

GENERAL INFORMATION

OWNER

MAP 28 LOT 10-0
CITY OF MANCHESTER
C/O AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

MAP 28 LOT 10-9
CITY OF MANCHESTER
C/O AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

MAP 28 LOT 10-4
BENTON FAMILY REALTY LLC
1 HIGHLANDER WAY
MANCHESTER, NH 03103

APPLICANT / PREPARED FOR

BENTON FAMILY REALTY LLC
1 HIGHLANDER WAY
MANCHESTER, NH 03103

RESOURCE LIST

COMMUNITY DEVELOPMENT DEPARTMENT
268 B MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1100 EXT. 129
KELLIE CARON, TOWN PLANNER

PUBLIC WORKS
268 B MAMMOTH ROAD
LONDONDERRY, NH
(603) 432-1100 EXT. 152
DAVE WHOLLEY, DIRECTOR

POLICE DEPARTMENT
268 A MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1118
FAX (603) 432-1117
CHIEF KIM BERNARD

FIRE DEPARTMENT
280 MAMMOTH ROAD
LONDONDERRY, NH
(603) 432-1124
FAX (603) 432-1129
CHIEF BRIAN JOHNSON

HEALTH DEPARTMENT
268 B MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1100 EXT. 115

EXECUTIVE COUNTRY CLUB RACQUET SPORTS DEVELOPMENT



2 & 5 HIGHLANDER WAY
LONDONDERRY, NEW HAMPSHIRE

INDEX OF SHEETS

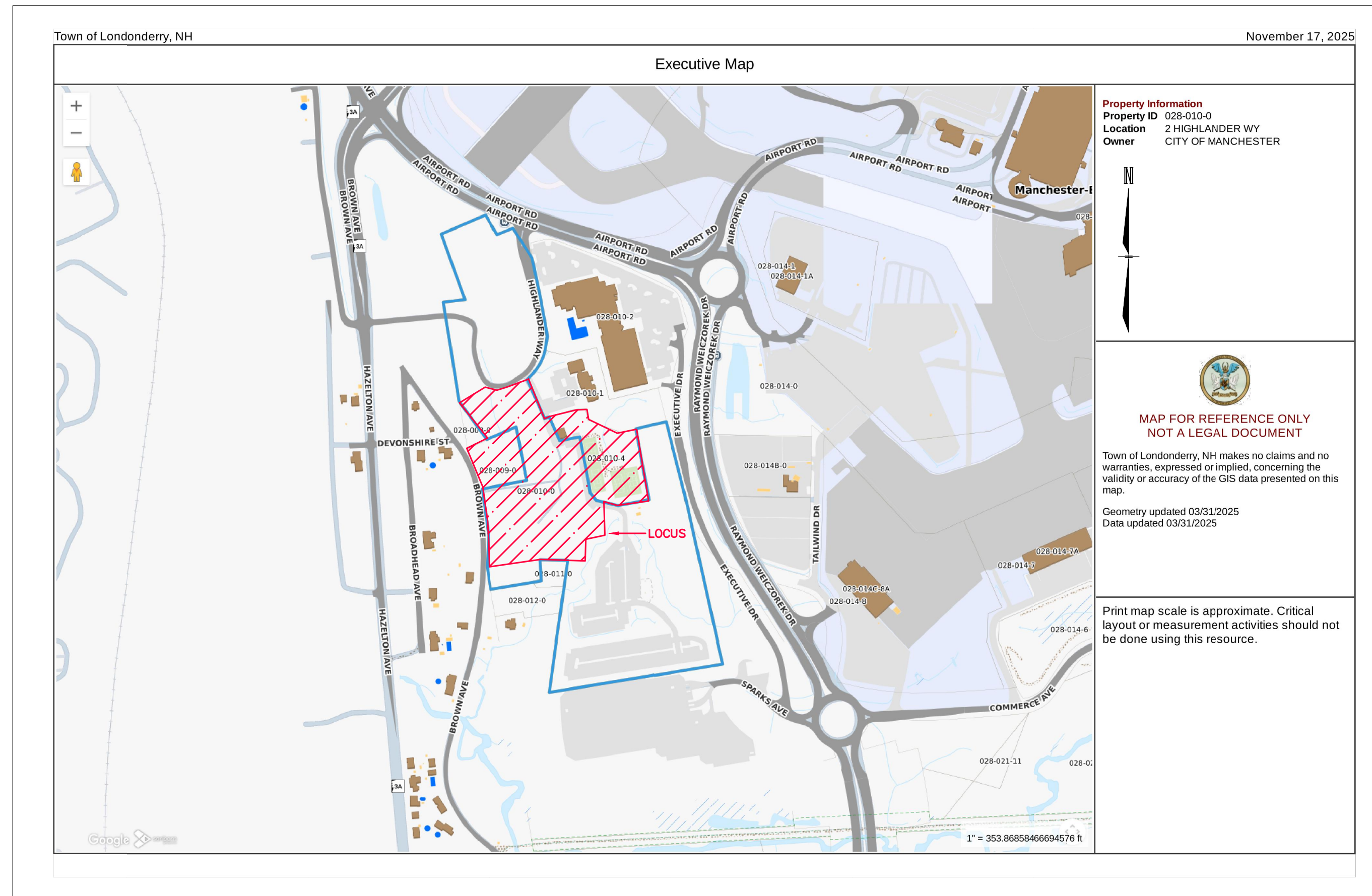
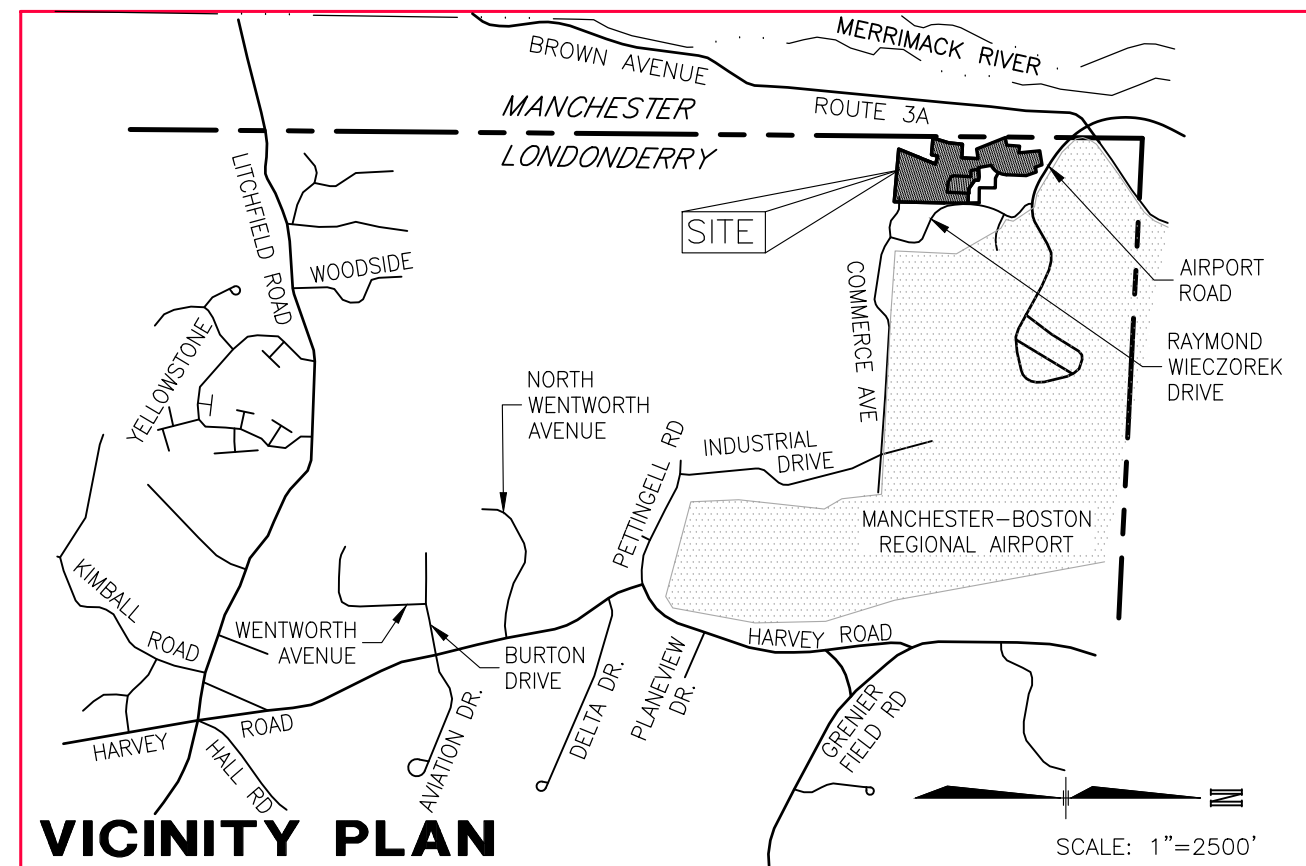
| SHEET | SHEET TITLE |
|---|------------------------------------|
| C-1 | COVER |
| C-2 | NOTES & LEGEND |
| SHEETS 1-5 | EXISTING CONDITIONS PLAN |
| C-3 | SITE PREPARATION & DEMOLITION PLAN |
| C-4 | OVERALL SITE LAYOUT PLAN |
| C-5 | SITE LAYOUT PLAN |
| C-6 | GRADING & DRAINAGE PLAN |
| C-8 | UTILITY PLAN |
| C-9 | SEWER PLAN & PROFILE |
| C-10 | LANDSCAPE PLAN |
| C-11 | EROSION CONTROL PLAN |
| C-12 | EROSION CONTROL NOTES |
| C-13 | LIGHTING PLAN |
| C-14 - C-22 | DETAILS SHEET |
| T-1 | TURNING MOVEMENT PLAN |
| REFERENCE PLANS BY ASSOCIATED PROFESSIONALS | |
| - | ARCHITECTURAL PLANS |

PERMITS/APPROVALS

| | NUMBER | APPROVED | EXPIRES |
|---|---------|----------|---------|
| LONDONDERRY PLANNING BOARD SITE PLAN REVIEW | PENDING | - | - |
| LONDONDERRY SEWER PERMIT | PENDING | - | - |
| LONDONDERRY STORMWATER PERMIT | - | - | - |
| NHDES ALTERATION OF TERRAIN PERMIT | PENDING | - | - |
| NHDES SEWER DISCHARGE PERMIT | PENDING | - | - |

VARIANCES (APPROVED IN SUMMER 2025)

- MAP 028 LOT 010-4
- SEC. 4.3.3.A - TO ALLOW A SIDE YARD BUILDING/STRUCTURE ENCROACHMENT OF 24.9 FT. OR A SETBACK OF 5.1 FT. WHERE 30 FT IS REQUIRED.
 - SEC. 4.3.2.A - TO ALLOW 0 FT. OF FRONTAGE WHERE 150 FT IS REQUIRED.
 - 4.4.3.B.2 a & b - TO NOT PROVIDE A 50 FT PERMANENTLY LANDSCAPED BUFFER ZONE WHERE AN EXISTING DRIVEWAY IS WITHIN 200 FT OF THE AIR-1 ZONING DISTRICT.
 - 4.3.3.B.1 - TO ALLOW AN ENCROACHMENT OF 15 FT. OR A 0 FT PERIMETER LANDSCAPE BUFFER, WHERE 15 FT IS REQUIRED IN C-II ZONE.
- MAP 028 LOT 010-0
- SEC. 4.3.3.B.1 - TO ALLOW AN ENCROACHMENT OF UP TO 15 FT. OR A 0 FT PERIMETER LANDSCAPE BUFFER, WHERE 15 FT (30 FT AT RIGHT-OF-WAY) IS REQUIRED IN C-II ZONE.



