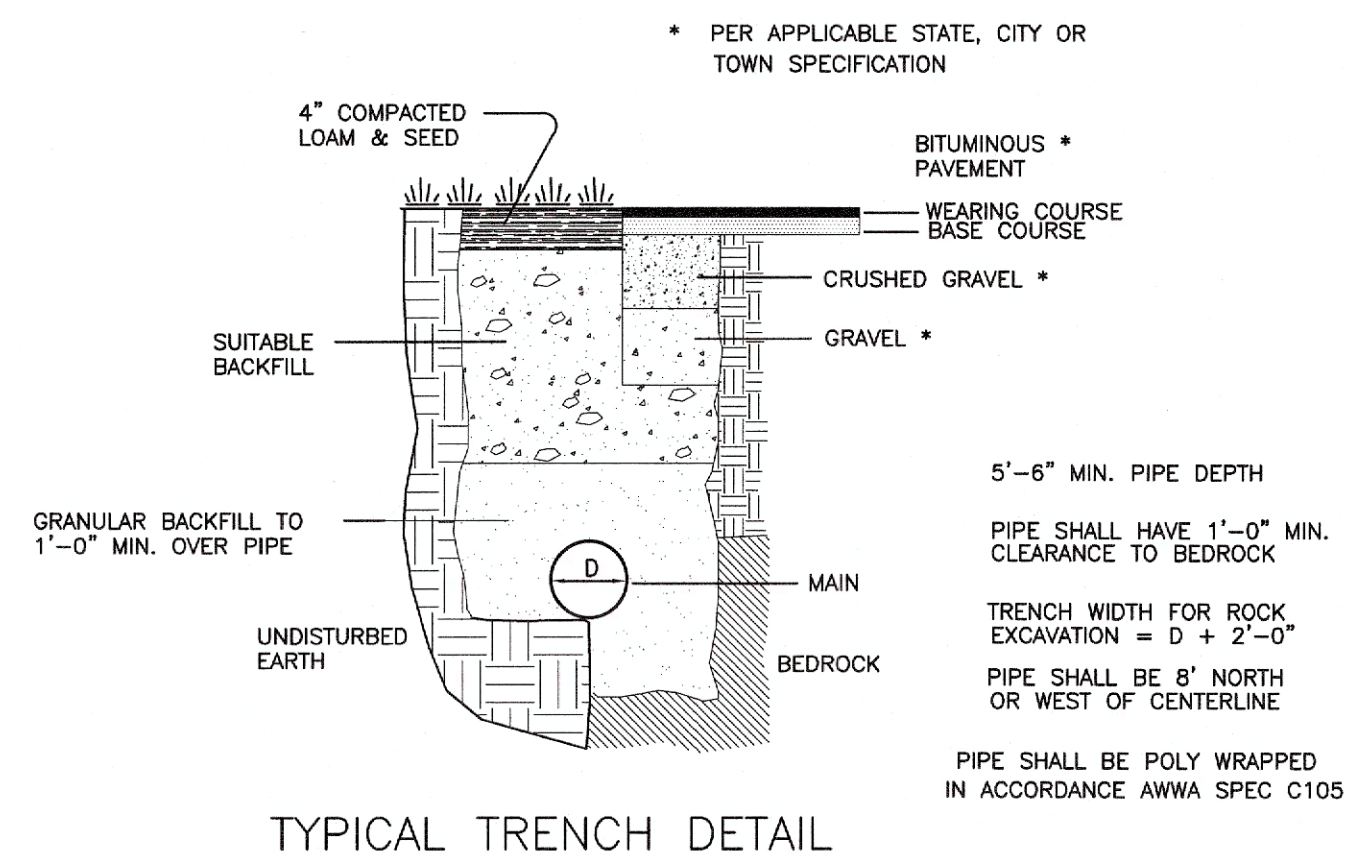
VALVES SHALL COMPLY WITH AWWA C500 OR C509. VALVES SHALL BE RESILIENT SEATED (RS). RS VALVES SHALL MEET THE FOLLOWING REQUIREMENTS: VALVE BODY AND BONNET SHALL BE OF CAST OR DUCTILE IRON COATED ON ALL EXTERIOR AND INTERIOR SURFACES WITH A FUSION BONDED EPOXY CONFORMING TO AWWA STANDARD C-550, LATEST REVISION, APPLIED WITH A MINIMUM THICKNESS OF EIGHT (8) MILS. THE MANUFACTURER SHALL CERTIFY THAT THE COATING IS SUITABLE FOR USE IN A POTABLE WATER SYSTEM, AND THE INTERIOR COATING CERTIFIED TO BE HOLIDAY-FREE. THE GATE SHALL BE COMPLETELY COVERED WITH RUBBER OVER ALL FERROUS SURFACES. THE RUBBER SHALL BE SECURELY BONDED TO THE GATE BODY.

THE "O" RING STEM SEAL SHALL BE REPLACEABLE WITH THE VALVE UNDER PRESSURE IN THE FULL OPEN POSITION.

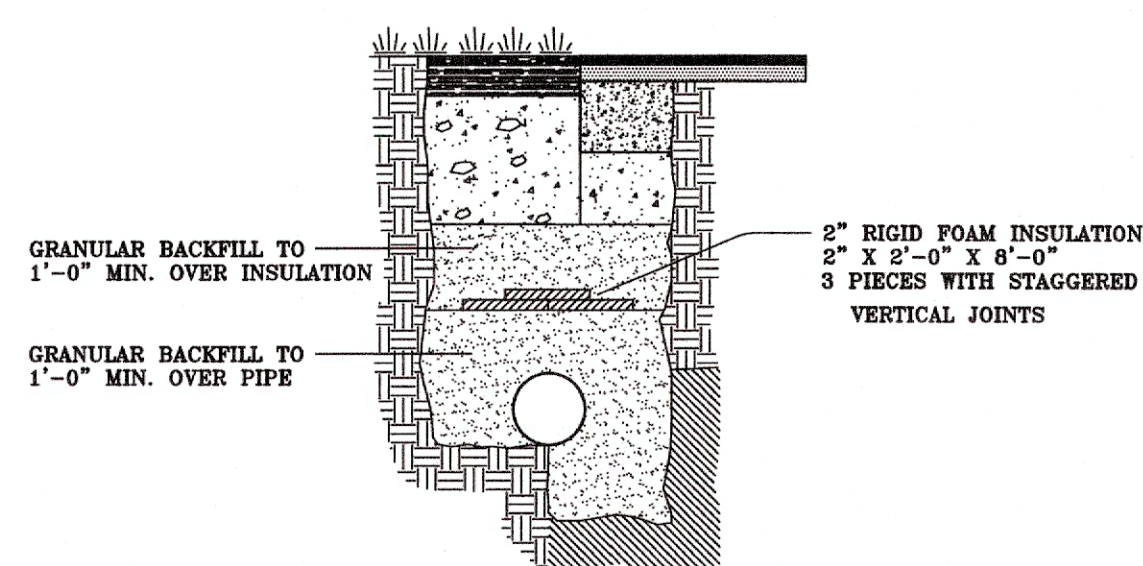
ALL EXTERIOR FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL.

VALVES SHALL BE FULL PORT OPENING. TAPPING VALVES SHALL HAVE ENLARGED PORTS.

STANDARD GATE VALVE
NOT TO SCALE



NOT TO SCALE



MAIN INSTALLATIONS OF LESS THAN 5'-6" OF COVER SHALL BE ALLOWED ONLY AT THE DISCRETION OF THE ENGINEER. ALL INSTALLATIONS OF LESS THAN 5'-6" OF COVER SHALL BE INSULATED AS SHOWN.

PIPE SHALL BE POLY WRAPPED IN ACCORDANCE AWWA SPEC C105

INSULATED MAIN
NOT TO SCALE

MECHANICAL JOINT FITTINGS - THE MECHANICAL JOINT FITTINGS SHALL CONFORM TO AWWA C104/ANSI A21.4, C111/A21.11 OR C153/A21.53, CLASS 350 MINIMUM, DUCTILE IRON COMPACT FITTING, WITH DOUBLE CEMENT-LINING THICKNESS AND SEAL COATED INSIDE AND OUT. FITTINGS SHALL BE COMPLETE WITH ACCESSORIES - TEE BOLTS SHALL BE EITHER DUCTILE IRON OR CORTEN. ALL M.J. FITTINGS SHALL BE CAST IN U.S.A.

BOLTED SLEEVE-TYPE COUPLINGS - THE COUPLING SHALL CONFORM TO AWWA 219-11. THE BODY AND RINGS SHALL BE CARBON STEEL WITH A FUSION BONDED EPOXY COATING. THE BOLTS AND NUTS SHALL BE 304 STAINLESS STEEL WITH THE BOLTS COATED WITH AN ANTI-SEIZE COMPOUND. THE GASKET SHALL BE MADE IN TWO LAYERS WITH A REMOVABLE INNER LAYER THAT ALLOWS FOR DIAMETER RANGE EXPANSION.

BUTTERFLY VALVES 16" - 24" - ALL 16", 20" AND 24" BUTTERFLY VALVES SHALL BE OPEN RIGHT WITH MECHANICAL JOINT END CONNECTIONS, COMPLETE WITH ACCESSORIES FOR BURIED SERVICE.

VALVES SHALL BE OF THE TIGHT CLOSING RUBBER SEAT TYPE WITH SEAT BONDED OR MECHANICALLY RETAINED INTO THE DISC OR VALVE BODY. VALVES SHALL HAVE A FULL UNINTERRUPTED 360 DEGREE SEALING SURFACE AND SHALL BE BUBBLE TIGHT AT RATED PRESSURES IN BOTH DIRECTIONS. VALVES SHALL BE DESIGNED FOR USE IN EITHER THROTTLING APPLICATION OR FOR VERY INFREQUENT OPERATION AFTER EXTENDED PERIODS OF INACTIVITY. VALVES SHALL BE IN FULL COMPLIANCE WITH AWWA SPECIFICATION C-504, WITH THE FOLLOWING EXCEPTIONS:

VALVE BODIES - ALL VALVE BODIES SHALL BE OF CAST IRON CONFORMING TO ASTM A-126, CLASS B WITH INTEGRAL CAST ENDS AND SHALL MEET THE FOLLOWING REQUIREMENTS: VALVE BODY AND BONNET SHALL BE OF CAST OR DUCTILE IRON, COATED ON ALL EXTERIOR AND INTERIOR SURFACES WITH EPOXY CONFORMING TO AWWA STANDARD C-550, LATEST REVISION, APPLIED WITH A MINIMUM THICKNESS OF EIGHT (8) MILS. THE MANUFACTURER SHALL CERTIFY THAT THE COATING IS SUITABLE FOR USE IN A POTABLE WATER SYSTEM, AND THE INTERIOR COATING CERTIFIED TO BE HOLIDAY-FREE. ALL EXTERIOR FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL.

VALVE DISCS - ALL VALVE DISCS SHALL BE STREAMLINED AND PRESENT THE SMALLEST PROFILE POSSIBLE CONSISTENT WITH THE STRUCTURAL REQUIREMENTS OF THE PRESSURE CLASS. THEY SHALL BE OF OFFSET OR FLOW THROUGH DESIGN AND MATERIAL COMPOSITION OF CAST OR DUCTILE IRON. DISC SEALING EDGE SHALL HAVE A CONTINUOUS UNINTERRUPTED 360 DEGREE SEALING SURFACE OF 18-8 STAINLESS STEEL.

VALVE SHAFTS - VALVE SHAFTS SHALL BE OF 18-8 TYPE 304 STAINLESS STEEL OR CARBON STEEL WITH STAINLESS STEEL JOURNALS. SHAFT DESIGN SHALL BE OF THRU OR STUB TYPE CONSTRUCTION WITH AT LEAST 1" SHAFT DIAMETER ENGAGEMENT INTO THE DISC. SHAFT TO DISC CONNECTION SHALL BE OF A RIGID, NON-SLIP TYPE CONNECTION.

VALVE SEATS - VALVE SEATS SHALL BE A RUBBER MATERIAL BONDED OR MECHANICALLY RETAINED.

VALVE BEARINGS - VALVE BEARINGS SHALL BE SELF-LUBRICATING AND NON-CORROSIVE AND SHALL HAVE A SIGNIFICANT DIFFERENCE IN HARDNESS FROM THE VALVE SHAFT.

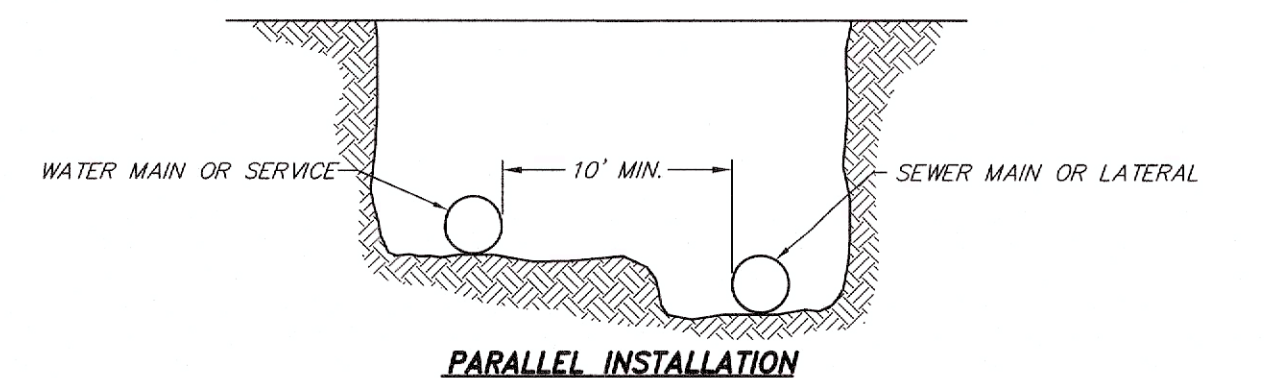
VALVE ACTUATORS-GENERAL - ALL VALVE ACTUATORS SHALL BE DESIGNED AS AN INTEGRAL PART OF THE VALVE AND SHALL MEET OR EXCEED ALL THE REQUIREMENTS OF AWWA C-504. ACTUATORS SHALL BE OF RACK AND PINION, LINK AND LEVER OR TRAVELING DESIGN.

ALL MOVING PARTS PENETRATING INTO THE ACTUATOR, AND EXTERIOR FASTENERS SHALL BE 316 STAINLESS STEEL. ALL ACTUATOR TYPES, IN A GIVEN SIZE, TO BE INTERCHANGEABLE AND FASTENED TO VALVES READILY ACCESSIBLE EXTERNAL BOLTS. ALL ACTUATORS MUST FIT ON THE VALVES THEY ARE DESIGNED TO OPERATE IN ANY MOUNTED POSITION OR ROTATIONAL DIRECTION WITHOUT ANY SPECIAL PRIOR PREPARATION TO EITHER THE VALVE OR THE ACTUATOR.

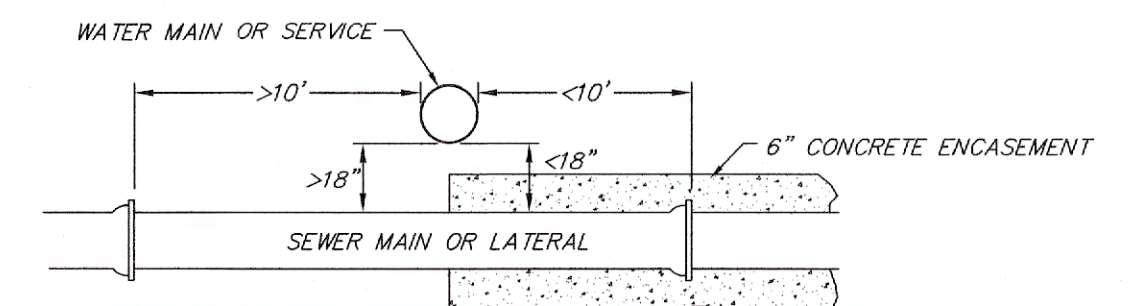
RETAINER GLANDS - RETAINER GLANDS SHALL BE HEAVYWEIGHT, DUCTILE IRON, WEDGE-TYPE, DESIGNED FOR 70 FT-LBS OF TORQUE.

VALVE BOXES - VALVE BOXES SHALL BE SLIDE TYPE CAST OR DUCTILE IRON STANDARD 5'-0" BURY WITH THE FOLLOWING THREE (3) COMPONENTS:

1. GATE BOX COVERS SHALL FIT PROPERLY AND SEAT FLUSH IN THE GATE VALVE BOX TOP SECTIONS.
2. THE TOP SECTION SHALL BE A MINIMUM OF 26" IN LENGTH WITH TOP FLANGE.
3. THE BELLED DESIGN BASE SECTION SHALL BE A MINIMUM OF 36" IN LENGTH.
4. THE COVER SHALL BE MARKED "WATER". THE BOXES SHALL BE 5 1/4" INSIDE DIAMETER.