Property Information
Property ID 028-010-0
Location 2 HIGHLANDER WY
Owner CITY OF MANCHESTER

MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town of Londonderry, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
Geometry updated 03/31/2025
Data updated 03/31/2025

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

| DATE | ABUTTERS LIST EXECUTIVE HEALTH & SPORTS CENTER, LONDONDERRY NH | JOB # 17562.06 |
|------------|---|--|
| 02/18/2026 | MAP 028 LOTS 004-0, 009-0, 010-0, 011-0, 012-0, 014-0; MAP 710 LOTS 1A, 2, 3, 7, 7F; MAP 866 LOTS 4, 5, 7, 12, 13, 14, 16, 16A, 17 CITY OF MANCHESTER C/O MANCHESTER AIRPORT AUTHORITY 1 AIRPORT ROAD, SUITE 300 MANCHESTER, NH 03103 | MAP 028 LOT 008-0; MAP 710 LOT 4 BLUE SKY HOLDINGS, LLC 51 MICHAEL STREET MANCHESTER, NH 03104 |
| | MAP 866 LOTS 9 AND 10 KATHLEEN Y. WIBBER 3526 BROWN AVENUE MANCHESTER, NH 03103 | MAP 028 LOT 005-0 CITY OF MANCHESTER C/O MANCHESTER AIRPORT AUTHORITY 1 AIRPORT ROAD, SUITE 100 MANCHESTER, NH 03103 |
| | MAP 710 LOT 5 CITY OF MANCHESTER C/O 3F LLC 70 LOWELL STREET MANCHESTER, NH 03101 | MAP 028 LOT 010-1 TT OF HILLSBOROUGH, LLC 505 SOUTH FLAGLER DRIVE, STE 1400 WEST PALM BEACH, FL 33401 |
| | MAP 028 LOT 013-0 & MAP 710 LOT 1 JEFFREY W. & ANNIE MARIE CHICK 3563 BROWN AVENUE MANCHESTER, NH 03103 | MAP 028 LOT 014B-0 HERTZ CORPORATION 8501 WILLIAMS ROAD ESTERO, FL 33928 |
| | MAP 028 LOT 014-10 STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03302 | TFMORAN, INC. 48 CONSTITUTION DRIVE BEDFORD, NH 03110 ATTN: ROBERT DUVAL |
| | MAP 028 LOT 014-10 STATE OF NEW HAMPSHIRE P.O. BOX 483 CONCORD, NH 03302 | MAP 866 LOT 1 SCOTT RILEY 3600 BROWN AVENUE MANCHESTER, NH 03103 |
| | MAP 866 LOT 19 ARCHIE F. SYRENE 142 LOWELL ST APT 6 MANCHESTER, NH 03104 | MAP 710 LOT 8 CITY OF MANCHESTER ONE CITY HALL PLAZA MANCHESTER, NH 03101 |
| | MAP 028 LOT 014-10 & MAP 711 LOT 55 STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION P.O. BOX 483 7 HAZEN DRIVE CONCORD, NH 03302-0483 | |
| | MAP 028 LOT 014C-8A UNITED PARCEL SERVICE ATTN: CORPORATE REAL ESTATE 55 GLENLAKE PKWY, NE ATLANTA, GA 30328 | |
| | MAP 028 LOTS 010-2, 010-4 BENTON FAMILY REALTY, LLC 1 HIGHLANDER WAY MANCHESTER, NH 03103 | |
| | MAP 866 LOT 6 ROGER BOUTIN REVOC TR 254 WOODCREST CT MANCHESTER, NH 03109 | |

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| REV | DATE | DESCRIPTION | JH | RED |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

APPROVED BY THE LONDONDERRY NH PLANNING BOARD FOR PHASE _____
ON DATE: _____
CERTIFIED BY: _____

OWNER'S SIGNATURE

(MAP 28 LOT 10-4) BENTON FAMILY REALTY TRUST DATE _____

(MAP 28 LOTS 9-0, 10-0) CITY OF MANCHESTER DATE _____

TAX MAP 28 LOTS 9, 10, & 10-4
COVER
EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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Bedford, NH 03110
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Fax (603) 472-9747
www.tfmoran.com

| | | | | | |
|----------|----|-----|---------|------------------------|-----|
| 17562.06 | DR | JSH | CADFILE | 17562-06 COVER-DETAILS | C-1 |
|----------|----|-----|---------|------------------------|-----|

LEGEND

PROPOSED

| | |
|-----|----------------------------------|
| --- | PROPERTY LINE |
| --- | ZONING LINE |
| --- | EASEMENT |
| --- | BASELINE |
| --- | FLOODPLAIN |
| --- | EDGE OF WATERBODY |
| --- | EDGE OF WETLAND |
| --- | SETBACK (WETLAND) |
| --- | SETBACK (STRUCTURE) |
| --- | SETBACK (PARKING) |
| --- | SETBACK (LANDSCAPE) |
| --- | GRAVEL ROAD |
| --- | EDGE OF PAVEMENT |
| --- | VERTICAL GRANITE CURB |
| --- | SLOPED GRANITE CURB |
| --- | CONCRETE CURB |
| --- | INTEGRATED CONCRETE CURB |
| --- | BITUMINOUS ASPHALT CURB |
| --- | CAPE COD BERM |
| --- | SAWCUT |
| --- | BUILDING |
| --- | BUILDING ROOF OVERHANG |
| --- | BUILDING FOUNDATION |
| --- | BUILDING ENTRANCE |
| --- | OVERHEAD DOOR |
| --- | TREE LINE |
| --- | FENCE (CHAIN LINK) |
| --- | FENCE (WIRE) |
| --- | FENCE (STOCKADE) |
| --- | GUARDRAIL |
| --- | STONE WALL |
| --- | RETAINING WALL |
| --- | SILT FENCE |
| --- | SILT SOCK |
| --- | SOIL BOUNDARY |
| --- | LIMIT OF GRADING |
| --- | CONTOUR |
| --- | SPOT GRADE |
| --- | PARKING COUNT |
| --- | YELLOW DOUBLE SOLID LINE |
| --- | YELLOW SINGLE SOLID LINE |
| --- | WHITE SINGLE SOLID LINE |
| --- | WHITE SINGLE BROKEN LINE |
| --- | STOP BAR |
| --- | CROSSWALK |
| --- | ACCESSIBLE PARKING SYMBOL |
| --- | PAVEMENT ARROW |
| --- | TRAFFIC FLOW ARROW (NOT PAINTED) |
| --- | SIGN (SINGLE POST) |
| --- | SIGN (DOUBLE POST) |
| --- | SIGN (PYLON) |
| --- | SIGN (MONUMENT) |
| --- | BOLLARD |
| --- | DUMPSTER PAD |

PROPOSED

| | |
|-----|-------------------------------|
| --- | CONCRETE |
| --- | GRAVEL |
| --- | HEAVY DUTY PAVEMENT |
| --- | CONSTRUCTION ENTRANCE |
| --- | SNOW STORAGE |
| --- | RIPRAP |
| --- | INLET PROTECTION |
| --- | FLOW ARROW |
| --- | GRADE BREAK RIDGE |
| --- | DRAIN LINE |
| --- | DRAINAGE SWALE |
| --- | STORMWATER BMP |
| --- | SEWER LINE |
| --- | SEWER FORCE MAIN LINE |
| --- | WATER LINE |
| --- | GAS LINE |
| --- | OVERHEAD UTILITY LINE |
| --- | UNDERGROUND UTILITY LINE |
| --- | CATCH BASIN |
| --- | DRAIN INLET |
| --- | OUTLET CONTROL STRUCTURE |
| --- | ROOF DRAIN |
| --- | DRAIN CLEANOUT |
| --- | DRAIN MANHOLE |
| --- | FARED END SECTION |
| --- | SEWER CLEAN OUT |
| --- | SEWER MANHOLE |
| --- | SEWER VENT |
| --- | DRAIN/SEWER/WATER PLUG OR CAP |
| --- | HYDRANT |
| --- | FIRE DEPARTMENT CONNECTION |
| --- | WATER GATE VALVE |
| --- | WATER SHUTOFF |
| --- | THRUST BLOCK |
| --- | WATER METER |
| --- | WATER MANHOLE |
| --- | WELL |
| --- | GAS GATE VALVE |
| --- | GAS SHUT OFF |
| --- | GAS METER |
| --- | TELEPHONE MANHOLE |
| --- | ELECTRIC MANHOLE |
| --- | TRAFFIC CONTROL CABINET |
| --- | ELECTRIC HANDHOLE |
| --- | ELECTRIC PULL BOX |
| --- | ELECTRIC METER |
| --- | FLOOD LIGHT |
| --- | LIGHT POLE |
| --- | UTILITY POLE |
| --- | GUY POLE |
| --- | TRANSFORMER PAD |
| --- | BORING LOCATION |
| --- | TEST PIT LOCATION |
| --- | INFILTRATION TEST LOCATION |
| --- | MONITORING WELL |

ABBREVIATIONS

| GENERAL | | UTILITIES | |
|---------|---------------------------|-----------|--------------------------------|
| ABAN | ABANDON | CB | CATCH BASIN |
| AC | ACRES | CIP | CAST IRON PIPE |
| ADJ | ADJUST | CMP | CORRUGATED METAL PIPE |
| APPROX | APPROXIMATE | CO | CLEANOUT |
| BC | BOTTOM OF CURB | COND | CONDUIT |
| BIT | BITUMINOUS | DCB | DOUBLE CATCH BASIN |
| BK/PG | BOOK & PAGE | DIP | DUCTILE IRON PIPE |
| BLDG | BUILDING | DMH | DRAIN MANHOLE |
| BMP | BEST MANAGEMENT PRACTICE | F&C | FRAME AND COVER |
| BS | BOTTOM OF SLOPE | F&G | FRAME AND GRATE |
| BW | BOTTOM OF WALL | FES | FLARED END SECTION |
| CONC | CONCRETE | GT | GREASE TRAP |
| COORD | COORDINATE | HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| DIA | DIAMETER | HH | HANDHOLE |
| ELEV | ELEVATION | HW | HEADWALL |
| | | HYD | HYDRANT |
| | | LP | LIGHT POLE |
| | | OCS | OUTLET CONTROL STRUCTURE |
| | | PVC | POLYVINYL CHLORIDE PIPE |
| | | RPC | REINFORCED CONCRETE PIPE |
| | | RD | ROOF DRAIN |
| | | SMH | SEWER MANHOLE |
| | | SOS | SEDIMENT OIL SEPARATOR |
| | | TSV | TAPPING SLEEVE, VALVE, AND BOX |
| | | UP | UTILITY POLE |
| OC | ON CENTER PAVEMENT | | |
| PAVE | PAVEMENT | | |
| PERF | PERFORATED | | |
| PROP | PROPOSED | | |
| R | RADIUS | | |
| R&D | REMOVE AND DISPOSE | | |
| R&R | REMOVE AND RESET | | |
| L | LENGTH | | |
| RET | RETAIN | | |
| LSA | LANDSCAPE AREA | | |
| MAX | MAXIMUM | | |
| MIN | MINIMUM | | |
| N/F | NOW OR FORMERLY | | |
| NHF | NEW HAMPSHIRE FISH & GAME | | |
| NTS | NOT TO SCALE | | |
| ON | ON CENTER | | |
| PAVE | PAVEMENT | | |
| PERF | PERFORATED | | |
| PROP | PROPOSED | | |
| R | RADIUS | | |
| R&D | REMOVE AND DISPOSE | | |
| R&R | REMOVE AND RESET | | |
| L | LENGTH | | |
| RET | RETAIN | | |
| LSA | LANDSCAPE AREA | | |
| MAX | MAXIMUM | | |
| MIN | MINIMUM | | |
| N/F | NOW OR FORMERLY | | |
| NHF | NEW HAMPSHIRE FISH & GAME | | |
| NTS | NOT TO SCALE | | |

GENERAL NOTES

- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE TOWN AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY, AND/OR STATE AGENCY.
- AN ALTERATION OF TERRAIN PERMIT IS REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS FROM CONSTRUCTION ACTIVITIES.
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
- PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER TOWN REGULATIONS.
- IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
- SUBJECT PROPERTIES ARE LOCATED WITHIN THE ST. GOBAIN CONSENT DECREE AREA. AS SUCH, EXPORT OF SOILS IS REGULATED UNDER ENV-OR 600 (CONTAMINATED SITE MANAGEMENT RULES)

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:

| MINIMUM DENSITY* | LOCATION |
|------------------|---|
| 95% | BELOW PAVED OR CONCRETE AREAS |
| 95% | TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL |
| 90% | BELOW LOAM AND SEED AREAS |

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO MANCHESTER WATER WORKS STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE. ALL THRUST BLOCKS SHALL BE PRECAST CONCRETE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

| | |
|-----------|-----------------------------|
| PRIVATE | CITY OF MANCHESTER |
| SEWER | TOWN OF LONDONDERRY |
| WATER | MANCHESTER WATER WORKS |
| GAS | LIBERTY UTILITIES |
| ELECTRIC | EVERSOURCE |
| TELEPHONE | CONSOLIDATED COMMUNICATIONS |
| CABLE | COMCAST |



TAX MAP 28 LOTS 9, 10, & 10-4

NOTES & LEGEND

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT
BENTON FAMILY REALTY, LLC
 108 W. WASHINGTON ST., MANCHESTER, NH 03103

NOVEMBER 18, 2025

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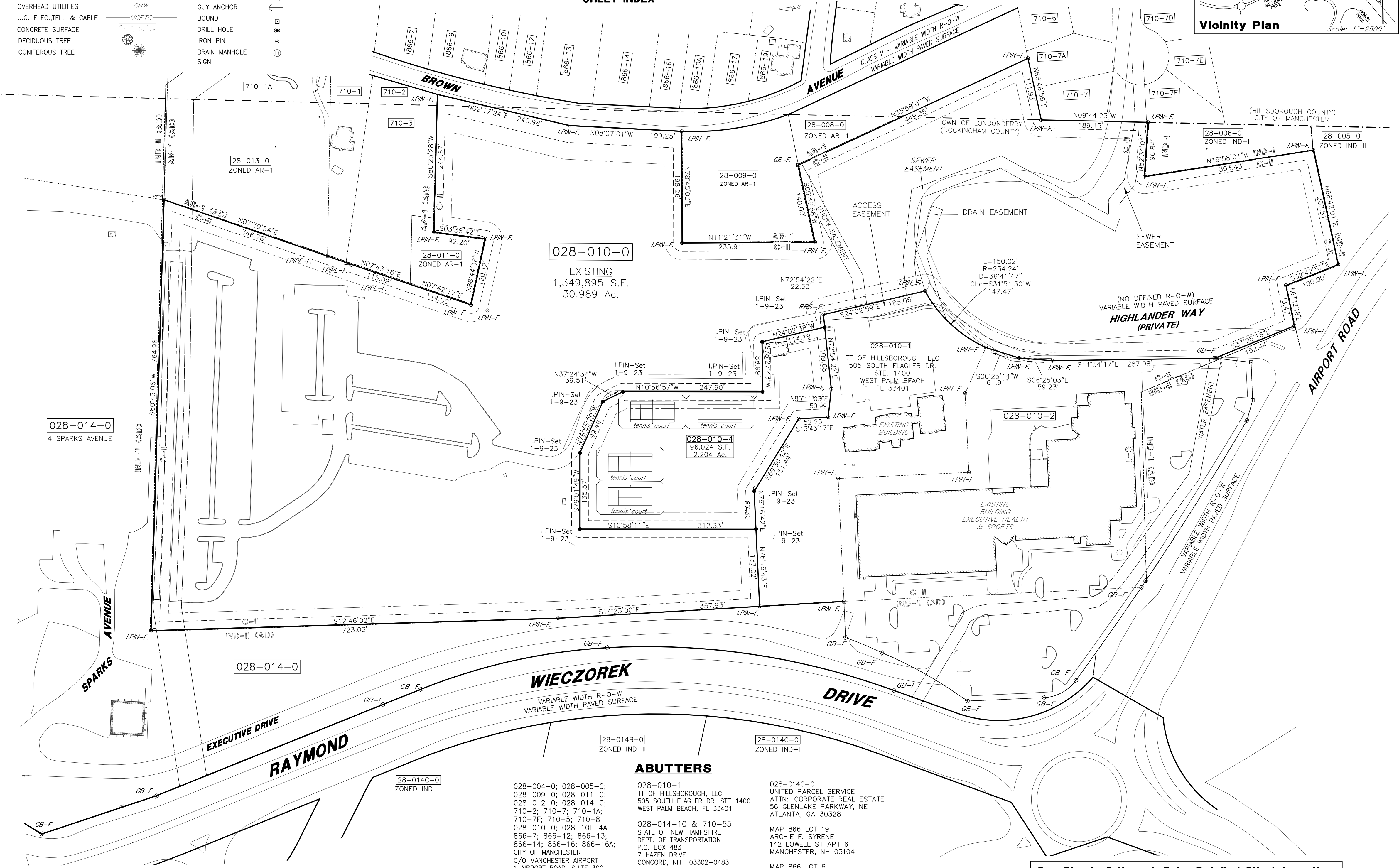
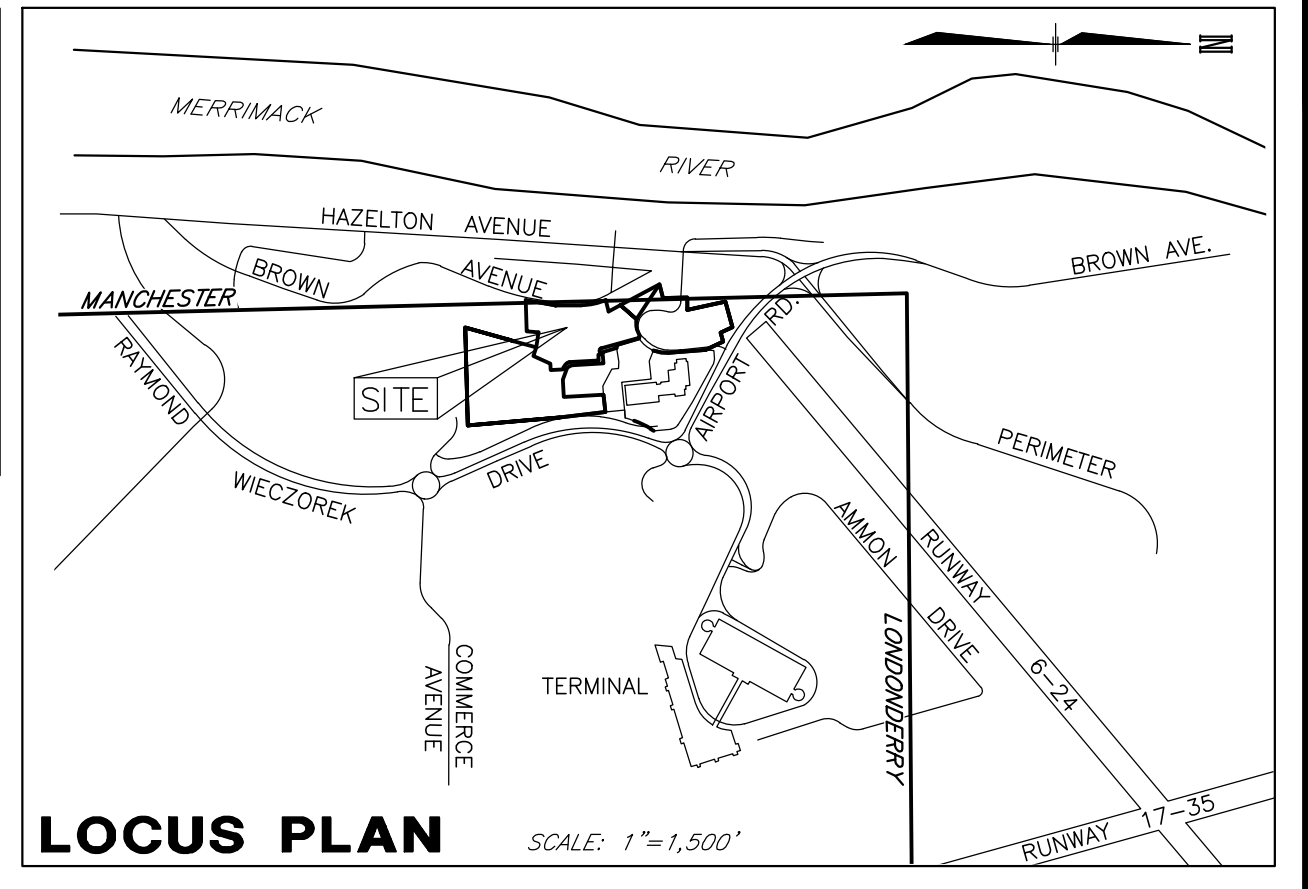
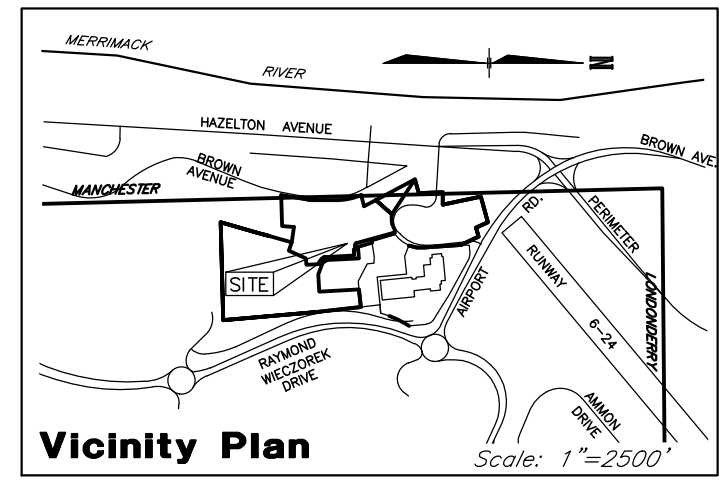
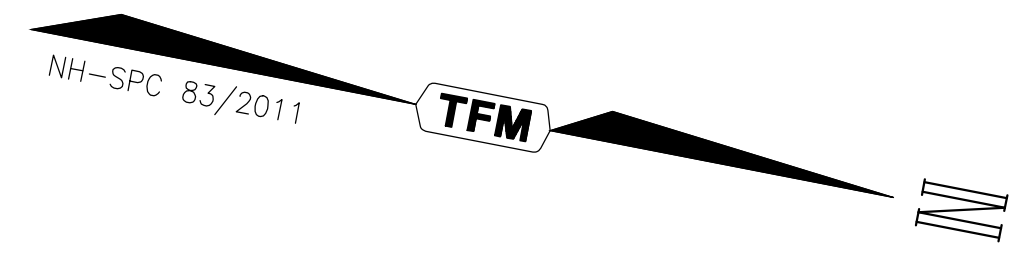
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| | Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com | | |
| | | | F I L E | |
| 17562.06 | DR JSH CK RED | CADFILE | 17562-06 COVER-DETAILS | C-2 |