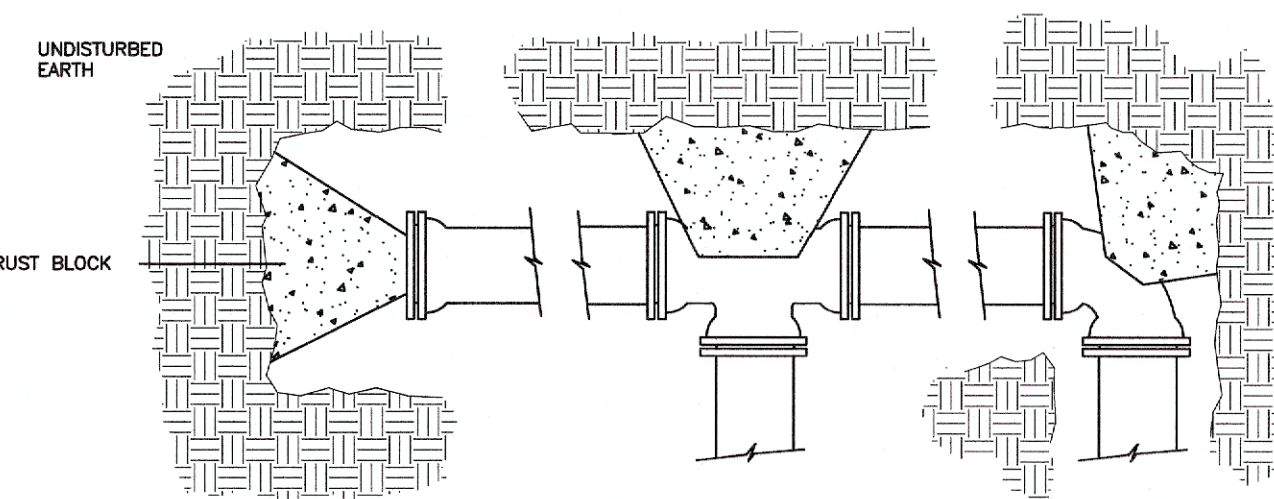
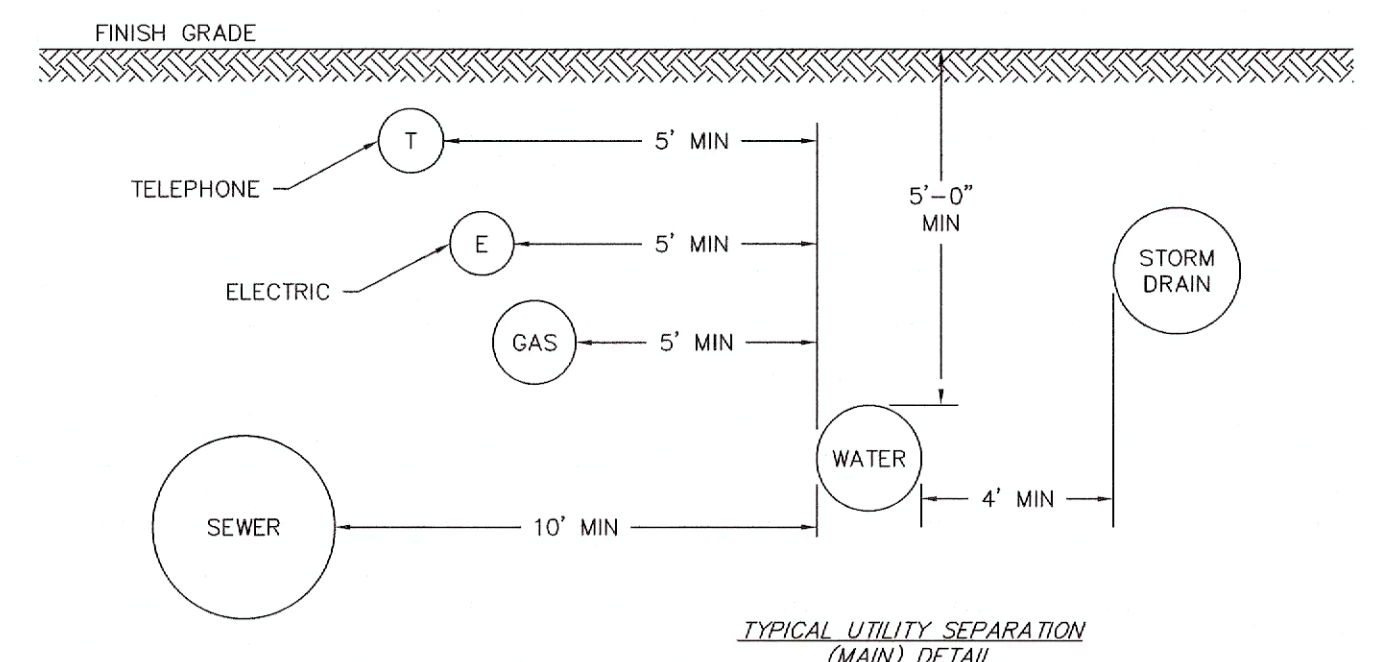


PARALLEL INSTALLATION

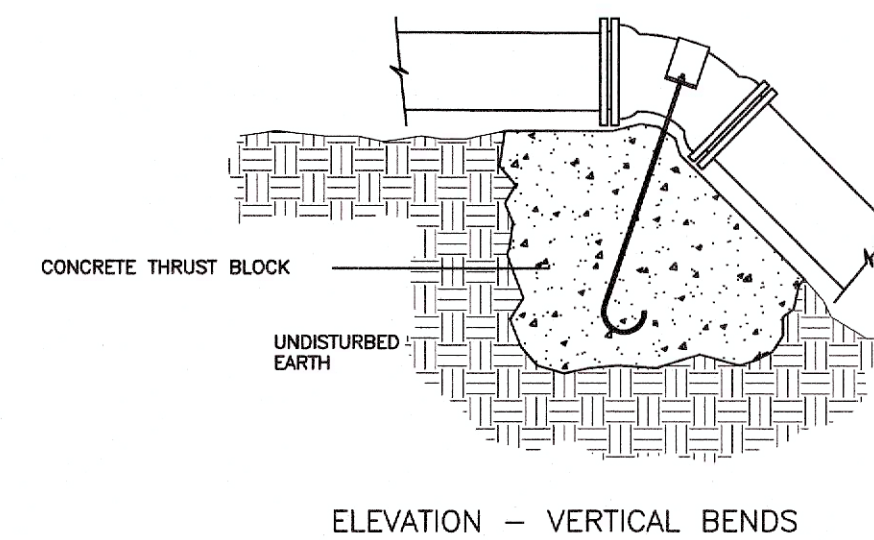


MAIN CROSSINGS

WATER MAIN AND SEWER MAIN SEPARATION DETAIL
NOT TO SCALE



PLAN - HORIZONTAL BENDS, TEES AND PLUGS



ELEVATION - VERTICAL BENDS

THRUST BLOCK DIMENSIONS TO BE DETERMINED IN FIELD BY ENGINEER BASED ON PIPE SIZE, WATER PRESSURE AND SOIL TYPE.

STONE BACKING MAY BE SUBSTITUTED FOR CONCRETE THRUST BLOCKS PROVIDED THE STONE(S) ARE OF EQUAL SIZE AND BEAR ON UNDISTURBED EARTH.

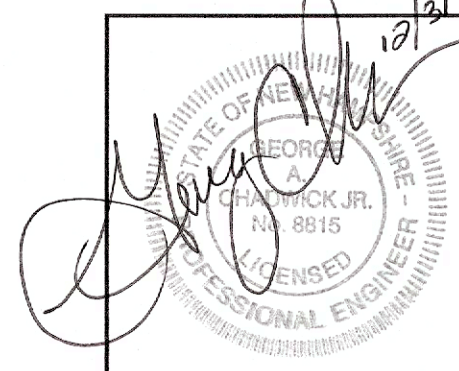
USE OF JOINT RESTRAINT SYSTEMS SHALL NOT ELIMINATE THRUST BLOCK REQUIREMENTS (WHERE POSSIBLE).

PIPE SHALL BE POLY WRAPPED IN ACCORDANCE AWWA SPEC C105

TYPICAL THRUST BLOCKS
NOT TO SCALE

12-31-25	PER DRC - STANTEC REVIEW #2	B/J	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A
DATE	DESCRIPTION	BY	REV.

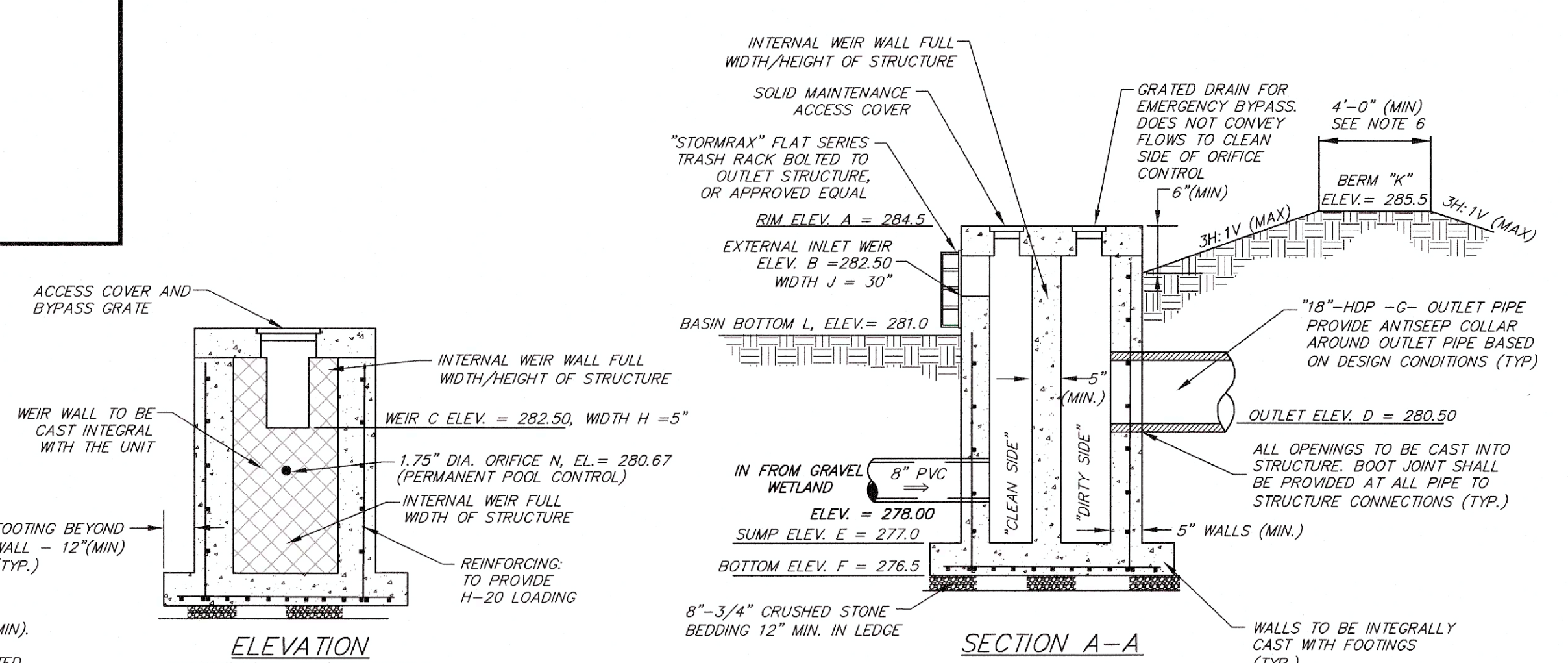
TAX MAP 15 LOT 126
CONSTRUCTION DETAILS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362



SCALE: AS SHOWN	JUNE 12, 2025	SHEET 25 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
FB: 692	PG: 28	503-22

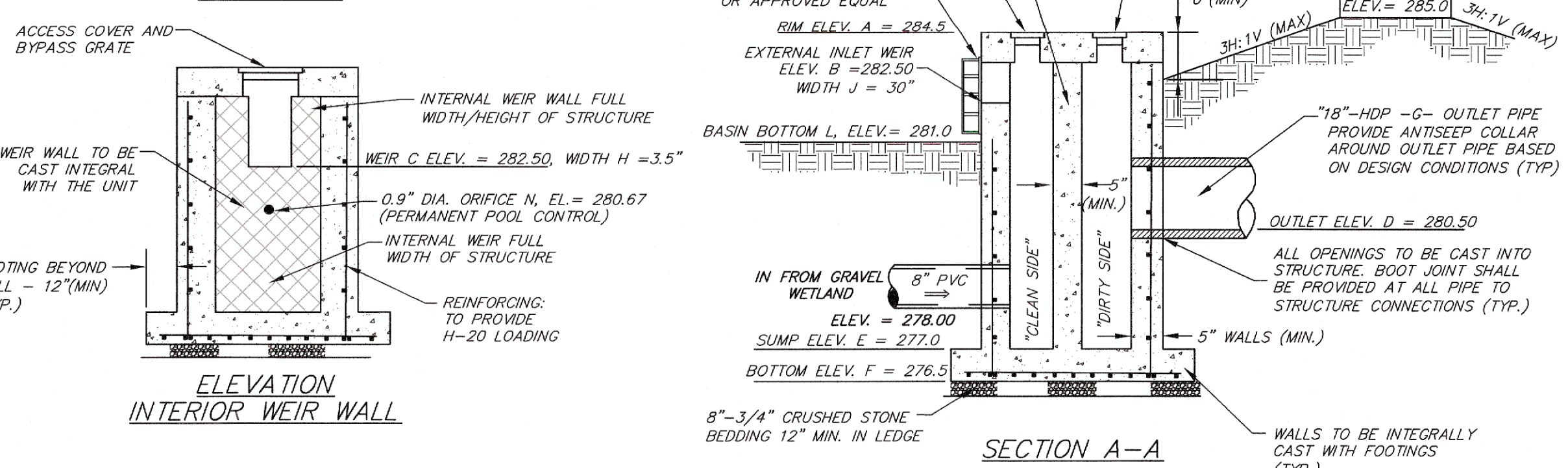
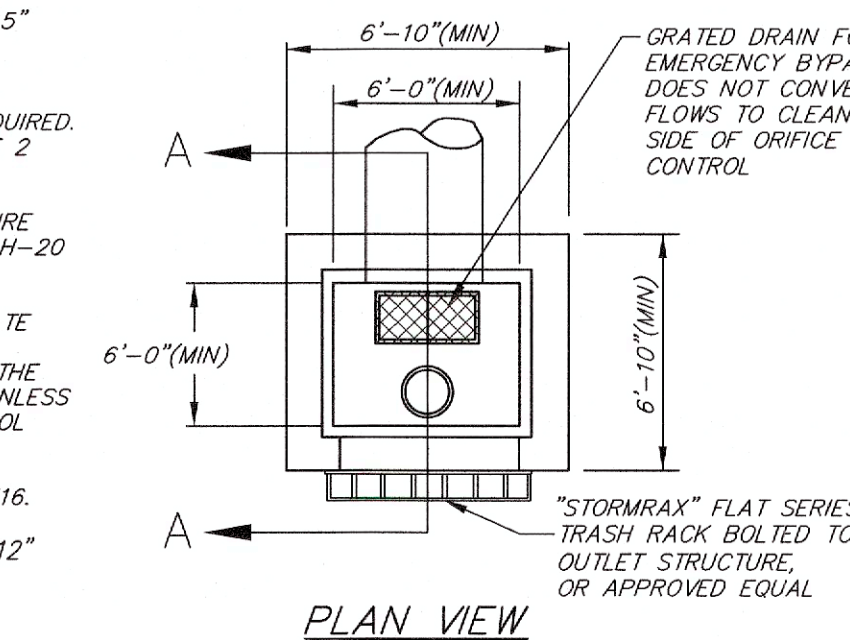
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- NOTES:**
- ALL CEMENT CONCRETE TO BE 4000 PSI(MIN).
 - GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2" STAINLESS STEEL BOLTS AND THREADED INSERTS.
 - OUTLET PIPE SHALL NOT BE LESS THAN 15" DIAMETER AND SHALL BE SIZED FOR A 50-YEAR STORM.
 - ALL OPENINGS SHALL BE CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2 INCHES.
 - PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
 - CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2 INCHES WIDE.
 - ALL STAINLESS STEEL SHALL BE GRADE 316.
 - MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 50-YEAR STORM ELEVATION.