LEGEND

| | | | | | |
|---------------------------|-------|--------------------|----|---------------|-----|
| VERTICAL GRANITE CURB | VGC | SEWER MANHOLE | SM | EASEMENT | --- |
| VERTICAL CONCRETE CURB | VCC | CATCH BASIN | CB | ZONE BOUNDARY | --- |
| EDGE OF PAVEMENT | EOP | WATER GATE | WG | SETBACK LINE | --- |
| SEWER LINE | S | UTILITY POLE | UP | BUFFER LINE | --- |
| SEWER FORCE MAIN | FM | GAS VALVE | GV | | |
| WATER LINE | W | LIGHT POLE | LP | | |
| DRAIN LINE | D | HYDRANT | H | | |
| GAS LINE | G | ELECTRIC PULLBOX | EP | | |
| OVERHEAD UTILITIES | OHW | GUY ANCHOR | GA | | |
| U.G. ELEC., TEL., & CABLE | UGETC | BOUND | B | | |
| CONCRETE SURFACE | C | DRILL HOLE | DH | | |
| DECIDUOUS TREE | DT | IRON PIN | IP | | |
| CONIFEROUS TREE | CT | DRAIN MANHOLE SIGN | DM | | |

SHEET INDEX

| | |
|--------|--------|
| 2 OF 5 | 3 OF 5 |
| 4 OF 5 | 5 OF 5 |



- NOTES**
- OWNERS OF RECORD: MAP 28 LOT 009-0 & 010-0 CITY OF MANCHESTER AIRPORT ROAD, SUITE 300 MANCHESTER, NH 03103 DEED REFERENCE: BK. 5130 PG. 2103 MAP 28 LOT 010-2 BENTON FAMILY REALTY, LLC 1 HIGHLANDER WAY MANCHESTER, NH 03103 DEED REFERENCE: BK. 6570 PG. 1016
 - 28-10-0 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AS OF NOVEMBER 25, 2025 ON TAX MAP 28 LOTS 9, 10, & 10-4 IN THE TOWN OF LONDONDERRY AS SHOWN HEREON AND NO OTHER PURPOSE.
 - CURRENT ZONING IS COMMERCIAL II - C-II COMMERCIAL II LOT SIZE (MIN): 1 ACRE LOT FRONTAGE (MIN): 150 FT BUILDING SETBACKS (MIN) FRONT 60 FT SIDE 30 FT REAR 30 FT GREEN SPACE (MIN): 33% LANDSCAPE PERIMETER BUFFER: 15 FT. (30 FT AT RIGHT-OF-WAY)
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW HAMPSHIRE, ROCKINGHAM COUNTY, COMMUNITY PANEL NUMBER 3301500315E EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - BENCHMARK USED: NHDOT CONTROL POINT "GELINAS 1946" VERTICAL DATUM NAVD 88.
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) MAY DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. IF MORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - THE PROPERTY WILL CONTINUE TO BE SERVED BY THE FOLLOWING: DRAINAGE: PRIVATE, SEWER: LONDONDERRY SEWER DEPARTMENT, WATER: MANCHESTER WATER WORKS, GAS: NATIONAL GRID, ELECTRIC: PSNH, TELEPHONE: FAIRPOINT COMMUNICATIONS, CABLE: COMCAST.
 - EXISTING USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES.
 - PROPOSED USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES. NO CHANGE.

- REFERENCE PLANS**
- ALTA/ACSM LAND TITLE SURVEY - URBAN "PERIMETER ROAD LONDONDERRY & MANCHESTER, NH" OWNER OF RECORD: GAEL TERRA ASSOCIATES AND THE CITY OF MANCHESTER PREPARED BY ALLEN B. SWANSON, INC. DATED 1 SEPTEMBER 1993 AS RECORDED WITH R.C.R.D. PLAN NO. D-23784
 - MASTER PLAN SITE PLAN (LOT 10, MAP 28) "PROPOSED HOTEL EXPANSION" HIGHLANDER WAY, LONDONDERRY, NH. OWNER OF RECORD: THREE F, LLC. PREPARED BY HAYNER/SWANSON, INC. DATED 25 APRIL 2001
 - "SITE & UTILITIES PLAN" EXECUTIVE HEALTH CLUB PERIMETER ROAD, LONDONDERRY, NH PREPARED BY KIMBALL CHASE COMPANY, INC. DATED: 12/18/86
 - "HIGHLANDER INN COMPLEX - LOT D" TAX MAP 28, LOT 10, 2 HIGHLANDER WAY, LONDONDERRY, NH. PREPARED BY KEACH-NORDSTROM ASSOC., INC. DATED: AUGUST 1998
 - "EASEMENT PLAN" MANCHESTER AIRPORT, EXECUTIVE HEALTH & SPORTS CENTER AND THE HIGHLANDER. TAX MAP 28, LOTS 10 & 14 & 14-9, LONDONDERRY, NH. PREPARED BY JOSEPH M. WICHERT, LLS, INC. DATED: 20 FEBRUARY 2001

Graphic Scale
1" = 100'

| | | |
|--|--|-----------|
| OWNER'S SIGNATURE | | 2/18/2026 |
| BENTON FAMILY TRUST/EXECUTIVE HEALTH & SPORTS CENTER | | DATE |
| | | 2/18/2026 |
| CITY OF MANCHESTER, NEW HAMPSHIRE | | DATE |

TAX MAP 28 LOTS 010-0 & 014-0
EXISTING CONDITIONS PLAN
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: CITY OF MANCHESTER
APPLICANT: BENTON FAMILY TRUST

1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH
1 HIGHLANDER WAY, LONDONDERRY, NH

PREPARED FOR:
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH 03053

SCALE: 1" = 100' NOVEMBER 25, 2025



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|------|---------|--|-------|-------|
| 1 | 2-17-26 | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRD | MRD |
| REV. | DATE | DESCRIPTION | DRAWN | CHECK |

- ABUTTERS**
- 28-004-0; 028-005-0; 028-009-0; 028-011-0; 028-012-0; 028-014-0; 710-2; 710-7; 710-1A; 710-7F; 710-5; 710-8 028-010-0; 028-10L-4A 866-7; 866-12; 866-13; 866-14; 866-16; 866-16A; CITY OF MANCHESTER C/O MANCHESTER AIRPORT 1 AIRPORT ROAD, SUITE 300 MANCHESTER, NH 03103
 - 028-014B-0 HERTZ CORPORATION 8501 WILLIAMS ROAD ESTERO, FL 33928
 - 028-10C-3; 028-10C-4 028-10-2, 028-010-4 BENTON FAMILY REALTY LLC 1 HIGHLANDER WAY MANCHESTER, NH 03103
 - 028-10C-0 EXECUTIVE CONDO ASSOC. C/O BENTON FAMILY REALTY TR. 1 HIGHLANDER WAY LONDONDERRY, NH 03053
 - 028-014C-0 UNITED PARCEL SERVICE ATTN: CORPORATE REAL ESTATE 56 GLENLAKE PARKWAY, NE ATLANTA, GA 30328
 - MAP 866 LOT 19 ARCHIE F. SYRENE DEPT. OF TRANSPORTATION P.O. BOX 483 7 HAZEN DRIVE CONCORD, NH 03302-0483
 - MAP 866 LOT 6 ROGER A. BOUTIN 254 WOODCREST CT MANCHESTER, NH 03109
 - MAP 866 LOT 1 SCOTT RILEY 3600 BROWN AVENUE MANCHESTER, NH 03103
 - 028-013-0 & 710-1 JEFFREY W. & ANNIE MARIE CHICK 3563 BROWN AVE. MANCHESTER, NH 03103
 - MAP 710 LOT 5 CITY OF MANCHESTER C/O 3F LLC 70 LOWELL STREET MANCHESTER, NH 03101

See Sheets 2 through 5 for Detailed Site Information, Topography, Utilities, etc. at 40 Scale

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-II)

Michael R Dahlberg
MICHAEL R DAHLBERG
LICENSED LAND SURVEYOR

02-17-2026
DATE

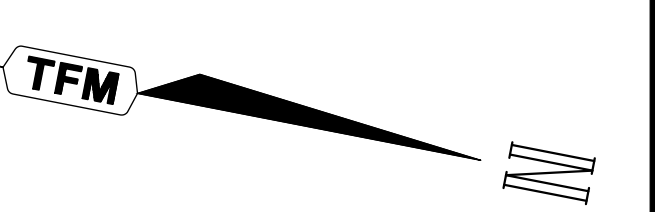
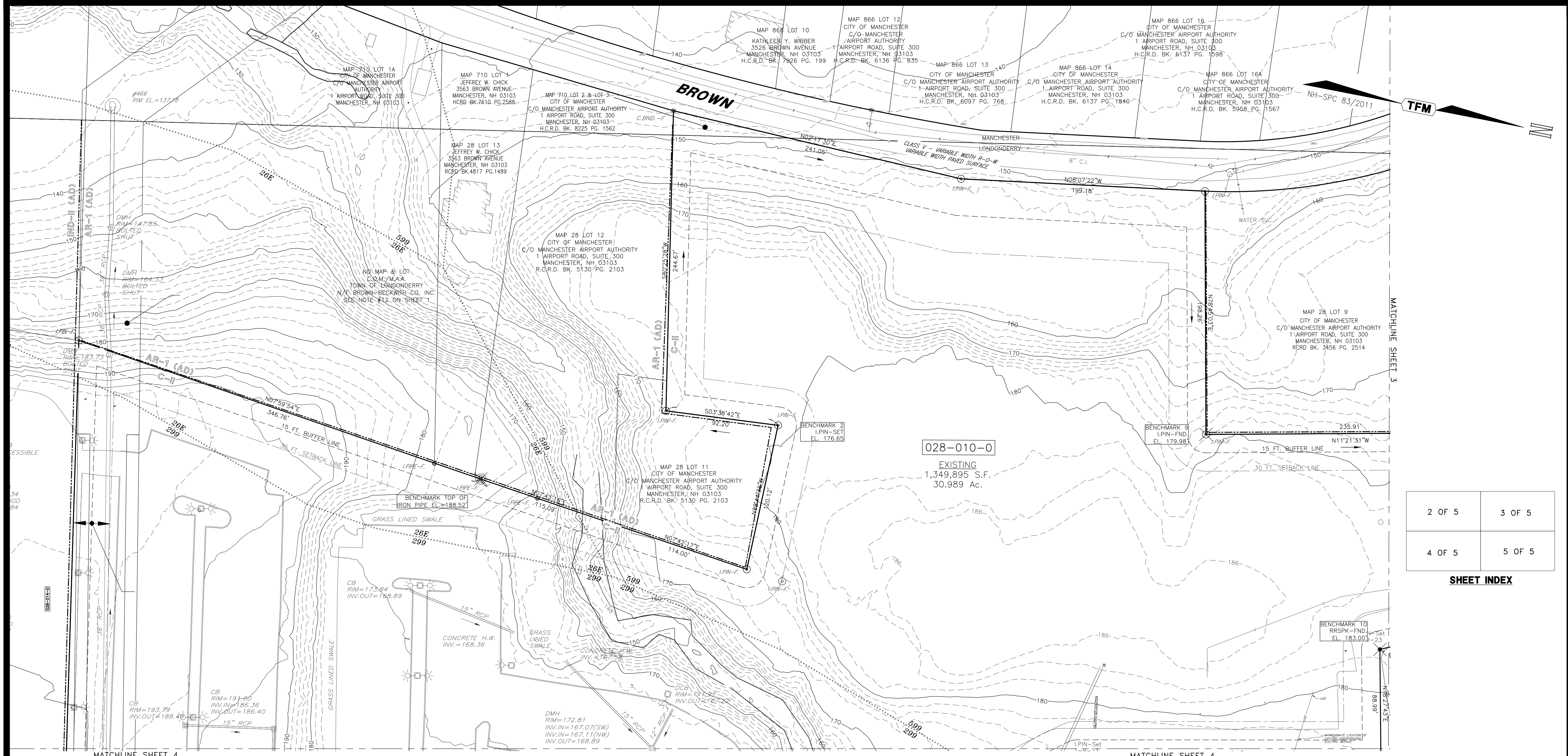


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| | CK | MRD | CAD/FB | 17562.06 | EXC |

SHEET 1 OF 5

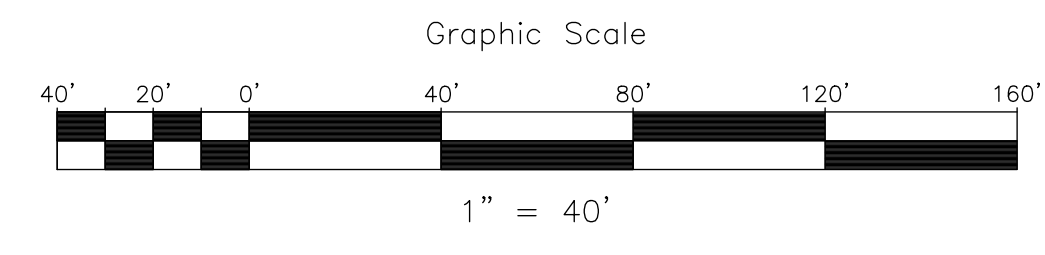
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| 2 OF 5 | 3 OF 5 |
| 4 OF 5 | 5 OF 5 |

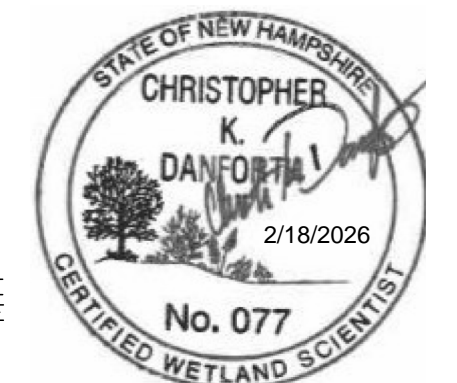
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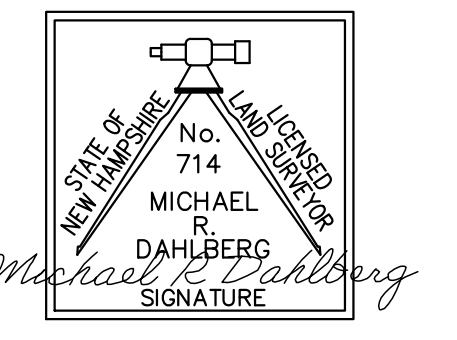
LEGEND

| | | | |
|---------------------------|--|------------------|--|
| VERTICAL GRANITE CURB | | WATER GATE | |
| VERTICAL CONCRETE CURB | | UTILITY POLE | |
| EDGE OF PAVEMENT | | GAS VALVE | |
| SIGN | | LIGHT POLE | |
| GUY ANCHOR | | HYDRANT | |
| SEWER LINE | | ELECTRIC PULLBOX | |
| SEWER FORCE MAIN | | CONCRETE SURFACE | |
| WATER LINE | | DECIDUOUS TREE | |
| DRAIN LINE | | CONIFEROUS TREE | |
| GAS LINE | | BOUND | |
| OVERHEAD UTILITIES | | DRILL HOLE | |
| U.G. ELEC., TEL., & CABLE | | IRON PIN | |
| SEWER MANHOLE | | DRAIN MANHOLE | |
| CATCH BASIN | | ZONE BOUNDARY | |
| EASEMENT | | BUFFER LINE | |
| SETBACK LINE | | | |

WETLAND SCIENTIST CERTIFICATION:
 JURISDICTIONAL WETLANDS SHOWN (WHERE INDICATED AS NON-RECORD) ON THIS PLAN WERE DELINEATED DURING SEPTEMBER OF 2025, BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 [HTTP://WETLAND_PLANTS.USACE.ARMY.MIL](http://wetland_plants.usace.army.mil).



SURVEYOR'S CERTIFICATION
 I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-III)
 Michael R Dahlberg
 LICENSED LAND SURVEYOR



TAX MAP 28 LOTS 010-0 & 014-0
TOPOGRAPHIC EXISTING CONDITIONS PLAN
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: CITY OF MANCHESTER
 APPLICANT: BENTON FAMILY TRUST
 1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 03103 | 1 HIGHLANDER WAY, LONDONDERRY, NH 03053
 PREPARED FOR: EXECUTIVE HEALTH & SPORTS CENTER
 1 HIGHLANDER WAY, LONDONDERRY, NH 03053
 SCALE: 1" = 40' NOVEMBER 26, 2025