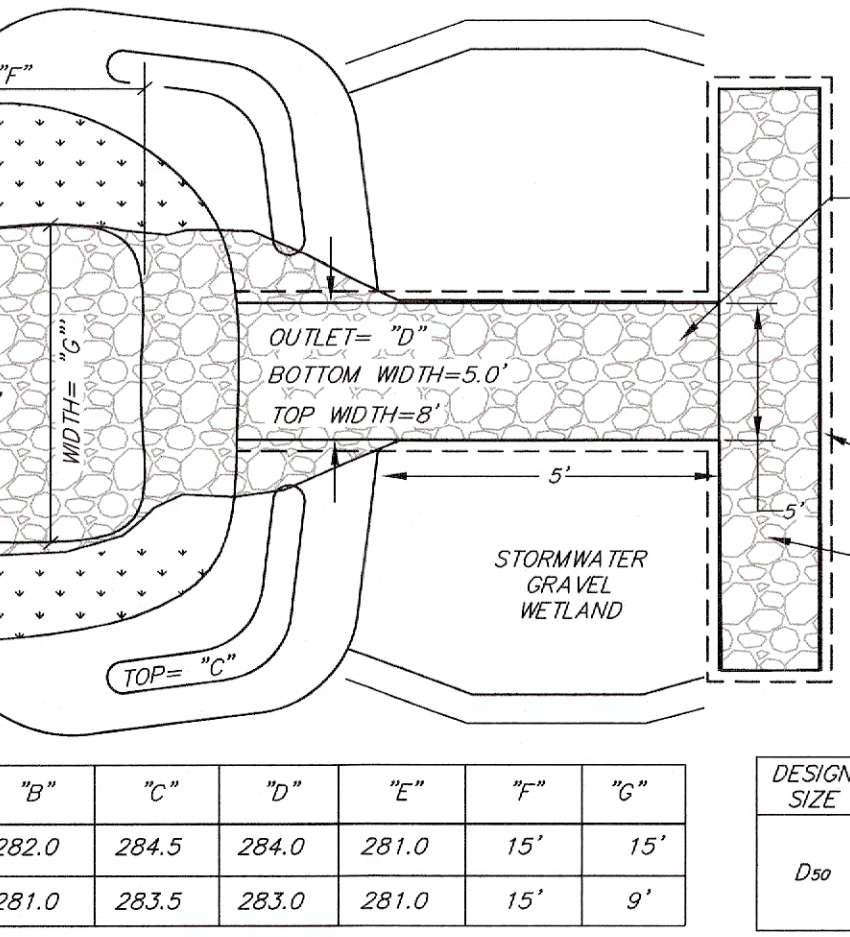
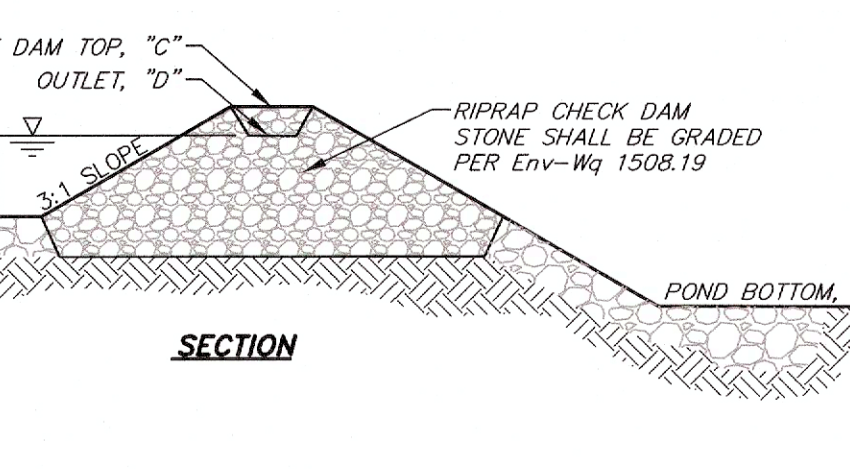
OUTLET STRUCTURE #26
NOT TO SCALE

OUTLET STRUCTURE	ELEVATIONS/DIMENSIONS													
	A	B	C	D	E	F	G	H	J	K	L	M	N	
OS#26	284.50	282.50	282.50	280.50	277.00	276.50	18"	5"	30"	285.50	281.00	N.A.	280.67	
OS#35	284.50	282.50	282.50	280.50	277.00	276.50	18"	3.5"	30"	285.00	281.00	N.A.	280.67	



OUTLET STRUCTURE #35
NOT TO SCALE

OUTLET STRUCTURE	ELEVATIONS/DIMENSIONS													
	A	B	C	D	E	F	G	H	J	K	L	M	N	
OS#26	284.50	282.50	282.50	280.50	277.00	276.50	18"	5"	30"	285.50	281.00	N.A.	280.67	
OS#35	284.50	282.50	282.50	280.50	277.00	276.50	18"	3.5"	30"	285.00	281.00	N.A.	280.67	



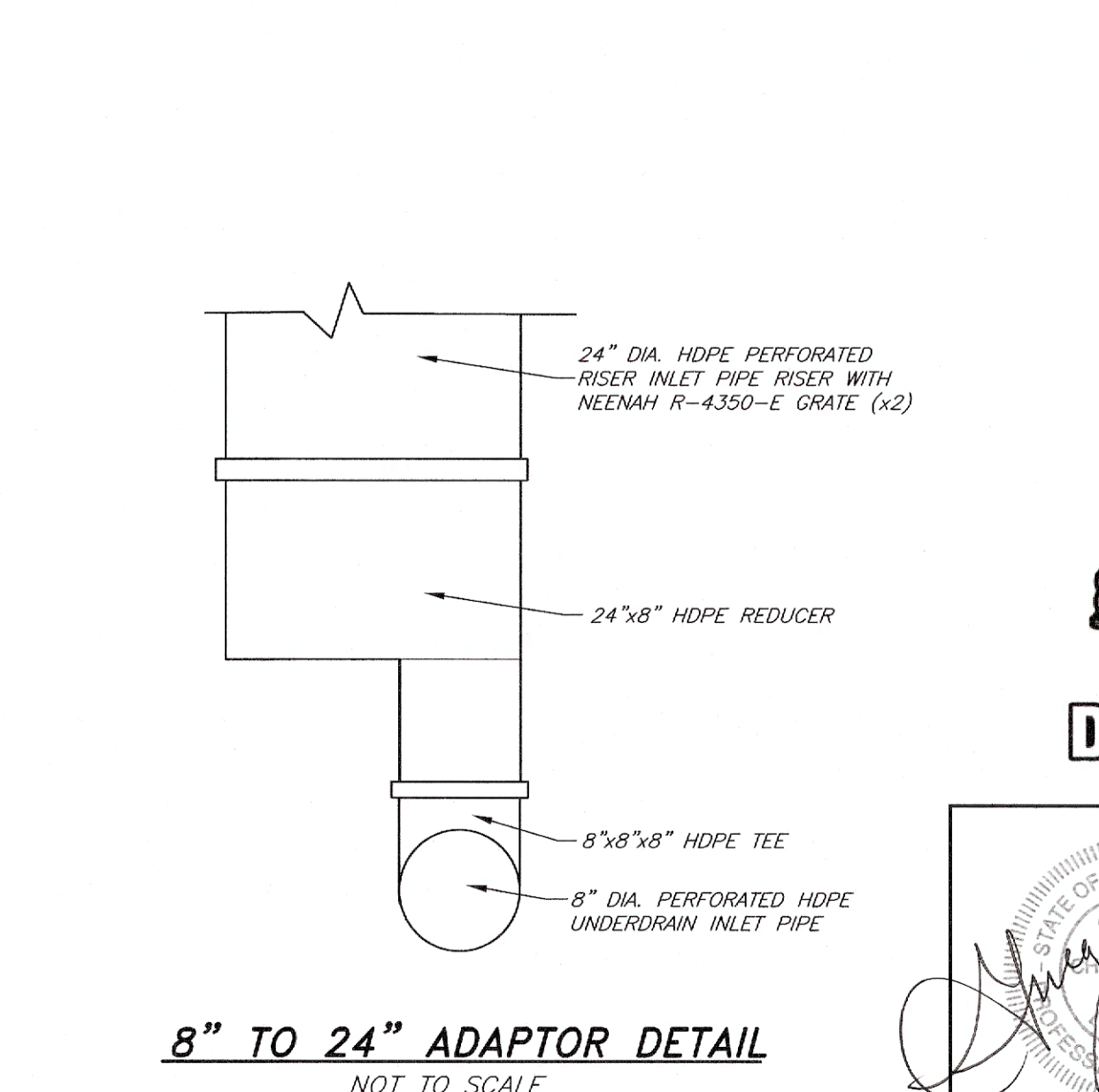
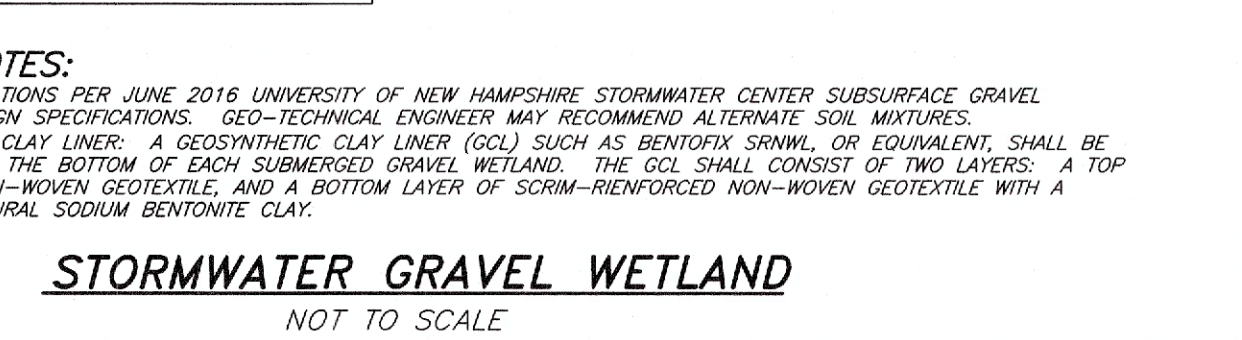
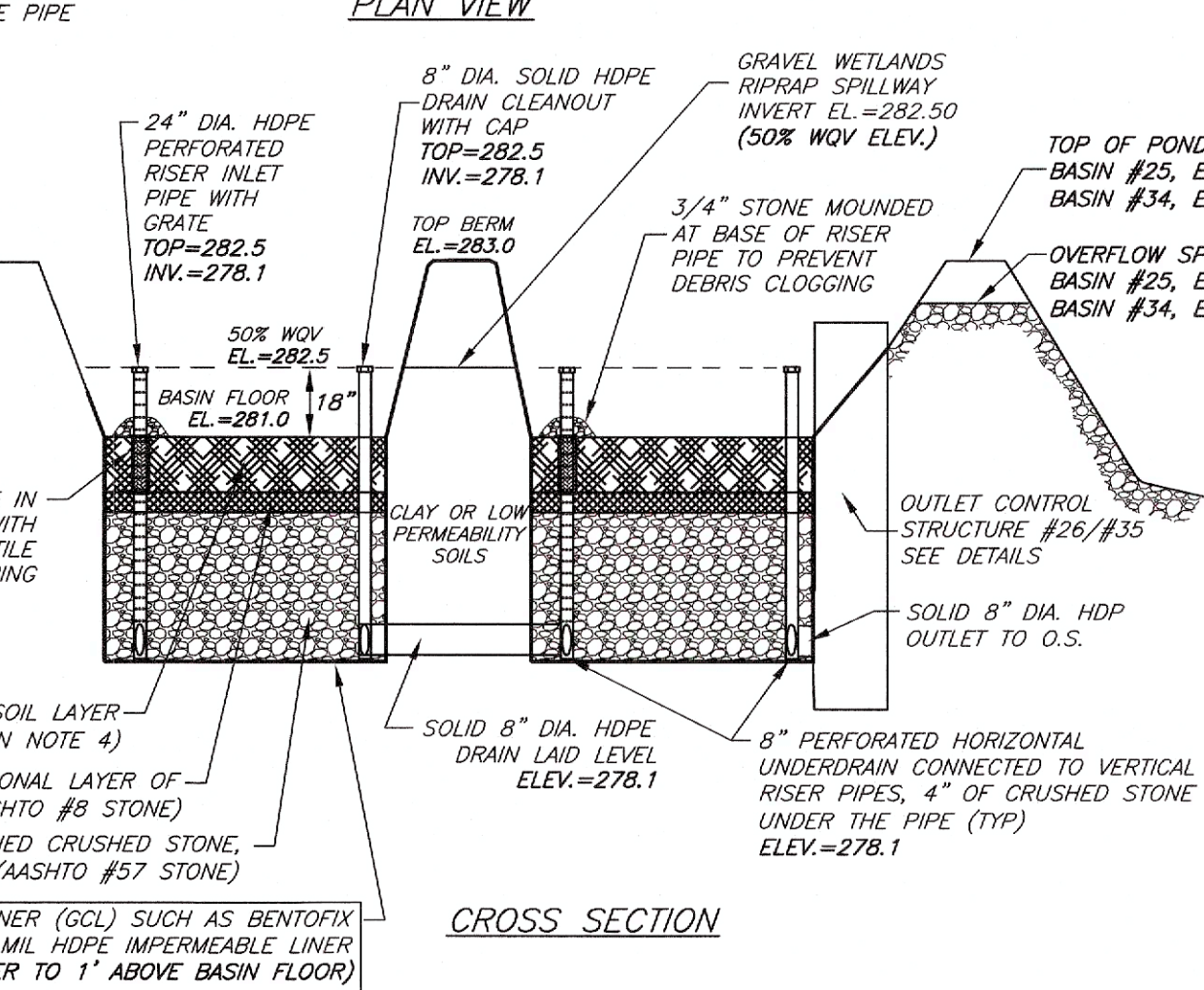
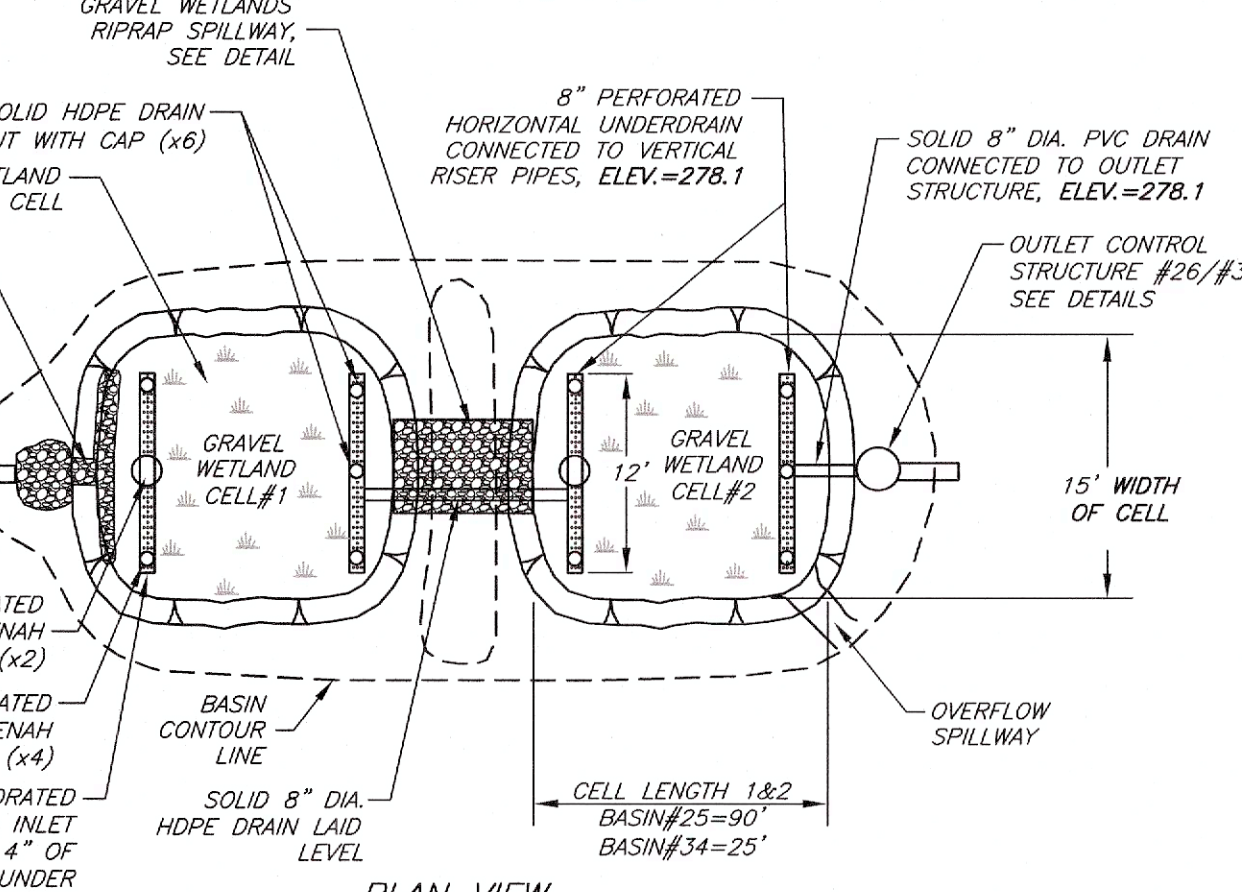
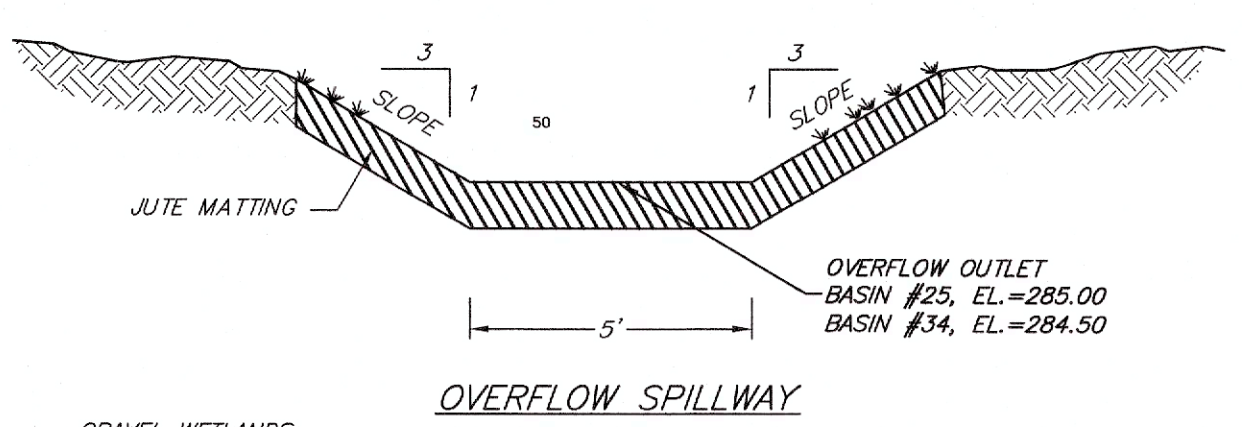
CHECK DAM STONE GRADATION TABLE:

DESIGN SIZE	RIP-SAP	% OF WEIGHT (SMALLER THAN GIVEN SIZE)	SIZE OF STONE	THICKNESS (D)
D50	4"	100	6" TO 8"	9"
		85	5.2" TO 7.2"	
		50	4" TO 6"	
		15	1.2" TO 2"	

FOREBAY BOTTOM STONE GRADATION TABLE:

DESIGN SIZE	RIP-SAP	% OF WEIGHT (SMALLER THAN GIVEN SIZE)	SIZE OF STONE	THICKNESS (D)
D50	4"	100	6" TO 8"	9"
		85	5.2" TO 7.2"	
		50	4" TO 6"	
		15	1.2" TO 2"	

- CONSTRUCTION SPECIFICATION AND MAINTENANCE**
- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIPRAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING PLACEMENT OF THE ROCK RIPRAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 IN.
 - STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES.
 - STONES FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIPRAP.
 - VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
 - ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.



- BASIN PLAN:**
- THE FOLLOWING CRITERIA APPLY TO ALL GRAVEL WETLANDS:
 - SIDE SLOPES:** ALL SIDE SLOPES TO THE FOREBAY AND THE TREATMENT CELLS SHOULD BE 3:1 OR FLATTER FOR MAINTENANCE.
 - GEOTEXTILE FABRIC:** A GEOTEXTILE FABRIC SHOULD BE PLACED BETWEEN THE GRAVEL LAYER AND ADJACENT SOIL. THE FABRIC WILL PREVENT THE SURROUNDING SOIL FROM MIGRATING INTO THE TRENCH AND CLOGGING THE OUTLET. USE AN APPROPRIATE MESH SIZE THAT IS COMPATIBLE WITH THE SOIL. OVERLAP SEAMS SHOULD BE A MINIMUM OF 12 INCHES.
 - IMPERMEABLE MEMBRANE:** A LOW PERMEABILITY LINER OR SOIL MAY BE NECESSARY TO CONTAIN THE SYSTEM AND PREVENT INFILTRATION OR LOSS OF MOISTURE INTO THE TREATMENT LAYER AND SUSTAIN THE WETLAND PLANTS. IF GEOTECHNICAL TESTING CONFIRMS THE NEED FOR A LINER, AN IMPERMEABLE LINER SUCH AS A GEOSYNTHETIC CLAY LINER (GCL) SUCH AS BENTONIX SRMWL OR 30 MIL HDPE LINER OR EQUAL WILL BE NECESSARY. THE UNDISTURBED NATIVE SOILS WHERE THE GRAVEL WETLAND WILL BE LOCATED HAVE A LOW HYDRAULIC CONDUCTIVITY (SUCH AS A SOIL TYPE D) OR THE WATER TABLE IS NEAR THE TOP OF THE BASIN, A LINER WILL NOT BE NECESSARY.
 - WETLAND SOIL:** THE WETLAND SOIL SHOULD HAVE A THICKNESS OF 8 INCHES MINIMUM AND SHOULD HAVE A LOW HYDRAULIC CONDUCTIVITY (0.1-0.01 FT/DAY). THIS SOIL CAN BE MANUFACTURED, USING COMPOST, SAND AND FINE SOILS, INTO A BLEND WITH MORE THAN 15% ORGANIC MATTER. IT SHOULD CONTAIN MORE THAN 15% SILT (PASSING THE #200 SIEVE), BUT WITH A CLAY SIZE PORTION THAT IS LESS THAN 2%.
 - INTERMEDIATE LAYERS:** AN INTERMEDIATE LAYER (6-8 INCHES THICK) OF AGGREGATE FILTER (PEA GRAVEL) IS NEEDED TO PREVENT THE WETLAND SOIL FROM MIGRATING INTO THE CRUSHED-STONE (GRAVEL) SATURATED DRAINAGE LAYER. DO NOT USE A GEOTEXTILE FABRIC AS IT WILL RESTRICT ROOT GROWTH.
 - SATURATED DRAINAGE LAYER:** BELOW THE WETLAND SOIL AND INTERMEDIATE LAYER IS A CRUSHED STONE (OR VERY COARSE GRAVEL) DRAINAGE LAYER WITH A 24-INCH MINIMUM THICKNESS. ANGLER 3/4" CRUSHED STONE, IS RECOMMENDED AS LARGE ANGULAR PARTICLES ARE NEEDED TO MAINTAIN THE PERMEABILITY OF THE SYSTEM. THE PIPE UNDERDRAINS SHOULD HAVE AT LEAST 1-FOOT OF GRAVEL COVER AND FOUR INCHES BELOW THE PIPE.
 - UNDERDRAINS:** HORIZONTAL UNDERDRAINS AND RISERS DISTRIBUTE THE INFLOW THROUGH THE GRAVEL LAYER WITHIN EACH OF THE CELLS; AND AT THE DOWNSTREAM, AN OUTFLOW UNDERDRAIN RECOLLECTS THE WATER TO DISTRIBUTE IT TO THE NEXT CELL OR FOR DISCHARGE.
 - TREATMENT LAYERS:** THE FLOW PATH BETWEEN THE INFLOW AND THE OUTFLOW SUBDRAINS WITHIN EACH CELL'S SATURATED DRAINAGE LAYER SHOULD BE 15 FEET AT A MINIMUM.

- OUTLETS:**
- THE CHANNEL PROTECTION VOLUME MUST BE DISCHARGED SOLELY THROUGH THE UNDERDRAINED GRAVEL OUTLET HAVING A WEIR OR A SINGLE ELEVATION PIPE OUTLET PLACED AT THE ELEVATION OF THE WETLAND BASIN TO FORCE A NEAR-SURFACE GRAVEL WATER CONDITION (WITH AN INVERT 4 INCHES BELOW THE SURFACE OF THE WETLAND GROUND SURFACE). THE OUTLET NEEDS TO BE SIZED TO PROVIDE THE SLOW DISCHARGE OF THE WATER QUALITY VOLUME. THE WATER QUALITY VOLUME SHOULD BE 4 MINUTES OF FLOW. IN BOTH WETLAND CELLS, VERTICAL PERFORATED OR SLOTTED RISERS DELIVER THE OUTFLOW TO THE HORIZONTAL AND PERPENDICULAR SUB-DRAINS IMBEDDED IN THE GRAVEL DRAINAGE LAYER. THE PERFORATED/SLOTTED RISER SHOULD EXTEND 18 INCHES ABOVE THE SURFACE OF THE WETLAND SOIL. A RISER SHOULD BE PROVIDED FOR EVERY 10 FEET OF LINEAR INFLOW SUB-DRAIN.
- UNDERDRAIN PIPE:** THE UNDERDRAIN PIPING SHOULD BE 6-INCH DIAMETER WITH SLOTTED, RIGID SCHEDULE 40 PVC OR 304.35 PIPE.
 - OVERFLOW SPILLWAY:** AN ARMORED SPILLWAY SHOULD BE PROVIDED BETWEEN THE CELLS FOR LARGER STORMS TO FLOW THROUGH WITHOUT CAUSING EROSION. THE SPILLWAY SHOULD BE 18 INCHES ABOVE THE WETLAND SURFACE. RUNOFF FROM LARGER STORMS (2, 10 AND 25-YEAR, 24-HOUR STORMS) WHILE MAINTAINING AT LEAST ONE FOOT OF FREEBOARD, AND TO SAFELY CONVEY THE 100-YEAR STORM WITHOUT OVERTOPPING THE EMBANKMENT. OVERFLOW MUST DISCHARGE TO A STABLE CHANNEL OR VEGETATED AREA. THE EMERGENCY SPILLWAYS SHOULD BE LOCATED ON UNDISTURBED, NON-FILL SOIL, WHEREVER POSSIBLE. IF THE SPILLWAY MUST BE LOCATED ON FILL SOILS, THEN IT MUST BE HORIZONTALLY OFFSET AT LEAST 20 FEET FROM THE PRINCIPAL OUTLET AND APPROPRIATELY STABILIZED.
 - CLEANING PORTS:** A CLEAN-OUT PORT SHOULD BE PROVIDED FOR EACH OF THE HORIZONTAL UNDERDRAIN PIPE STRUCTURE IN BOTH BASINS.

- VEGETATION:**
- APPROPRIATE WETLAND SPECIES SHOULD BE CAREFULLY SELECTED TO STABILIZE THE SIDES AND BOTTOM OF THE BASINS. THE CREATION OF A MARSH ENVIRONMENT AT THE POINT WILL HELP TO TRAP SEDIMENT. FERTILIZER SHOULD NOT BE USED UNLESS NECESSARY TO ESTABLISH NEW VEGETATION, ALLOWING FOR THE NATURAL INVASION OF NATIVE SPECIES MAY ENCOURAGE HEALTHIER GROWTH THAN PLANTING SPECIES NOT ALREADY FOUND ON SITE.
- WETLAND PLANTS FUNCTION IN TWO IMPORTANT WAYS: THE STEMS AND LEAVES PROVIDE A LARGE SURFACE AREA FOR THE ATTACHMENT OF MICROBIAL POPULATIONS; AND THE PLANTS TRAP OXYGEN TO THE ROOT ZONE. THE BY-PRODUCTS PRODUCED BY THE AEROBIC MICROBES ARE THEN EASILY UTILIZED BY THE ANAEROBIC MICROBES. WETLAND PLANTS PROVIDE A CANOPY OF SHADE, WHICH LIMITS SUNLIGHT PENETRATION AND ALGA GROWTH (THE ALGAE CAN DETER THE OXYGEN TRANSFER AND CREATES A TOXIC ENVIRONMENT FOR THE PLANTS). THE MOST APPROPRIATE WETLAND PLANTS ARE THE FOLLOWING:
- REEDS (JUNCUS EFFUSUS) ARE THE "WORKER PLANTS" IN A GRAVEL WETLAND. THEIR ROOTS GO DOWN QUICKLY AND GREY THEY SPREAD ACROSS THE BASIN. THEY ARE MOST RESISTANT AND WINTER HARDY.
 - CATTAILS (TYPHA LATIFOLIA) ARE THE PLANTS MOST OFTEN ASSOCIATED WITH WETLANDS. THEY WORK WELL AND HAVE A POSITIVE IMPACT ON TREATMENT. THE LARGER, NATIVE VARIETIES, HOWEVER, CAN BE DOMINANT AND TAKE OVER A SMALL FILTER IF NOT REMOVED IN LATER YEARS.
 - BURLUSH (SCIRPUS) CAN PRODUCE DENSE STANDS OF VEGETATION. IT CAN SURVIVE UNFAVORABLE CONDITIONS LIKE PROLONGED FLOODING, OR DROUGHT AS BURIED SEEDS.
 - PHRAGMITES (REED) IS VERY INVASIVE AND IS NOT RECOMMENDED.

- CONSTRUCTION:**
- THE SUBAREA DRAWING TO A CREATED WETLAND MUST BE COMPLETELY STABLE BEFORE RUNOFF IS DIRECTED TO THE BASIN TO PREVENT SEDIMENTATION OF THE DRAINAGE LAYER. ALL RUNOFF SHOULD BE RE-DIRECTED UNTIL CONSTRUCTION IS FINALIZED. THE WETLAND SHOULD BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE PLANS. ACCEPT ANY RUNOFF CONSTRUCTION SHOULD BE STARTED NO LATER THAN SEPTEMBER 1 OR EARLIER THAN JUNE 1; AND IF VEGETATION CANNOT BE ESTABLISHED BY THE END OF THE GROWING SEASON, CONSTRUCTION SHOULD BE DELAYED TO THE FOLLOWING YEAR. SEEDING OR STABILIZATION MUST OCCUR BY SEPTEMBER 15 IN PREPARATION FOR THE WINTER SEASON.
- OVERSIGHT: A GRAVEL WETLAND SHOULD ONLY BE CONSTRUCTED UNDER THE SUPERVISION FROM THE DESIGN ENGINEER.

- MAINTENANCE:**
- OPERATION AND MAINTENANCE REQUIREMENTS SIMILAR TO THOSE FOR UNDERDRAINED FILTER BASINS SHOULD BE EXPECTED. THE PLANT BIOMASS SHOULD BE HARVESTED ANNUALLY, AND ACCUMULATED SEDIMENT REMOVED AT INTERVALS OF 5-10 YEARS. THESE ACTIVITIES MAY DISRUPT THE WETLANDS SYSTEM AND MAY REQUIRE SOME VEGETATION RE-ESTABLISHMENT. THE RISER PIPES MAY CLOG AND WILL REQUIRE ANNUAL CLEAN-OUT (IF SHOULD BE DONE IN THE WINTER TIME WHEN ONE CAN WALK ON THE WETLAND).
- FIRST YEAR POST-CONSTRUCTION INSPECTION FREQUENCY SHOULD OCCUR AFTER EVERY MAJOR STORM IN THE FIRST YEAR FOLLOWING CONSTRUCTION.
 - INSPECT THAT THE SYSTEM DRAINS WITHIN 24-48 HOURS.
 - THE PLANTS MAY NEED WATERING IF NECESSARY DURING THE FIRST GROWING SEASON. REVEGETATE IF THE VEGETATION IS POORLY ESTABLISHING.
 - IDENTIFY AREAS OF EROSION AND MAKE TIMELY REPAIRS.
 - CHECK ALL INLETS, OUTLETS AND SUBDRAINS FOR PROPER FUNCTIONING. RISERS MAY NEED TO BE CLEANED.
 - POST-CONSTRUCTION INSPECTION FREQUENCY SHOULD OCCUR AT LEAST EVERY 6 MONTHS AND AFTER EVERY MAJOR STORM. ACTIVITIES ARE EXPECTED TO INCLUDE:
 - CHECK THE BASIN FOR A DENSE ROOT MAT ESTABLISHMENT OF WETLAND VEGETATION.
 - CHECK AND CLEAN THE RISERS IF THERE IS EVIDENCE OF STANDING WATER, DISCOLORED WATER OR ACCUMULATED SEDIMENTS IN THE CELLS.
 - CHECK AND CLEAN THE FOREBAY FOR SEDIMENTS, TRASH AND DEBRIS. WHEN SEDIMENTS HAVE ACCUMULATED TO A DEPTH OF 12 INCHES, STANDING WATER IS PERSISTENT OR WETLAND VEGETATION BECOME ESTABLISHED, THE FOREBAY WILL NEED TO BE EXCAVATED AND REFORMED.
 - VERIFY THAT THE CELLS DRAIN WITHIN 24-48 HOURS. SEDIMENT WILL NEED TO BE REMOVED WHEN AN ACCUMULATION OF 4 INCHES IS EVIDENT OVER THE WETLAND SURFACE.
 - CHECK AND CLEAN ALL OUTLETS AND OVERFLOW SPILLWAY IF BLOCKED OR THERE IS EVIDENCE OF STRUCTURAL DAMAGE OR EROSION.
 - REMOVE DECAYING VEGETATION, LITTER AND DEBRIS.
 - CHECK FOR FOREIGN SPECIES. PARTICULAR CARE MUST BE USED TO AVOID THE UNINTENDED INTRODUCTION OF INVASIVE SPECIES SUCH AS PURPLE LOOSESTRIFE (LYTHRUM SALICARIA) AND COMMON REED (PHRAGMITES AUSTRALIS). IT IS RECOMMENDED THAT A QUALIFIED WETLAND BIOLOGIST BE CONSULTED WHEN THESE ARE FOUND IN THE AREA OF THE GRAVEL WETLAND.

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC -- STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126

CONSTRUCTION DETAILS

ROCKPOINT COMMONS

225 ROCKINGHAM ROAD

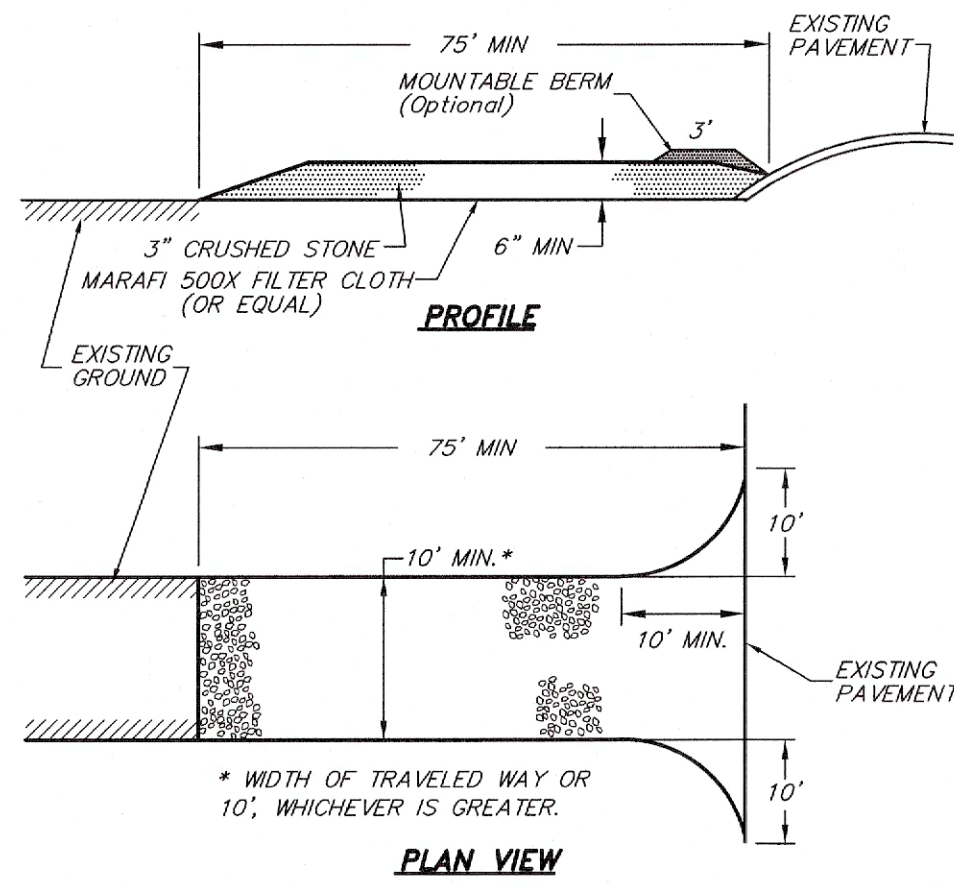
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE: AS SHOWN JUNE 12, 2025 SHEET 26 OF 33