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

811 Dig Safe MA-ONE-NH-RI-VT

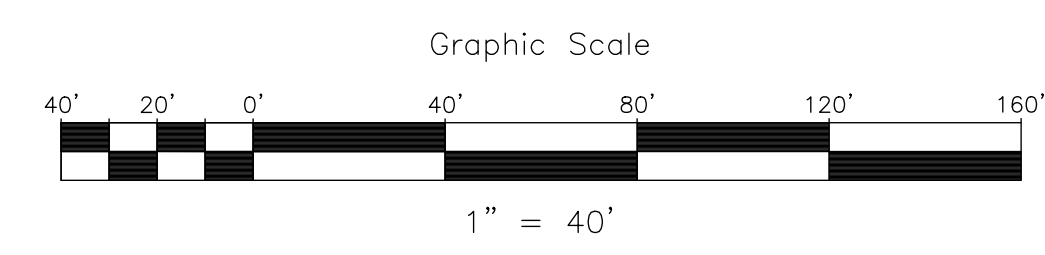
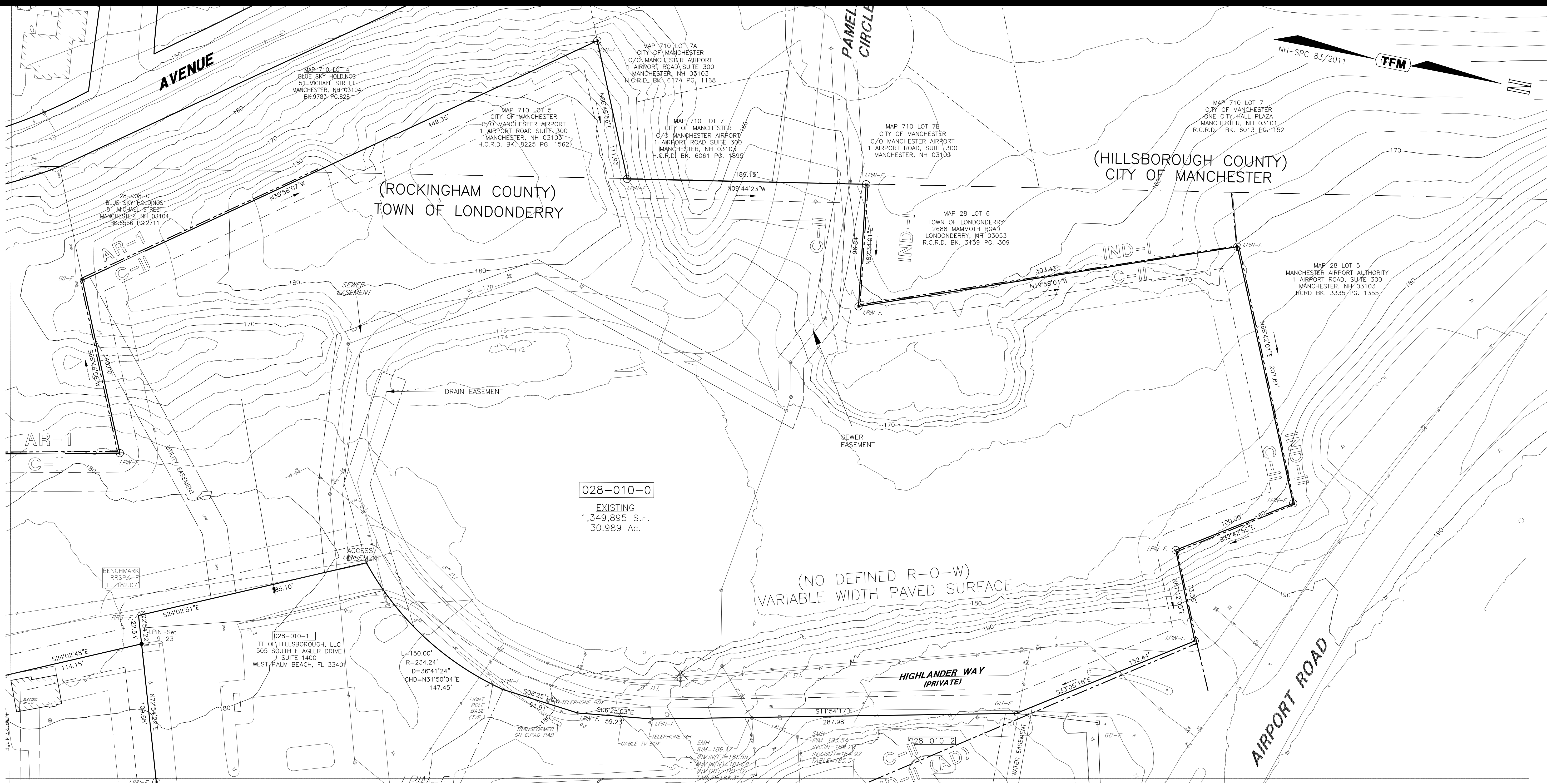
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| REV. | DATE | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRO | MRO |
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| | | DESCRIPTION | DRAWN | CHECK |
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17562.06 DR MRD FB - SHEET 2 OF 5
 CK MRD CAD/FB 17562-06 EXC

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
 48 Constitution Drive, Bedford, NH 03110, Phone (603) 472-4488, Fax (603) 472-9747, www.tfmoran.com

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

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MA-011-NH-RI-VT

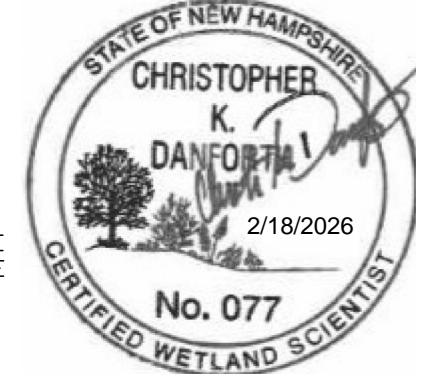
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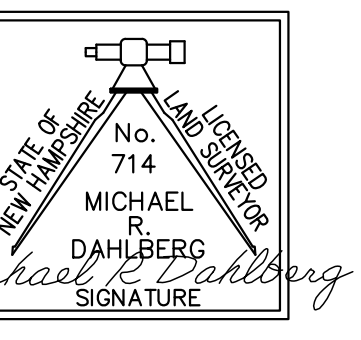
LEGEND

| | | | |
|---------------------------|--|------------------|--|
| VERTICAL GRANITE CURB | | WATER GATE | |
| VERTICAL CONCRETE CURB | | UTILITY POLE | |
| EDGE OF PAVEMENT | | GAS VALVE | |
| SIGN | | LIGHT POLE | |
| GUY ANCHOR | | HYDRANT | |
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| GAS LINE | | BOUND | |
| OVERHEAD UTILITIES | | DRILL HOLE | |
| U.G. ELEC., TEL., & CABLE | | IRON PIN | |
| SEWER MANHOLE | | DRAIN MANHOLE | |
| CATCH BASIN | | | |

WETLAND SCIENTIST CERTIFICATION.
JURISDICTIONAL WETLANDS SHOWN (WHERE INDICATED AS NON-RECORD) ON THIS PLAN WERE DELINEATED DURING SEPTEMBER OF 2025, BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 [HTTP://WETLAND_PLANTS.USACE.ARMY.MIL](http://wetland_plants.usace.army.mil).



SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-III)
Michael R Dahlberg
MICHAEL R. DAHLBERG
LICENSED LAND SURVEYOR
DATE: 12-02-25



TAX MAP 28 LOTS 010-0 & 014-0

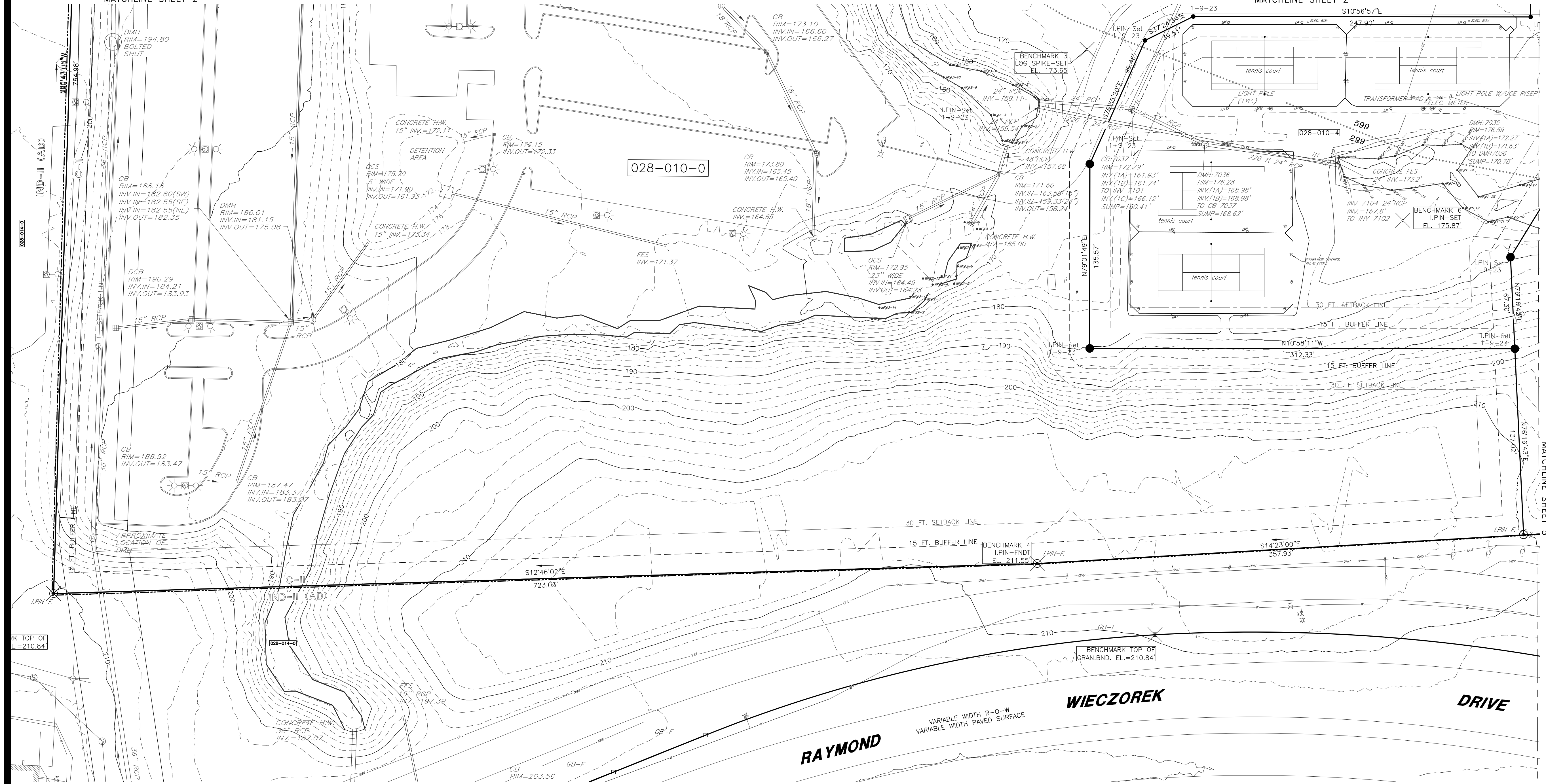
TOPOGRAPHIC EXISTING CONDITIONS PLAN
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: CITY OF MANCHESTER APPLICANT: BENTON FAMILY TRUST
1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 03053 1 HIGHLANDER WAY, LONDONDERRY, NH 03053
PREPARED FOR:
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH 03053
SCALE: 1" = 40' NOVEMBER 26, 2025