DESIGN: JST DRAWN: JST CHECKED: GAC FB: 692 PG: 28 503-22

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STABILIZED CONSTRUCTION EXIT
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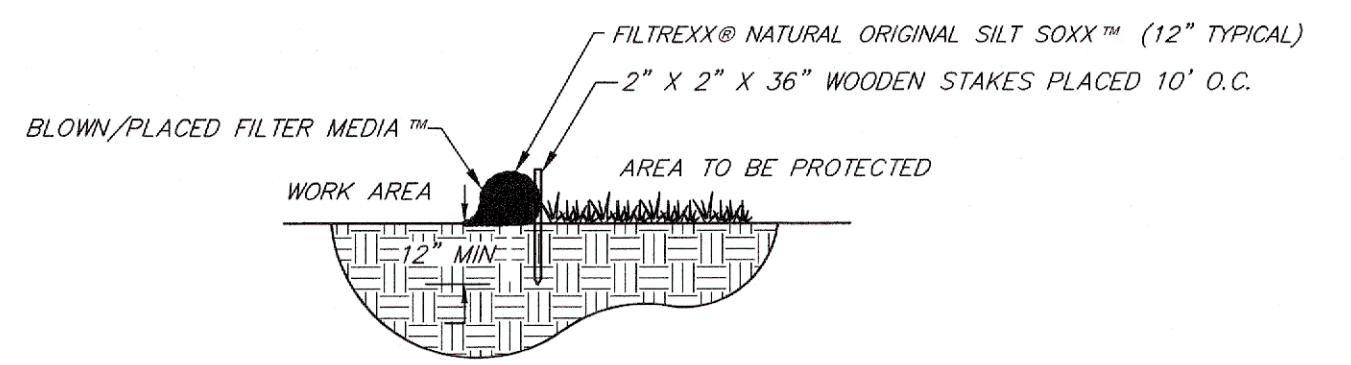
MAINTENANCE NOTES:

MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

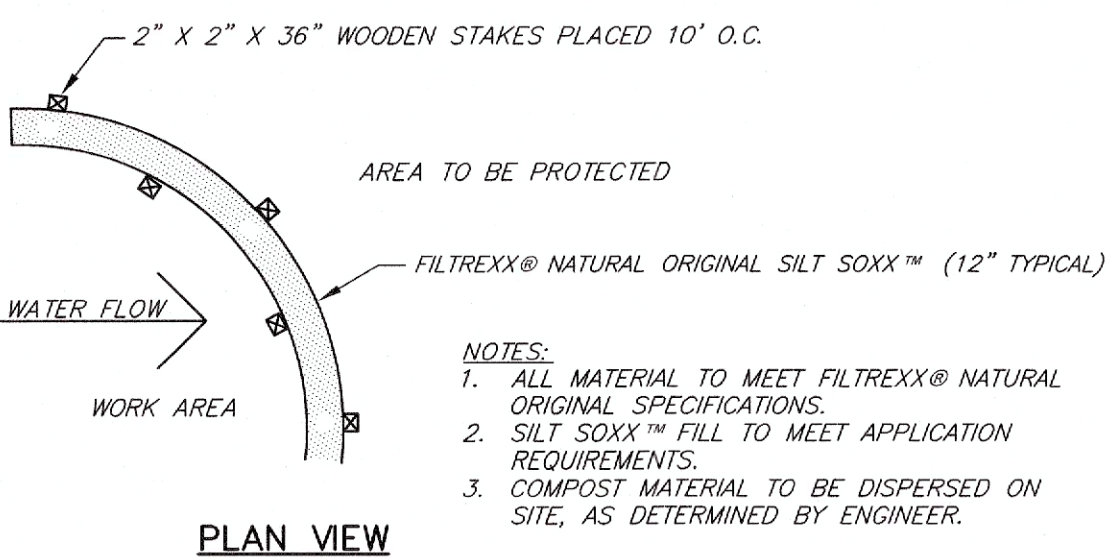
IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATION

- (A) THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE;
- (B) THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE;
- (C) THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER;
- (D) THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY;
- (E) THE PAD SHALL BE AT LEAST 6 INCHES THICK;
- (F) A GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD; AND
- (G) THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- (H) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.



SECTION VIEW



PLAN VIEW

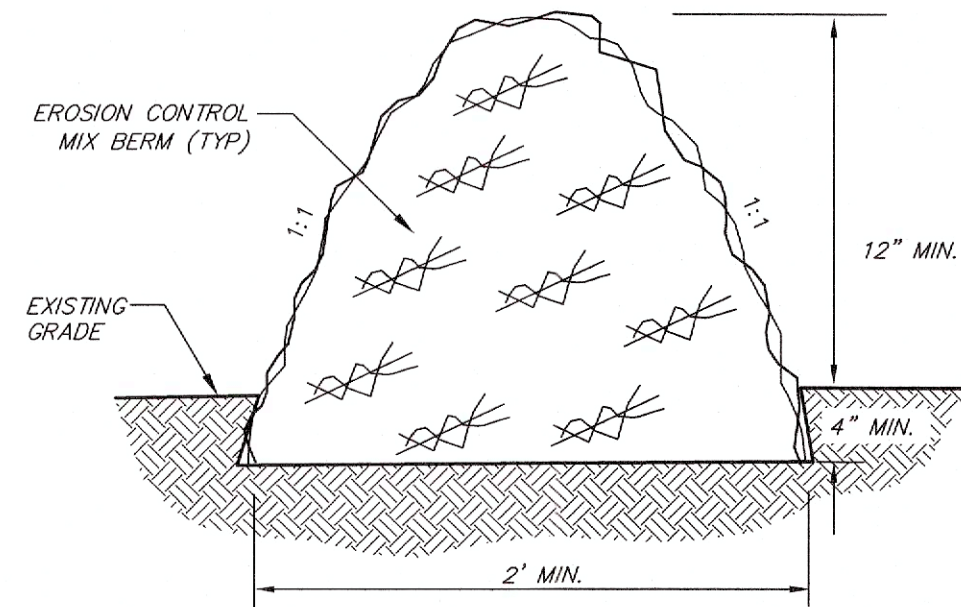
FILTREXX NATURAL ORIGINAL SILT SOXX DETAIL
NOT TO SCALE

- a. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED. (NOT APPLICABLE TO TURF REINFORCEMENT MATS).
- b. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

NOTES:

- 1. WHEN NECESSARY TO MINIMIZE THE RELEASE OF SEDIMENT-LADEN RUNOFF PRIOR TO STABILIZATION OF THE SITE AND THE PERMANENT STORMWATER MANAGEMENT SYSTEM AND COMPONENTS, SEDIMENT-LADEN WATER SHALL BE DIVERTED AND STORED IN TEMPORARY SEDIMENT TRAPS.
- 2. TEMPORARY DIVERSION CHANNELS SHALL BE CONSTRUCTED TO DIRECT RUNOFF TO THE SEDIMENT TRAPS. DIVERSION CHANNELS WITH A SLOPE OF 2 PERCENT OR GREATER SHALL BE STABILIZED PRIOR TO USE. CHANNELS WITH A SLOPE OF LESS THAN 2 PERCENT SHALL BE STABILIZED ONLY IF EROSION IS OBSERVED.
- 3. APPROPRIATE ENERGY DISSIPATION METHODS SHALL BE IMPLEMENTED WITHIN DIVERSION CHANNELS TO CONTROL RUNOFF VELOCITY.
- 4. TEMPORARY SEDIMENT TRAPS MAY BE FORMED BY BERM OR BY PARTIAL OR COMPLETE EXCAVATION.
- 5. CONTRACTOR TO DETERMINE LOCATIONS OF TEMPORARY SEDIMENT TRAPS IN THE FIELD AS REQUIRED.
- 6. TEMPORARY SEDIMENT TRAPS SHALL BE LOCATED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
- 7. ALL MATERIALS REMOVED FROM THE TEMPORARY SEDIMENT TRAPS AND DIVERSION CHANNELS SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
- 8. TEMPORARY SEDIMENT TRAP SHALL DISCHARGE INTO A STABILIZED AREA.

TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE



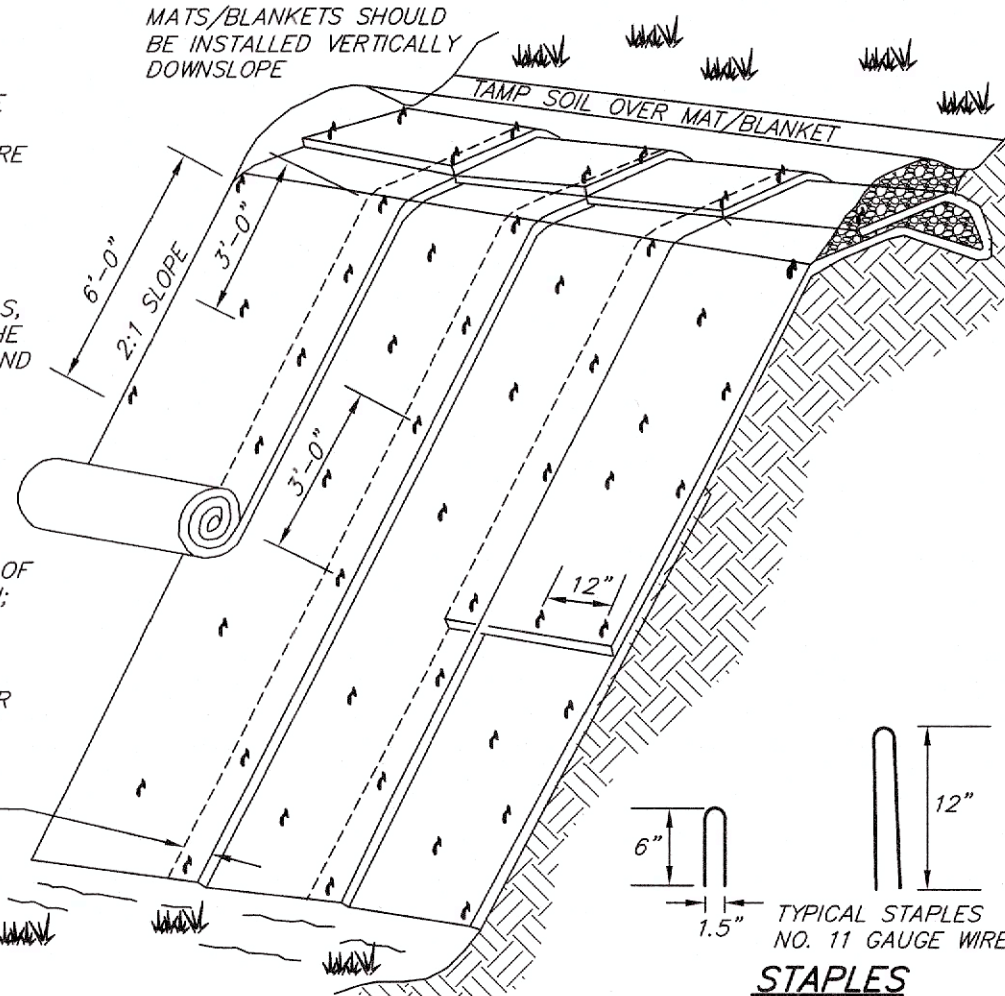
EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

- 1. USED ONLY IN AREAS WHERE EROSION WILL OCCUR IN THE FORM OF SHEET EROSION ONLY AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE BERM;
- 2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
- 3. THE BERMS SHALL BE USED ONLY IF THE AREA UP-SLOPE OF THE BERM HAS A SLOPE OF LESS THAN 5%;
- 4. THE BERMS SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE;
- 5. THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 25% AND 65% DRY WEIGHT BASIS THAT IS: FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS; AND NOT COMPRISED OF WOOD CHIPS, BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS;
- 6. THE MIX SHALL NOT CONTAIN SILTS, CLAYS, OR FINE SANDS;
- 7. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 100% PASSING A 3-INCH SCREEN, 90% TO 100% PASSING A 1-INCH SCREEN, 70% TO 100% PASSING A 0.75-INCH SCREEN, AND 30% TO 75% PASSING A 0.25-INCH SCREEN; AND
- 8. THE MIX SHALL HAVE A PH BETWEEN 5.0 AND 8.0.
- 9. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR PROCESSED WOOD PRODUCTS SHALL NOT BE USED AS THE ORGANIC MATERIAL.

EROSION CONTROL MIX BERM
NOT TO SCALE

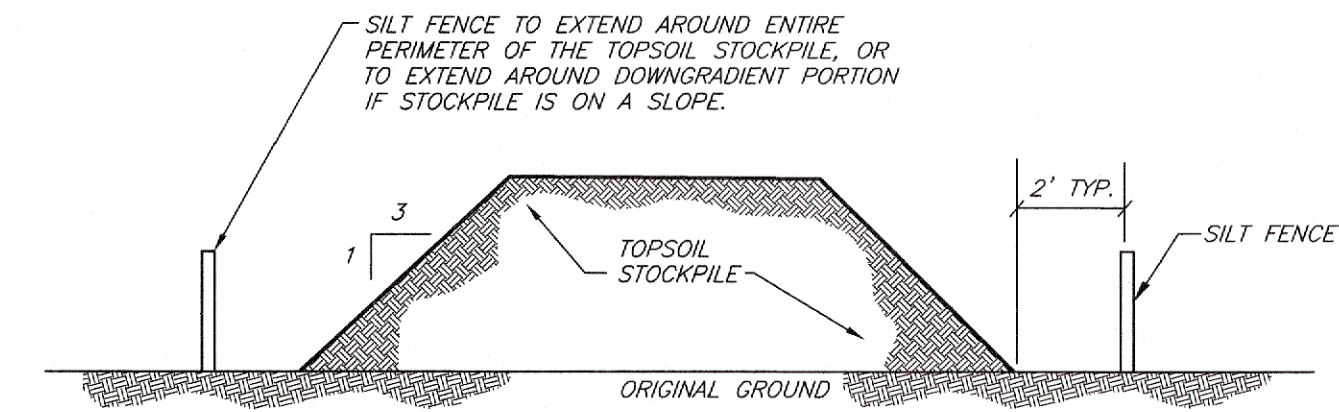
NOTES:

- A. STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDING SO AS NOT TO INTERFERE WITH SEEDING; AND
- B. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS; AND
- C. BLANKETS SHALL BE:
 - 1. PLACED WITHIN 24 HOURS AFTER SOWING SEED IN THE AREA BEING COVERED;
 - 2. LAID LOOSELY OVER THE SOILS, MAINTAINING CONTACT WITH THE SOIL, AND NOT STRETCHED; AND
 - 3. INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND THE FOLLOWING, EVEN IF NOT IN THE MANUFACTURER'S INSTRUCTIONS:
 - a. BLANKETS SHALL BE ANCHORED AT THE TOP OF THE SLOPE IN A TRENCH; AND
 - b. BLANKETS SHALL BE UNROLLED IN THE DIRECTION OF THE WATER FLOW, OVERLAPPING THE EDGES AND STAPLING.



EROSION CONTROL BLANKETS SLOPE INSTALLATION

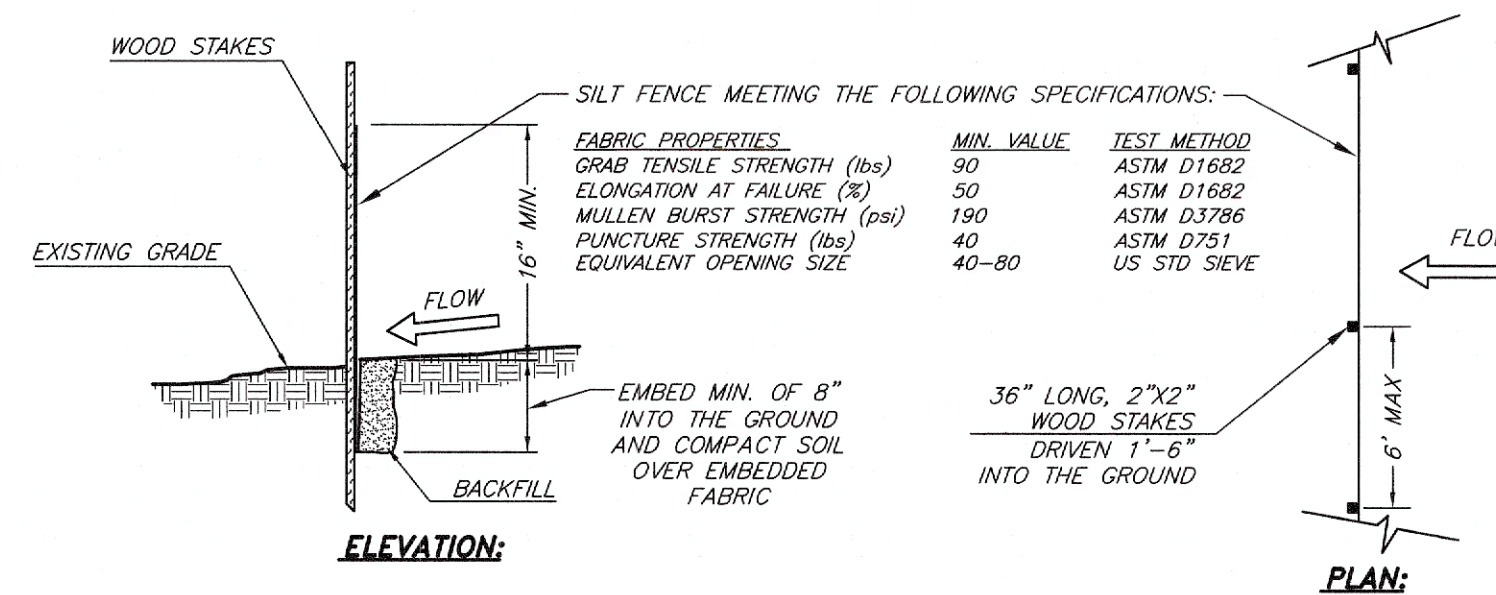
EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN BIONET SC150BN, OR APPROVED WILDLIFE FRIENDLY MATERIAL.



NOTES:

- 1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
- 2. REFERENCE IS MADE TO SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
- 3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR SEEDING WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
- 4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5 INCHES. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
- 6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE TOWN.