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
48 Constitution Drive, Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

| | | | | | |
|----------|--------|----------|---|--------------|--------------|
| 17562.06 | DR MRD | FB | - | 17562-06 EXC | SHEET 3 OF 5 |
| | CK MRD | CRADFILE | | | |

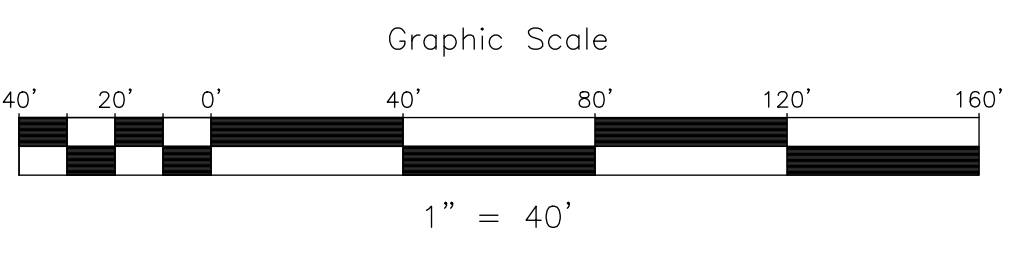
MATCHLINE SHEET 2

MATCHLINE SHEET 2



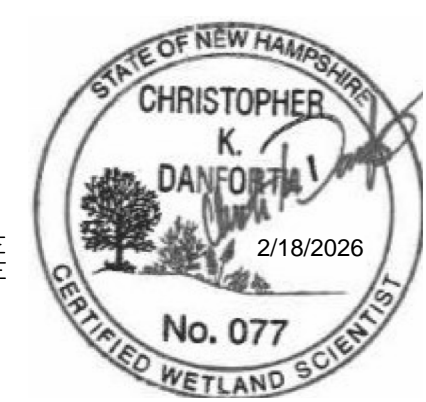
LEGEND

| | |
|---------------------------|-------|
| VERTICAL GRANITE CURB | VGC |
| VERTICAL CONCRETE CURB | VCC |
| EDGE OF PAVEMENT | EOP |
| SIGN | S |
| GUY ANCHOR | GA |
| SEWER LINE | S |
| SEWER FORCE MAIN | FM |
| WATER LINE | W |
| DRAIN LINE | D |
| GAS LINE | G |
| OVERHEAD UTILITIES | OHW |
| U.G. ELEC., TEL., & CABLE | UGETC |
| SEWER MANHOLE | SM |
| CATCH BASIN | CB |
| WATER GATE | WG |
| UTILITY POLE | UP |
| GAS VALVE | GV |
| LIGHT POLE | LP |
| HYDRANT | H |
| ELECTRIC PULLBOX | EP |
| CONCRETE SURFACE | CS |
| DECIDUOUS TREE | DT |
| CONIFEROUS TREE | CT |
| BOUND | B |
| DRILL HOLE | DH |
| IRON PIN | IP |
| DRAIN MANHOLE | DM |
| EASEMENT | E |
| ZONE BOUNDARY | ZB |
| SETBACK LINE | SL |
| BUFFER LINE | BL |



WETLAND SCIENTIST CERTIFICATION.

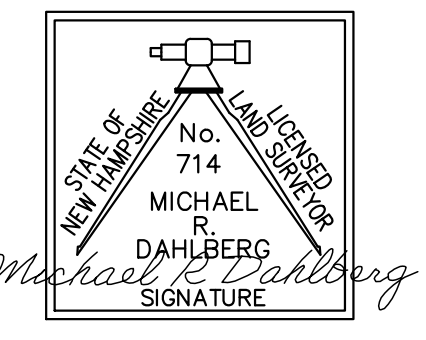
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Michael R. Dahlberg 12-02-25
LICENSED LAND SURVEYOR DATE

TAX MAP 28 LOTS 010-0 & 014-0

TOPOGRAPHIC EXISTING CONDITIONS PLAN

EXECUTIVE HEALTH & SPORTS CENTER

1 HIGHLANDER WAY, LONDONDERRY, NH

OWNER APPLICANT
CITY OF MANCHESTER BENTON FAMILY TRUST

1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 1 HIGHLANDER WAY, LONDONDERRY, NH 03053

PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER

1 HIGHLANDER WAY, LONDONDERRY, NH 03053

SCALE: 1" = 40' NOVEMBER 26, 2025

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

811 Dig Safe
MA-ONE-NH-RV-VT

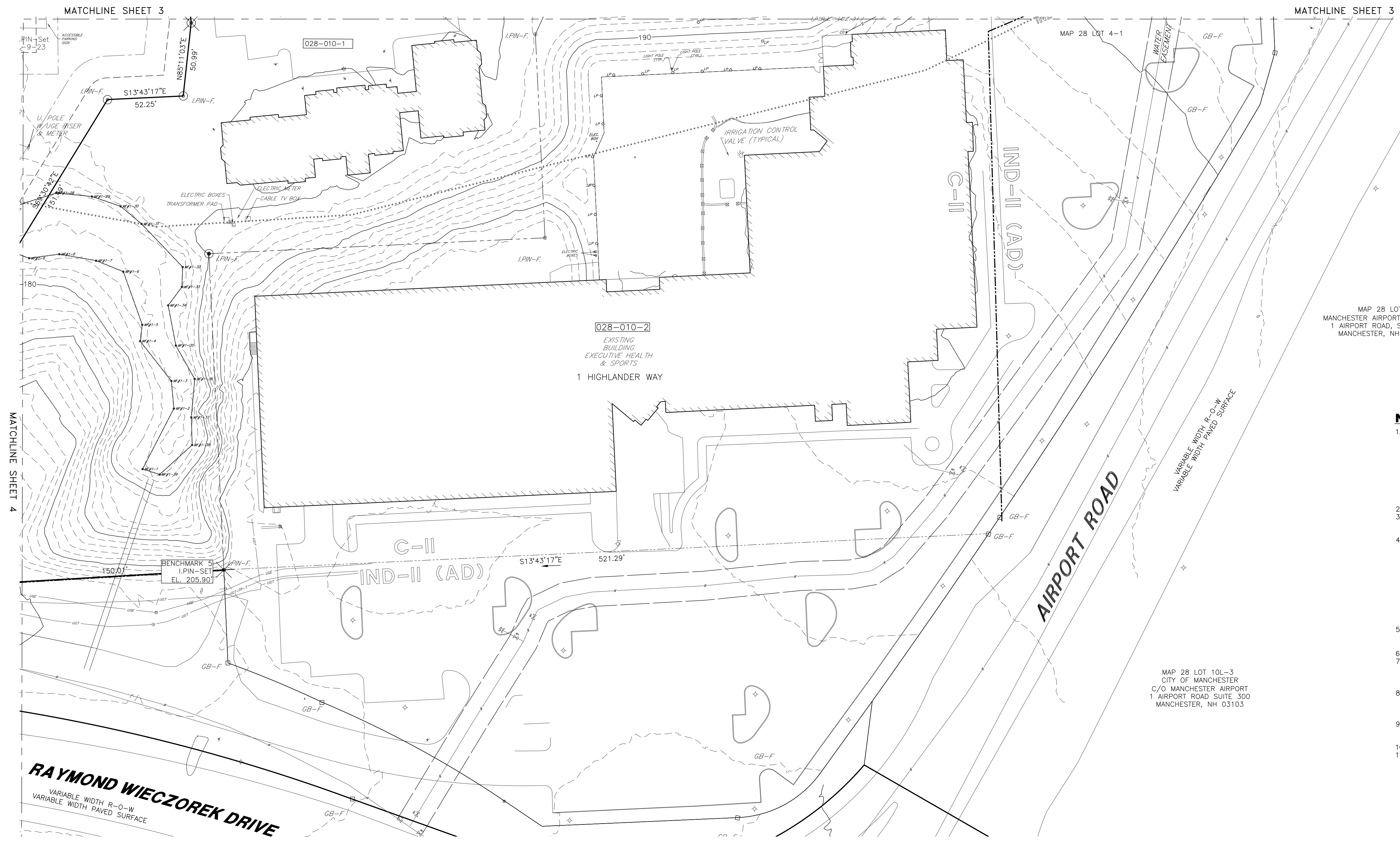
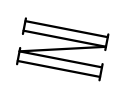
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| REV. | DATE | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRO | MRO |
|------|---------|--|-------|-------|
| | | DESCRIPTION | DRAWN | CHECK |
| 1 | 2-17-26 | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRO | MRO |

| | |
|--------|--------|
| 2 OF 5 | 3 OF 5 |
| 4 OF 5 | 5 OF 5 |

SHEET INDEX

02/17/2026 1:33pm - F:\TFM Projects\17562\Carlson Survey\Dwg\EXCON NOVEMBER 2025\17562-06 EXCON 40 SCALE SHEETS EXECUTIVE HEALTH 02-17-26.dwg



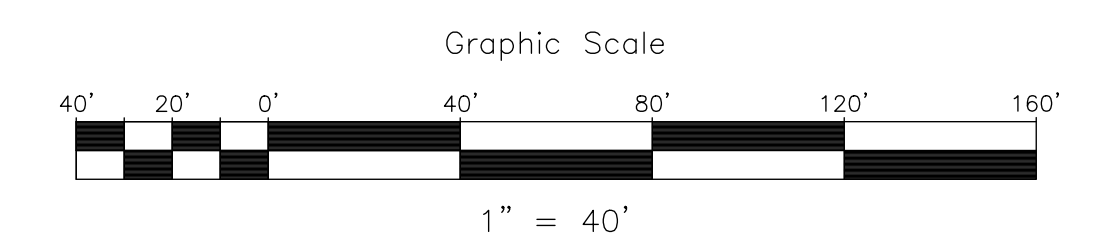
LEGEND

| | | |
|---------------------------|-----|-------|
| VERTICAL GRANITE CURB | | VGC |
| VERTICAL CONCRETE CURB | | VCC |
| EDGE OF PAVEMENT | --- | EOP |
| SIGN | ⊕ | S |
| GUY ANCHOR | ⊕ | GA |
| SEWER LINE | --- | S |
| SEWER FORCE MAIN | --- | FM |
| WATER LINE | --- | W |
| DRAIN LINE | --- | D |
| GAS LINE | --- | G |
| OVERHEAD UTILITIES | --- | OHW |
| U.G. ELEC., TEL., & CABLE | --- | UGETC |
| SEWER MANHOLE | ⊙ | SMH |
| CATCH BASIN | ⊙ | CB |
| WATER GATE | ⊙ | WG |
| UTILITY POLE | ⊙ | UP |
| GAS VALVE | ⊙ | GV |
| LIGHT POLE | ⊙ | LP |
| HYDRANT | ⊙ | H |
| ELECTRIC PULLBOX | ⊙ | EPB |
| CONCRETE SURFACE | ▨ | CS |
| DECIDUOUS TREE | ⊙ | DT |
| CONIFEROUS TREE | ⊙ | CT |
| BOUND | ⊙ | B |
| DRILL HOLE | ⊙ | DH |
| IRON PIN | ⊙ | IP |
| DRAIN MANHOLE | ⊙ | DMH |
| EASEMENT | --- | E |
| ZONE BOUNDARY | --- | ZB |
| SETBACK LINE | --- | SL |
| BUFFER LINE | --- | BL |