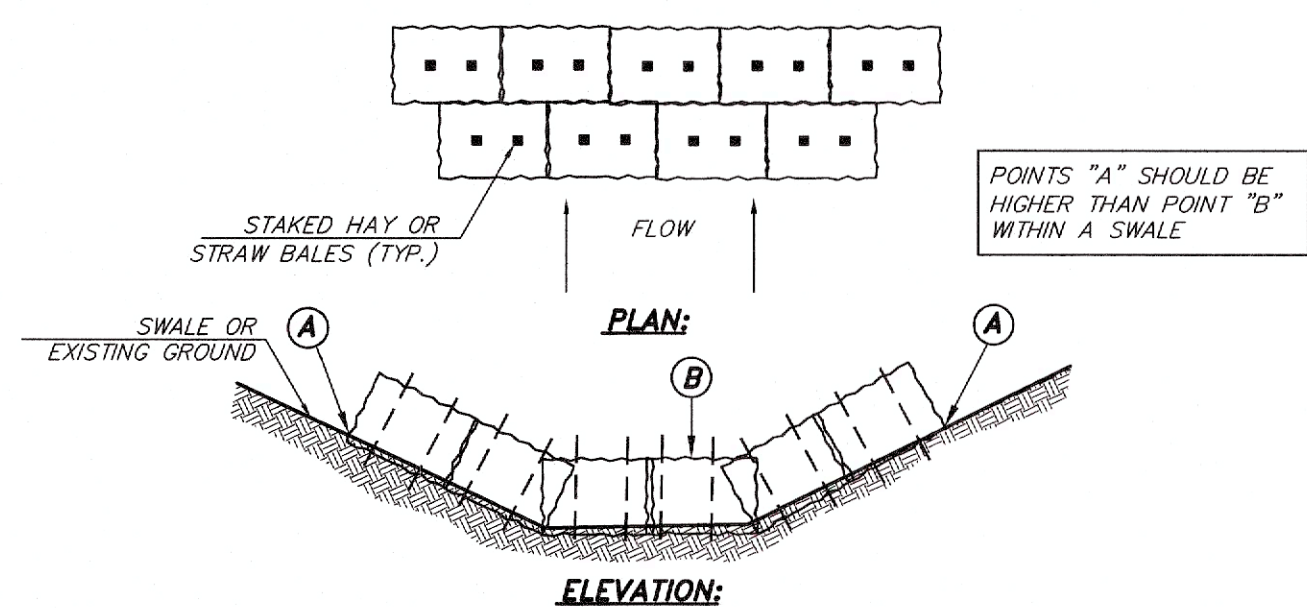
TEMPORARY STOCKPILE DETAIL
NOT TO SCALE



CONSTRUCTION NOTES:

- A. FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE FENCE;
- B. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1/4-ACRE PER 100 LINEAR FEET OF FENCE;
- C. THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
- D. THE MAXIMUM SLOPE OF THE AREA ABOVE THE FENCE SHALL BE 2:1;
- E. FENCES SHALL BE INSTALLED AS FOLLOWS:
 - 1. FENCES SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 - 2. THE ENDS OF THE FENCE SHALL BE FLARED UP-SLOPE;
 - 3. THE BASE OF THE FENCE SHALL BE:
 - a. FOLDED SUCH THAT NOT LESS THAN 4 INCHES OF THE FENCE IS PLACED ALONG THE BOTTOM OF A TRENCH THAT IS EXCAVATED AT LEAST 4 INCHES DEEP INTO THE GROUND, WITH THE SOIL COMPACTED OVER THE EMBEDDED FABRIC; OR
 - b. IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, EMBEDDED IN A MINIMUM THICKNESS OF 8 INCHES OF 1/4-INCH STONE;
 - 4. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS; AND
 - 5. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED TO A SUPPORT POST;
- F. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY; AND
- G. SEDIMENT THAT ACCUMULATES AT THE FENCE SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE FENCE;
- H. INSTALL FENCE PER MANUFACTURER'S SPECIFICATIONS.
- I. IF THE FABRIC OF THE SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE LIFE OF THE FENCE, THE FABRIC SHALL BE PROMPTLY REPLACED.
- J. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.

SILT FENCE DETAIL
NOT TO SCALE



STRAW BALE BARRIERS SHALL BE USED ONLY AS FOLLOWS:

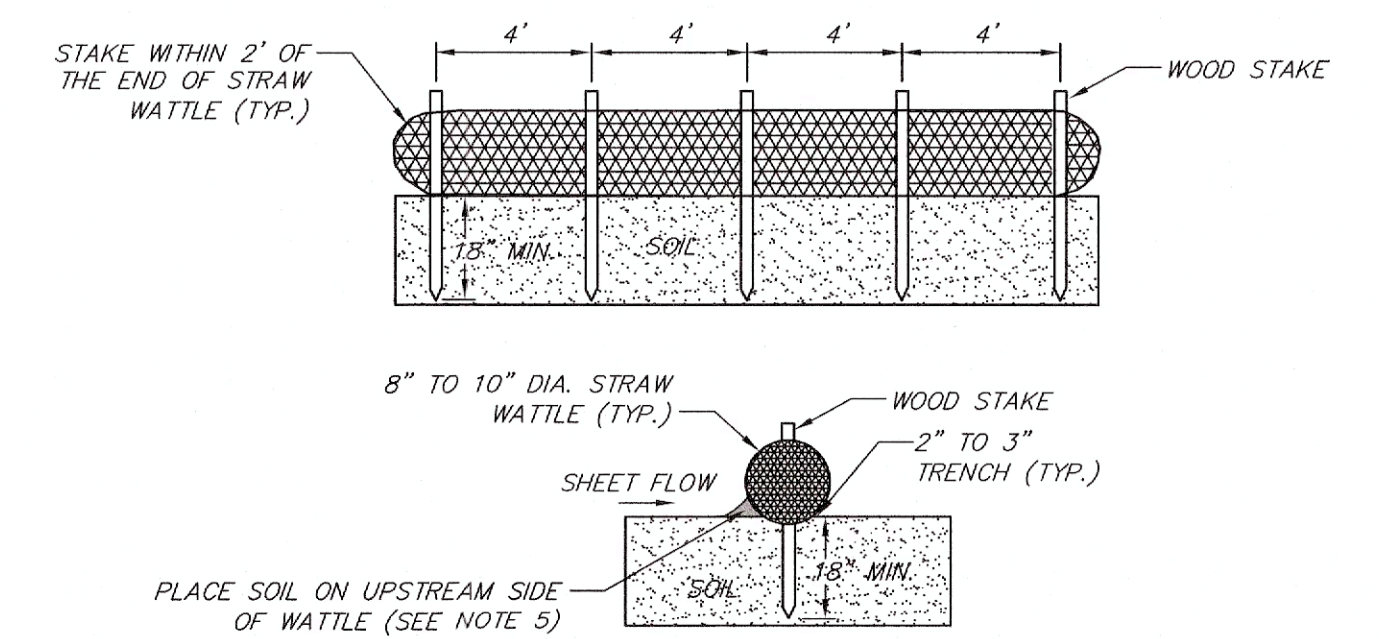
- A. THE BARRIERS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE BARRIER;
- B. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE BARRIER SHALL BE LESS THAN 0.25 ACRE PER 100 LINEAR FEET OF BARRIER;
- C. THE MAXIMUM LENGTH OF THE SLOPE ABOVE THE BARRIER SHALL BE 100 FEET;
- D. THE MAXIMUM SLOPE OF THE AREA ABOVE THE BARRIER SHALL BE 2:1;
- E. THE BARRIERS SHALL BE INSTALLED AS FOLLOWS:
 - 1. THE BARRIERS SHALL FOLLOW THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE;
 - 2. THE ENDS OF THE BARRIER SHALL BE FLARED UP SLOPE;
 - 3. THE BALE ENDS SHALL BE TIGHTLY ADJOINED;
 - 4. EACH BALE SHALL BE EMBEDDED AT LEAST 4 INCHES INTO THE GROUND; AND
 - 5. A MINIMUM OF 2 ANCHORING STAKES PER BALE SHALL BE USED, WITH ALL STAKES PENETRATING AT LEAST 20 TO 24 INCHES INTO THE GROUND;
- F. THE BARRIERS SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAIN EVENT AND AT LEAST DAILY DURING PROLONGED RAIN EVENTS; AND
- G. SEDIMENT THAT ACCUMULATES AT THE BARRIERS SHALL BE REMOVED WITH SUFFICIENT FREQUENCY TO PREVENT THE DEPTH OF THE SEDIMENT FROM REACHING ONE-THIRD THE HEIGHT OF THE BARRIER.

STRAW BALE CHECK DAM
NOT TO SCALE

INSTALLATION AND MAINTENANCE NOTES:

- TO INSTALL THE SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SILTSACK® IS FULL AND SHOULD BE EMPTIED WHEN THE YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.
- TO REMOVE THE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK®.
- TO EMPTY THE SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
- THE SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SILTSACK® FROM THE BASIN AND CLEAN. THE SILTSACK® SHOULD BE STORED OUT OF THE SUNLIGHT WHEN NOT IN USE.

INLET SEDIMENT FILTER BASKET
NOT TO SCALE



INSTALLATION NOTES:

- 1. LAYOUT A CONTOUR LINE ON THE SLOPE WITH A HAND LEVEL AND WIRE FLAGS.
- 2. DIG A SHALLOW DEPRESSION (ABOUT 2 TO 3 INCHES DEEP) AND LAY THE WATTLE INTO IT.
- 3. DRIVE A WOODEN STAKE THROUGH THE CENTER OF THE WATTLE AT LEAST 18 INCHES INTO THE GROUND, STOPPING ABOUT TWO INCHES ABOVE THE WATTLE.
- 4. PUT 5 STAKES IN EACH WATTLE, INSTALLING THEM END TO END IN THE TRENCH.
- 5. SEAT THE WATTLE WITH FOOT TAMPED BACKFILL ON THE UPSTREAM SIDE SUCH THAT WATER FLOWING DOWN THE SLOPE WILL NOT RUN UNDER IT.

NOTES:

- 1. ENDS OF WATTLES SHALL BE TURNED SLIGHTLY UP.
- 2. RECOMMENDED STAKES ARE 1 1/8" WIDE x 1 1/8" THICK x 30" LONG.
- 3. STAKES SHALL NOT EXTEND MORE THAN 2" ABOVE STRAW WATTLE.

STRAW WATTLE DETAIL
NOT TO SCALE

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126
CONSTRUCTION DETAILS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

SCALE:	DATE:	SHEET:
AS SHOWN	JUNE 12, 2025	27 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:
JST	JST	GAC	692	28

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GENERAL CONSTRUCTION NOTES:

- 1. BOTH THE CONTRACTOR AND OWNER NEED TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
3. ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.

GENERAL EROSION CONTROL NOTES:

- 1. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS;
2. STORMWATER TREATMENT PONDS AND DRAINAGE SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
3. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED;
4. BASINS, DITCHES AND SWALES MUST BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM;

CONSTRUCTION SEQUENCE:

- 1. A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER, AND ALL UTILITY REPRESENTATIVES PRIOR TO CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE HIGHWAY DEPARTMENT HAS BEEN OBTAINED.
2. CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
3. CUT AND CLEAR TREES IN ROADWAY CONSTRUCTION AREAS ONLY AS SHOWN ON THESE PLANS.

SITE MAINTENANCE AND INSPECTION PROGRAM

- 1. CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY WEEKLY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
2. CLEANING OF SEDIMENT OR DEBRIS FROM STORM WATER MANAGEMENT AREA INLETS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY INSPECTIONS AND/OR AFTER 0.5" RAINFALL EVENTS.
3. WEEKLY SITE INSPECTIONS TO DETERMINE/IMPLEMENT NECESSARY REPAIR AND MAINTENANCE ACTIVITIES.

FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT

- A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
1. PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY.

SEEDING/MULCHING OF DISTURBED AREAS

TEMPORARY AND PERMANENT MULCHING: MULCHING SHALL COMPLY WITH THE FOLLOWING:

- (A) HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER;
(B) MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPE, FLOW CONDITIONS, AND TIME OF YEAR;
(C) HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 90 POUNDS PER 1,000 SQUARE FEET;

VEGETATION: VEGETATING DISTURBED AREAS SHALL BE COMPLETED ONLY AS SPECIFIED BELOW:

- A. ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
B. STONES AND TRASH SHALL BE REMOVED FROM THE AREA TO BE SEEDDED SO AS NOT TO INTERFERE WITH THE SEEDING;
C. TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

TEMPORARY SEEDING/MULCHING

TEMPORARY SEEDING SHALL COMPLY WITH THE FOLLOWING:

- 1. TEMPORARY VEGETATION CONSISTS OF THE ESTABLISHMENT OF A GRASS COVER ON EXPOSED SOILS FOR UP TO 12 MONTHS. THE PURPOSE IS TO REDUCE EROSION AND SEDIMENTATION BY STABILIZING DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR LESS AND TO REDUCE PROBLEMS ASSOCIATED WITH MUD AND DUST PRODUCTION FROM EXPOSED SOILS DURING CONSTRUCTION.
2. SEEDBED PREPARATION: REMOVE THE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING OF THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL.

Table with 3 columns: SPECIES, PER ACRE, PER 1000 SQ. FT., REMARKS. Includes rows for WINTER RYE, ANNUAL RYEGRASS, PERENNIAL RYEGRASS, and ESTABLISHING A STAND.

BEST MANAGEMENT PRACTICES FOR BLASTING

ALL ACTIVITIES RELATING TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.

LOADING PRACTICES: THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

- A. THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
1. THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
2. GROUNDWATER CONDITIONS.
B. THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
C. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SUCH THAT THEY ARE:
1. USED IN THE BOREHOLE;
2. RETURNED TO THE DELIVERY VEHICLE; OR
3. PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.

EXPLOSIVE SELECTION: THE FOLLOWING BMP'S SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:

- A. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
B. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.

PREVENTION OF MISPRES: INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISPRES.

MUCK AND ROCK MANAGEMENT: MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:

- A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
1. "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
2. "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
3. "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.

SPILL PREVENTION MEASURES AND SPILL MANAGEMENT: SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:

- A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WQ 401.04.
B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.
C. THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
1. STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
4. INSPECT STORAGE AREAS WEEKLY.

COLD WEATHER STABILIZATION

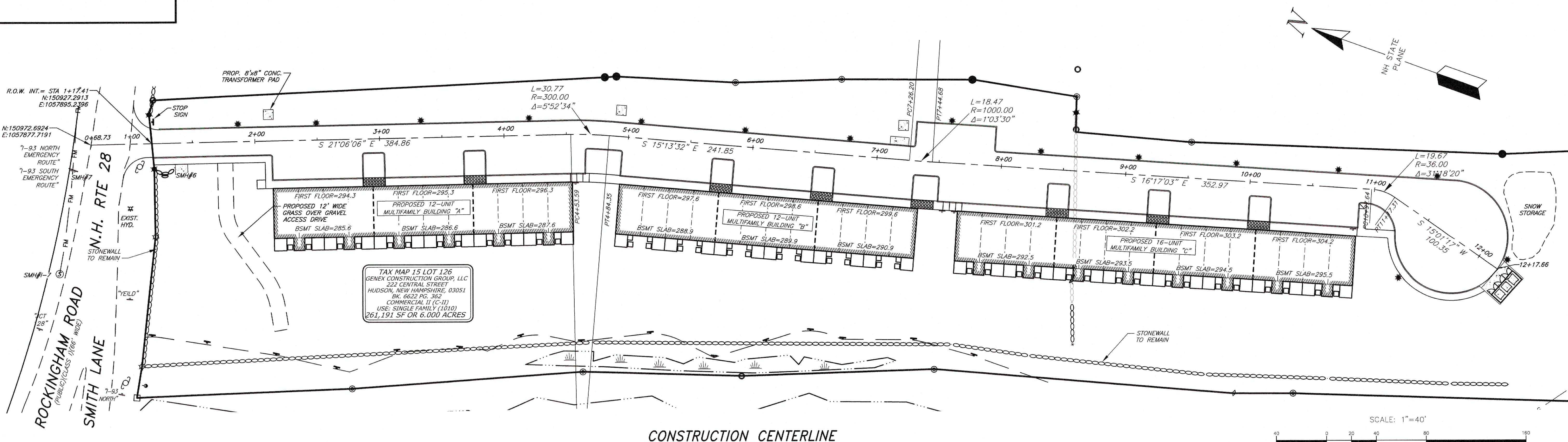
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1.
B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOOD.
C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF.

Table with 5 columns: DATE, DESCRIPTION, BY, REV. Contains entries for DRC reviews and plan review.

TAX MAP 15 LOT 126
CONSTRUCTION DETAILS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER: GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET, HUDSON, N.H. 03051
BOOK 6622 PAGE 362
SCALE: AS SHOWN JUNE 12, 2025 SHEET 28 OF 33
DESIGN: JST DRAWN: JST CHECKED: GAC FB: 692 PG: 28 503-22
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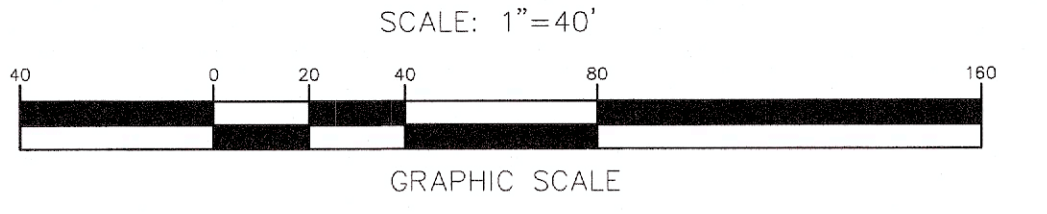


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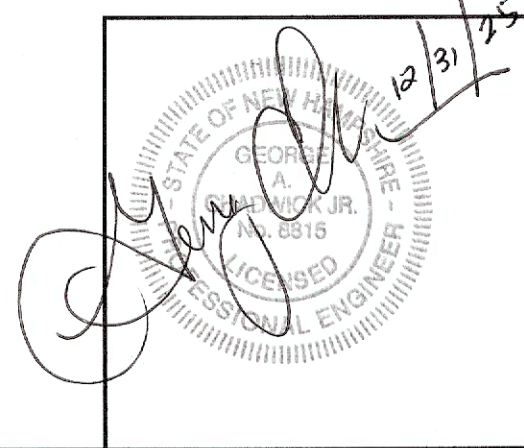


TAX MAP 15 LOT 126
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, NEW HAMPSHIRE, 03051
 BK. 6622 PG. 362
 COMMERCIAL II (C-11)
 USE: SINGLE FAMILY (1010)
 261,191 SF OR 6.000 ACRES

CONSTRUCTION CENTERLINE



12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L.	E
11-12-25	PER DRC PLAN REVIEW	J.S.T.	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T.	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T.	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T.	A
DATE	DESCRIPTION	BY	REV.

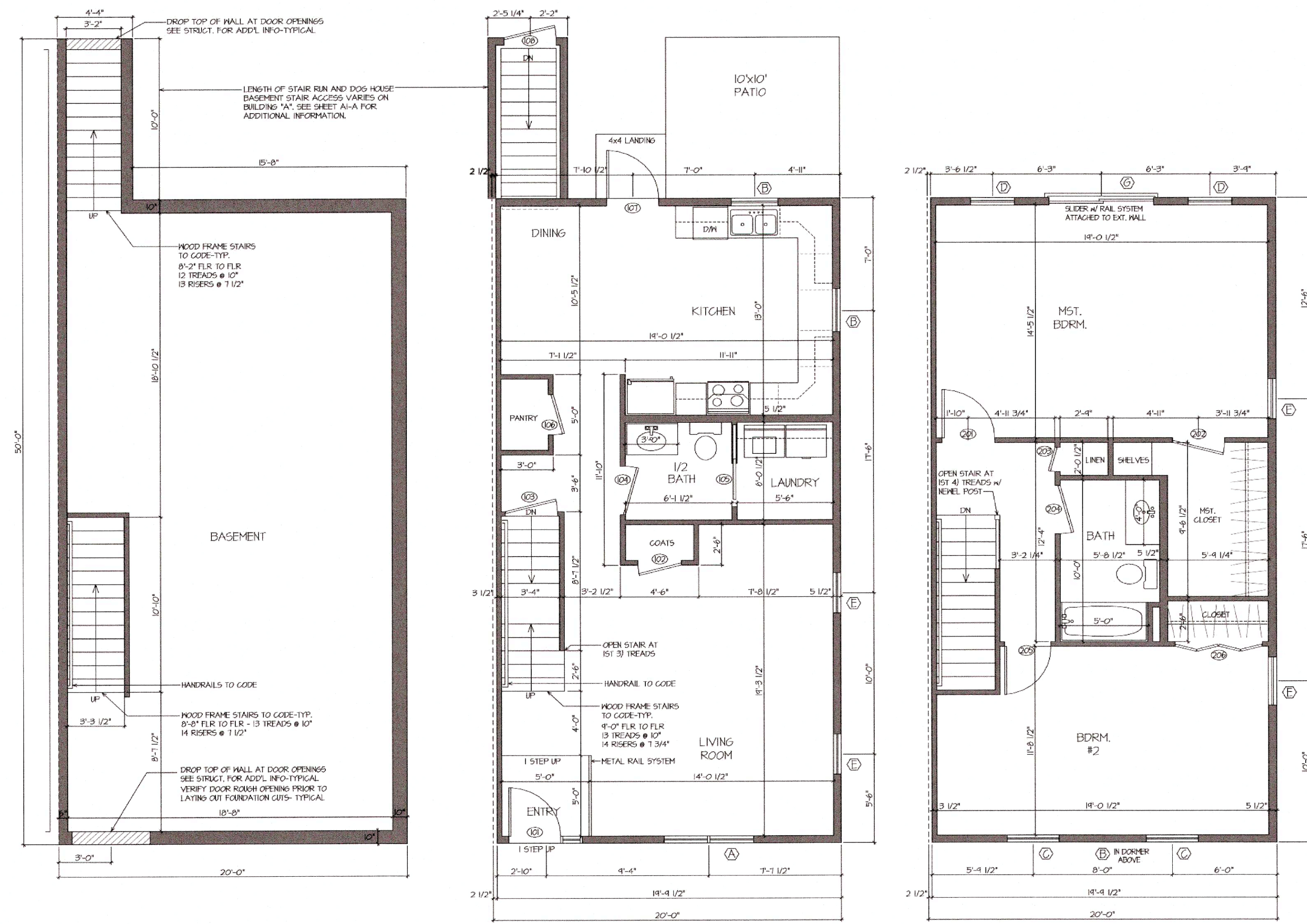


TAX MAP 15 LOT 126
CONSTRUCTION CENTERLINE
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: AS SHOWN	JUNE 12, 2025	SHEET 29 OF 33
DESIGN: JST	DRAWN: JST	CHECKED: GAC
FB: 692	PG: 28	503-22

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FLOOR PLANS
BUILDING A - END UNIT



FLOOR PLANS
UNIT TYPE "2"

BERARD MARTEL ARCHITECTURE, INC.
170 SOUTH RIVER ROAD; BEDFORD, NH 03110
603-626-7903; www.BerardMartel.com

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	B.J.L.	E
11-12-25	PER DRC PLAN REVIEW	J.S.T.	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	J.S.T.	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	J.S.T.	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	J.S.T.	A

811 DigSafe
MAINE NH RI VT

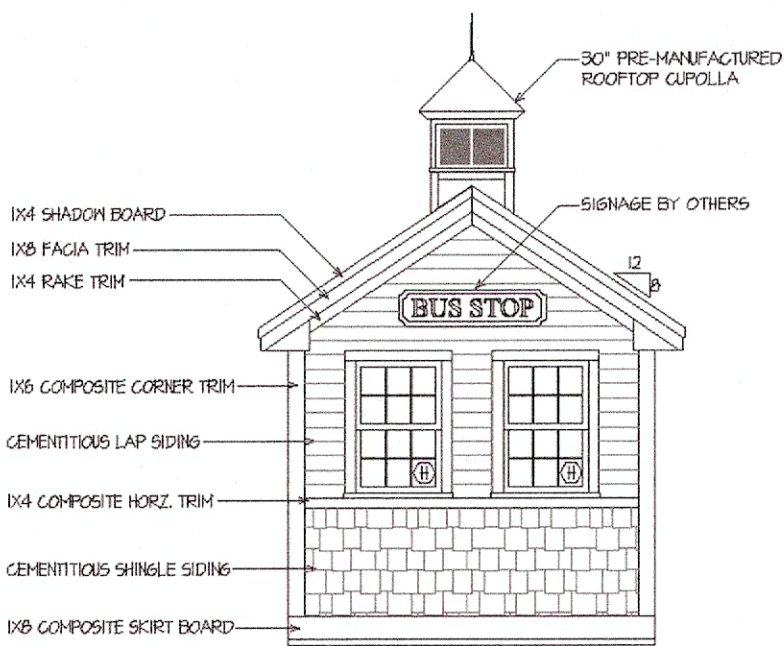
Professional Engineer Seal: **John J. St. Jacques**, License No. 19315, State of New Hampshire.

TAX MAP 15 LOT 126
FLOOR PLANS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

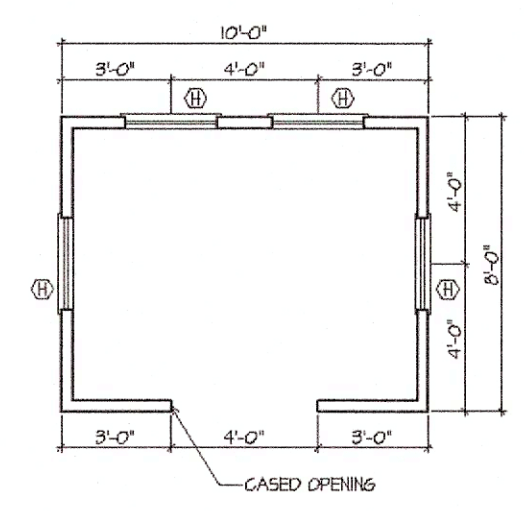
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BOOK 6622 PAGE 362

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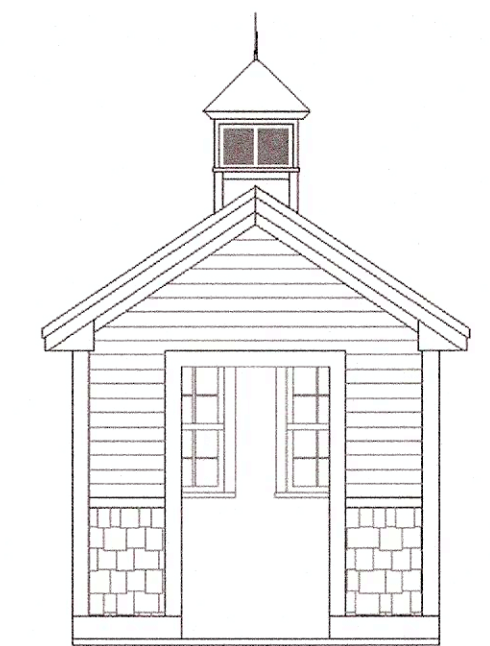
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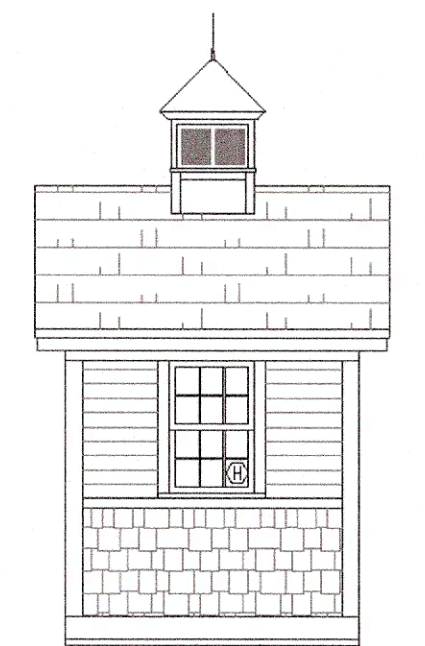
3 FRONT ELEVATION
A6.1



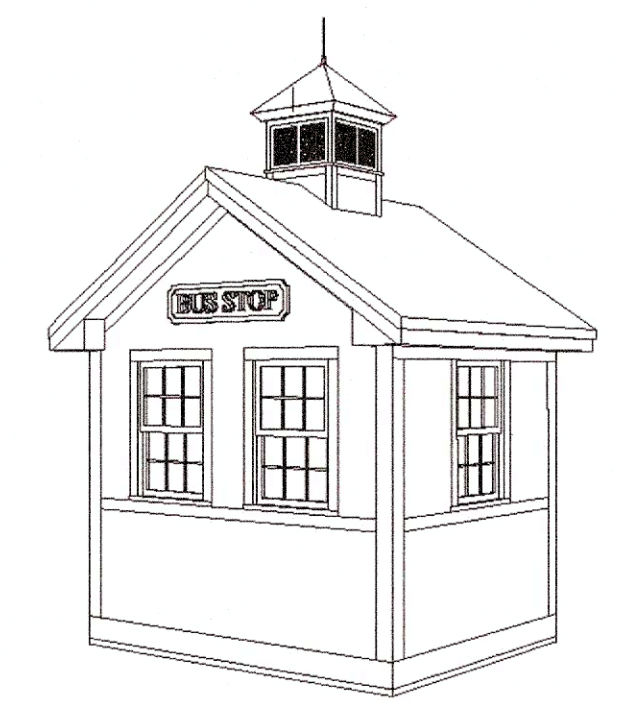
1 FLOOR PLAN
A6.1



4 REAR ELEVATION
A6.1

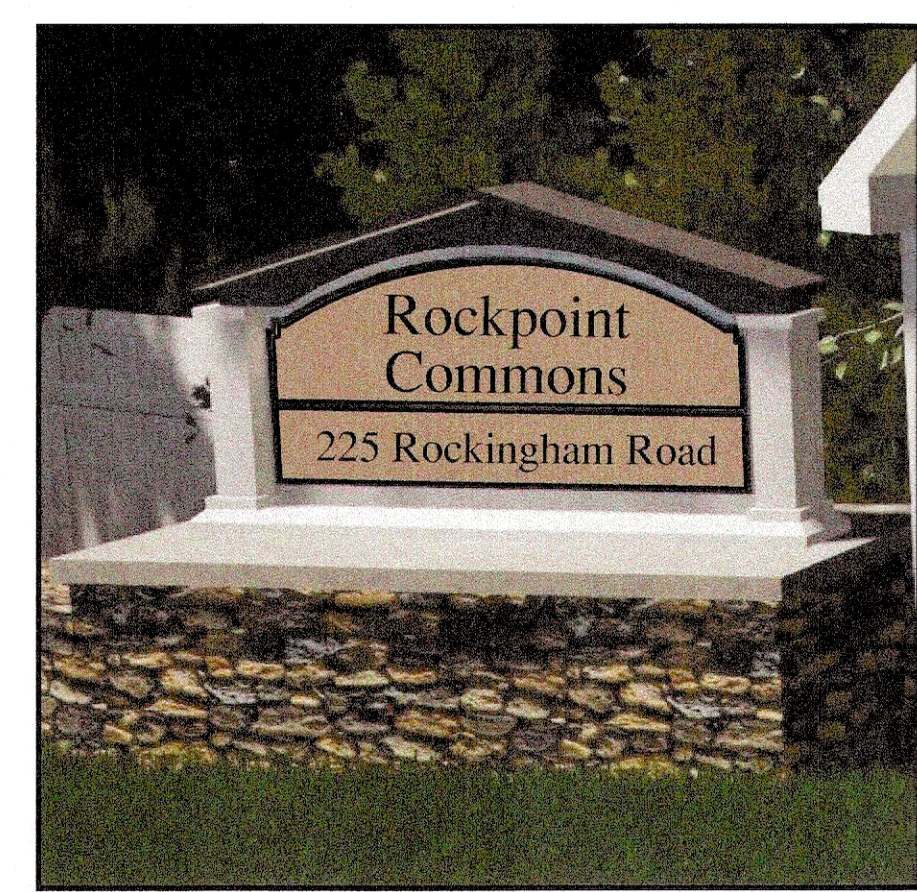
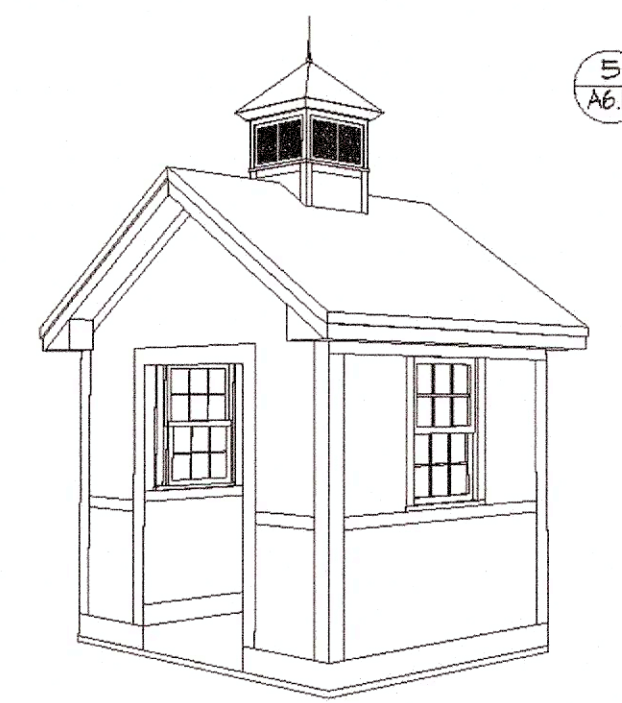


5 SIDE ELEVATION
A6.1

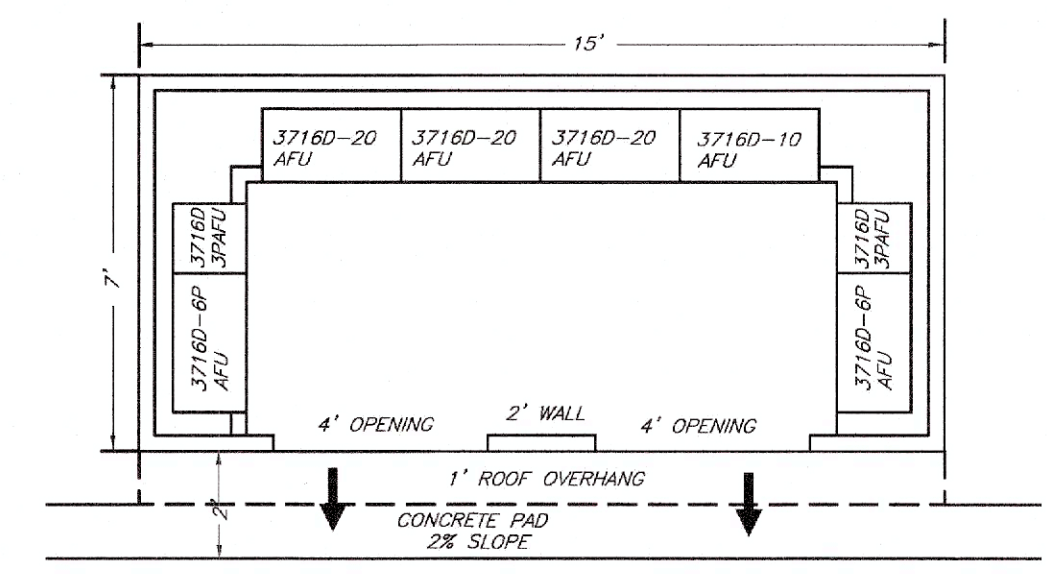


6 ISOMETRIC VIEWS
A6.1

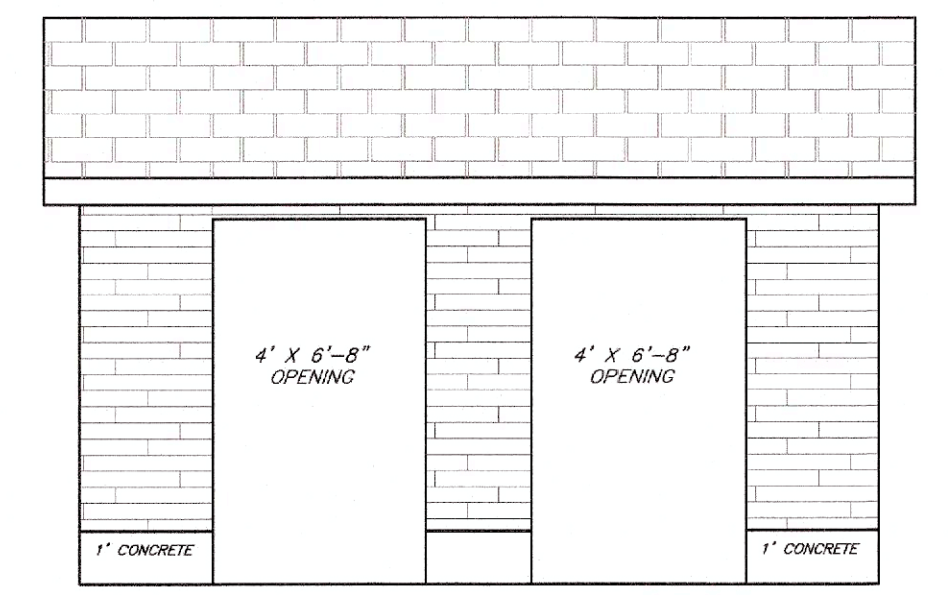
BUS STOP PLANS
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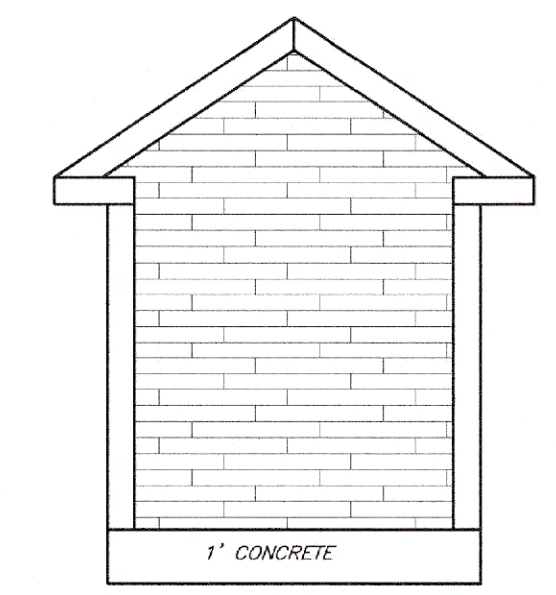
PROJECT SIGN
NOT TO SCALE



ACCESS DRIVE



FRONT VIEW



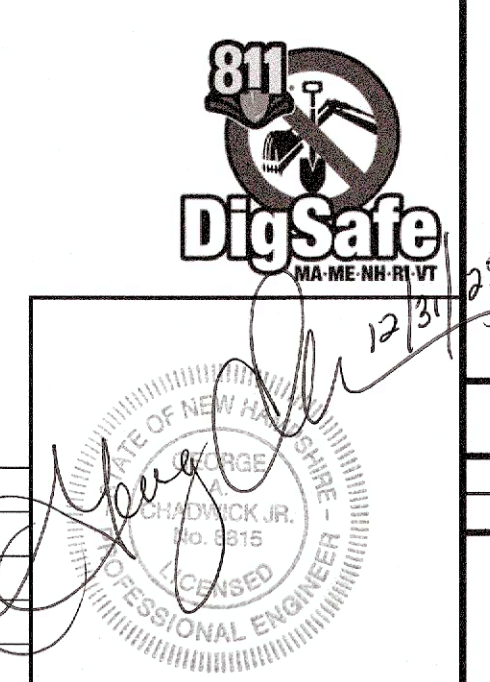
SIDE VIEW

MAILROOM PLANS
NOT TO SCALE

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12-31-25	PER DRC - STANTEC REVIEW #2	BJL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



TAX MAP 15 LOT 126
BUS STOP/PROJECT SIGN/MAILROOM PLANS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/OWNER:
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FRONT ELEVATION PLAN
NOT TO SCALE

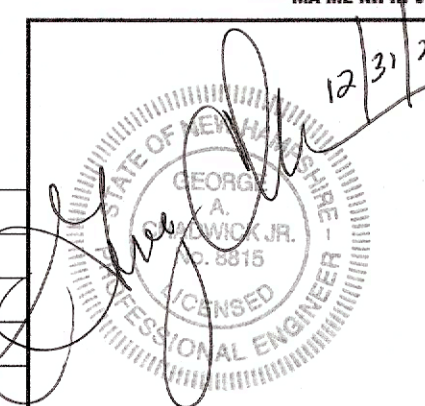


REAR ELEVATION PLAN
NOT TO SCALE

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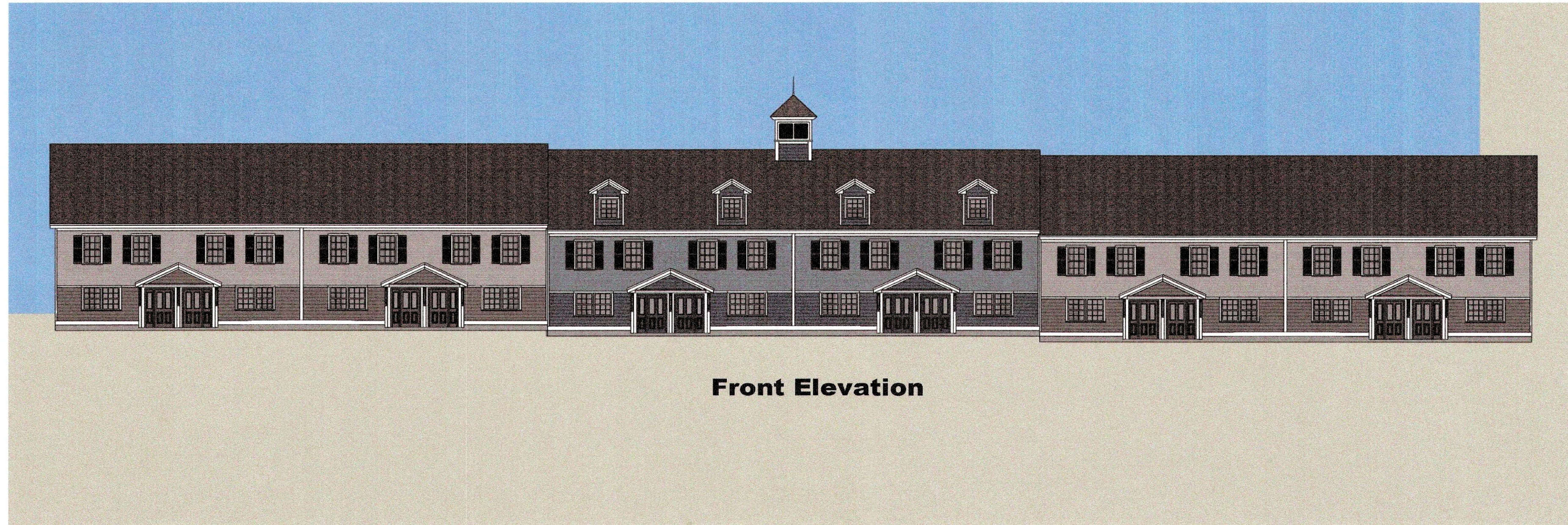
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11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



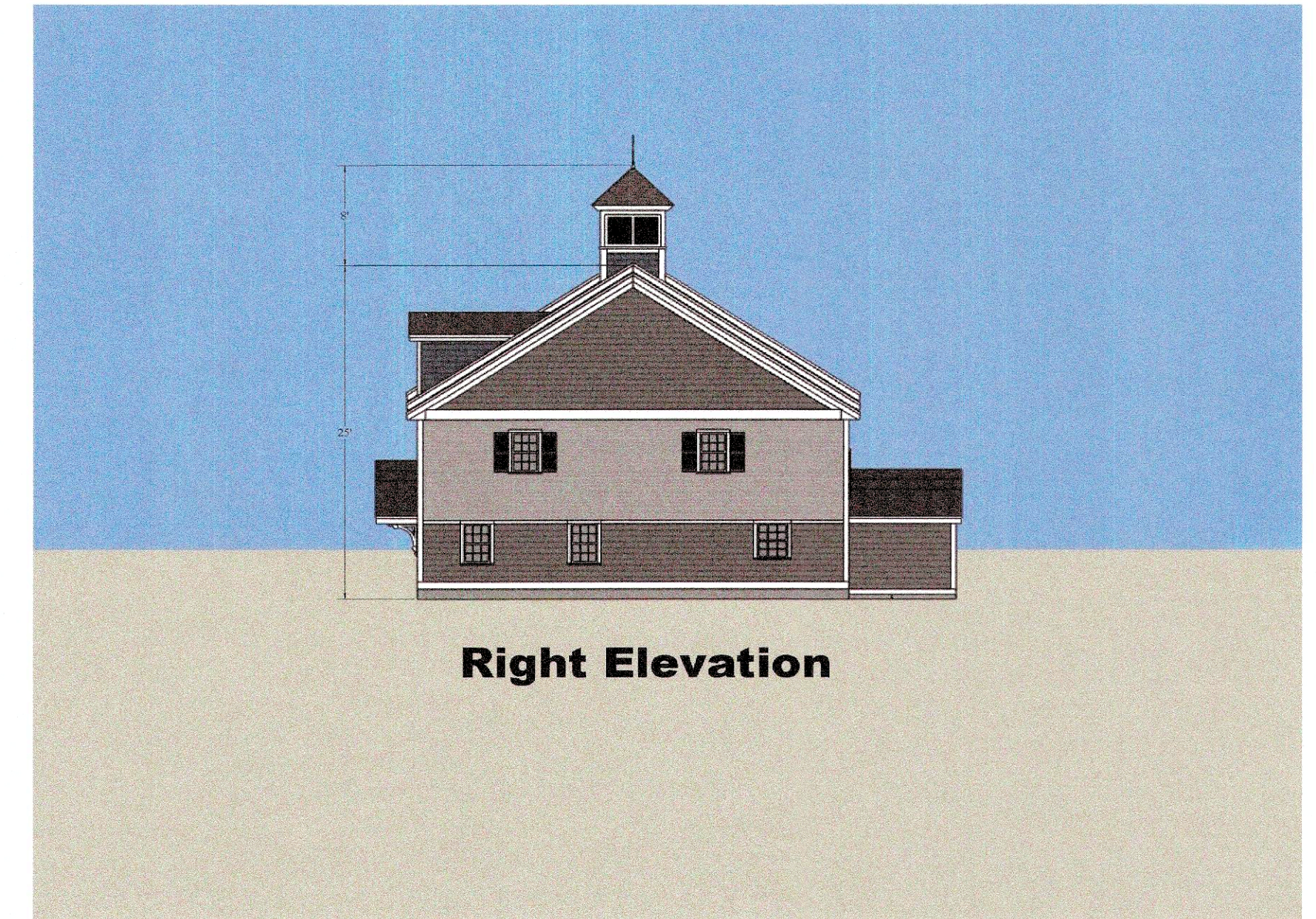
TAX MAP 15 LOT 126
ELEVATION PLANS
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
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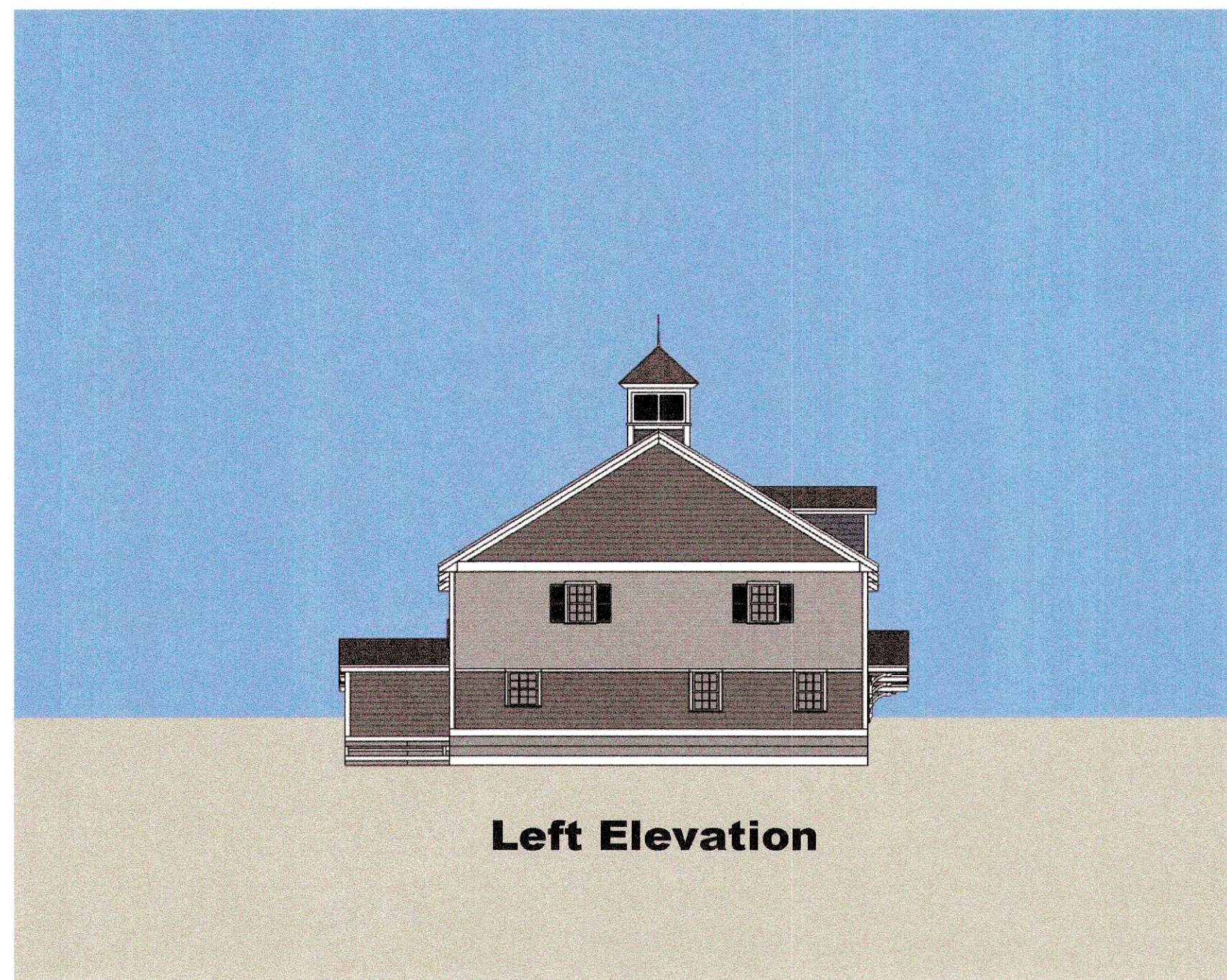
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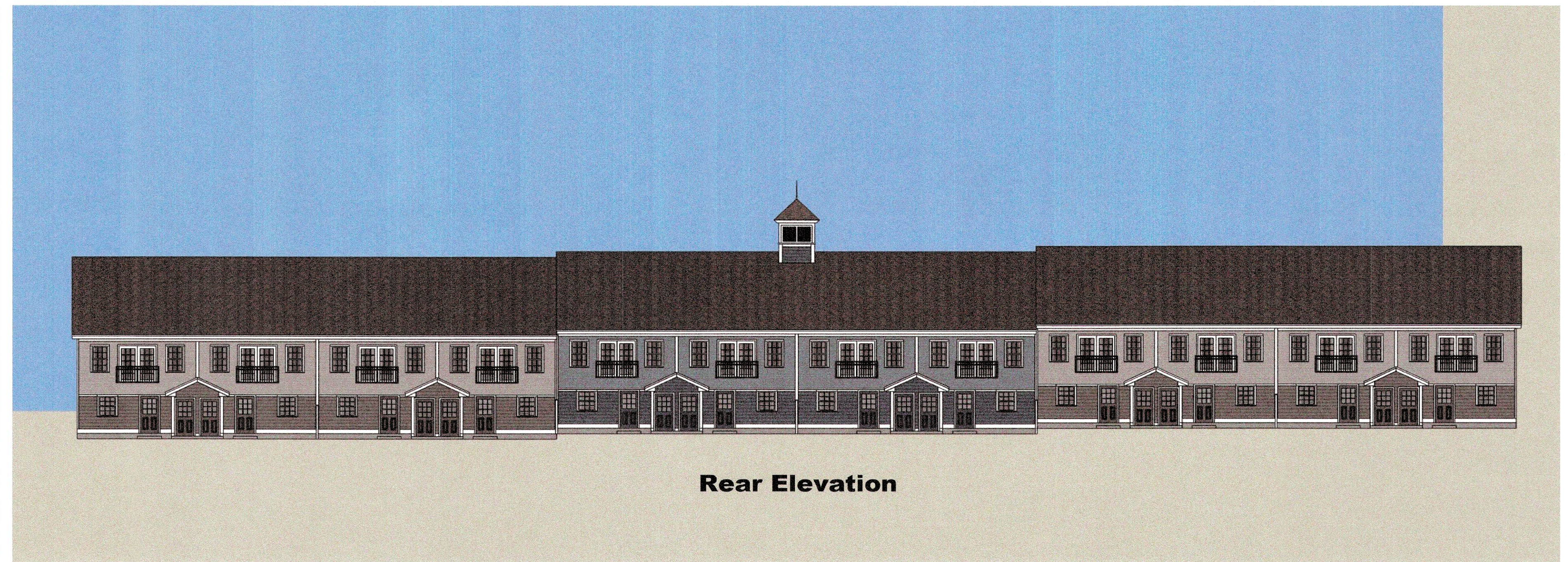
Front Elevation



Right Elevation



Left Elevation



Rear Elevation

ELEVATION PLANS
NOT TO SCALE

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TAX MAP 15 LOT 126
ELEVATION PLANS
ROCKPOINT COMMONS
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