MAP 28 LOT 4
MANCHESTER AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

NOTES

- OWNERS OF RECORD: MAP 28 LOT 009-0 & 010-0 CITY OF MANCHESTER AIRPORT ROAD, SUITE 300 MANCHESTER, NH 03103 DEED REFERENCE: BK. 5130 PG. 2103 MAP 28 LOT 010-2 BENTON FAMILY REALTY, LLC 1 HIGHLANDER WAY MANCHESTER, NH 03103 DEED REFERENCE: BK. 6570 PG. 1016
- 28-10-0 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AS OF NOVEMBER 25, 2025 ON TAX MAP 28 LOTS 9,10, & 10-4 IN THE TOWN OF LONDONDERRY AS SHOWN HEREON AND NO OTHER PURPOSE.
- CURRENT ZONING IS COMMERCIAL II - C-II COMMERCIAL II LOT SIZE (MIN): 1 ACRE LOT FRONTAGE (MIN): 150 FT BUILDING SETBACKS (MIN) FRONT 60 FT SIDE 30 FT REAR 30 FT GREEN SPACE (MIN): 33% LANDSCAPE PERIMETER BUFFER: 15 FT. (30 FT AT RIGHT-OF-WAY)
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW HAMPSHIRE, ROCKINGHAM COUNTY, COMMUNITY PANEL NUMBER 33015C0315E EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- BENCHMARK USED: NHDOT CONTROL POINT "GELINAS 1946", VERTICAL DATUM NAVD 88.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) MAY DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. IF MORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- THE PROPERTY WILL CONTINUE TO BE SERVED BY THE FOLLOWING: DRAINAGE: PRIVATE, SEWER: LONDONDERRY SEWER DEPARTMENT, WATER: MANCHESTER WATER WORKS, GAS: NATIONAL GRID, ELECTRIC: PSNH, TELEPHONE: FAIRPOINT COMMUNICATIONS, CABLE: COMCAST.
- EXISTING USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES.
- PROPOSED USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES. NO CHANGE.



| | |
|--------|--------|
| 2 OF 5 | 3 OF 5 |
| 4 OF 5 | 5 OF 5 |

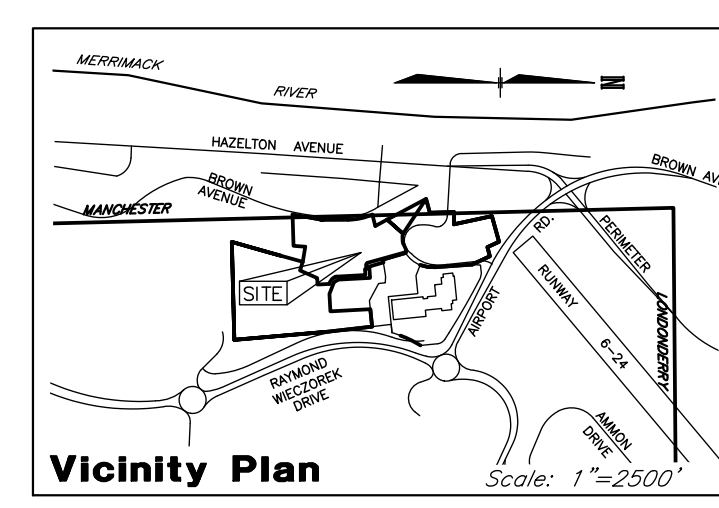
SHEET INDEX

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

811 Dig Safe
MA-ONE-NH-RI-VT

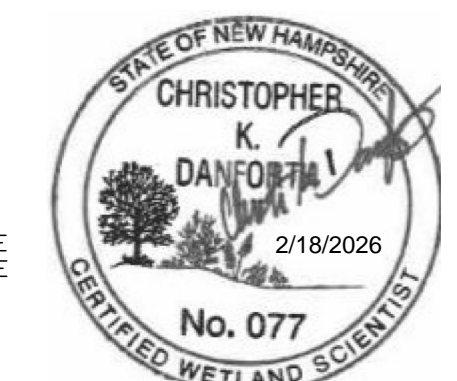
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| REV. | DATE | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRO DRAWN | MRO CHECK |
|------|---------|--|-----------|-----------|
| 1 | 2-17-26 | REVISIONS-ADDITIONS PER 3RD PARTY REVIEW | MRO | MRO |



WETLAND SCIENTIST CERTIFICATION.

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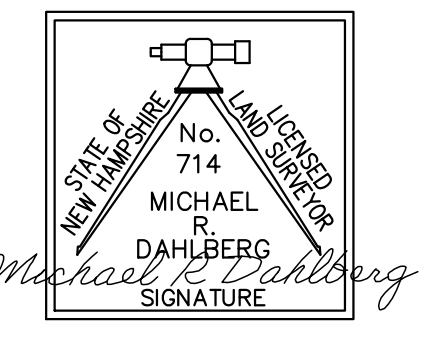
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Michael R Dahlberg
LICENSED LAND SURVEYOR

2-17-26
DATE



TAX MAP 28 LOTS 010-0 & 014-0

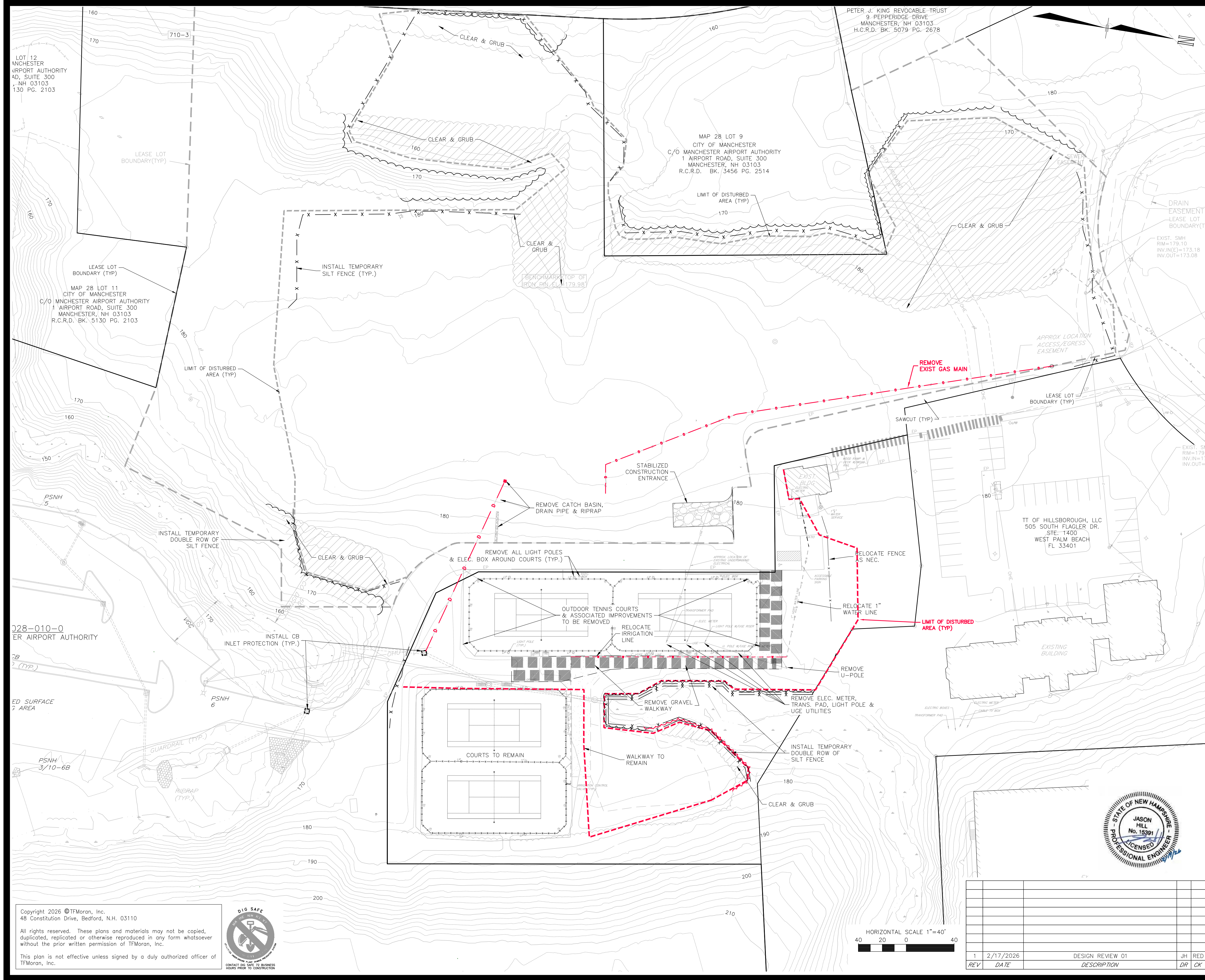
TOPOGRAPHIC EXISTING CONDITIONS PLAN

EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH
OWNER APPLICANT
CITY OF MANCHESTER **BENTON FAMILY TRUST**
1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 03103 1 HIGHLANDER WAY, LONDONDERRY, NH 03053

PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH 03053

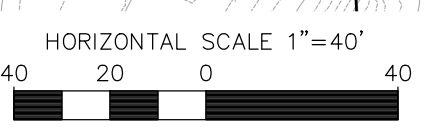
SCALE: 1" = 40' **NOVEMBER 26, 2025**

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| FILE | 17562.06 | DR | MRD | FB | --- | SHEET 5 OF 5 |
| CHK | MRD | CK | MRD | CADFILE | 17562-06 EXC | |



- ### NOTES
1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
 3. STUMPS SHALL NOT BE BURIED ON SITE; STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 4. THE LOCATION OF UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TEMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
 5. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 6. CONSTRUCTION DEBRIS AND ANY INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
 7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELV WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF THEIR INTENTION AT LEAST 48 HOURS IN ADVANCE.

TAX MAP 28 LOTS 9, 10, & 10-4
SITE PREPARATION & DEMOLITION PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
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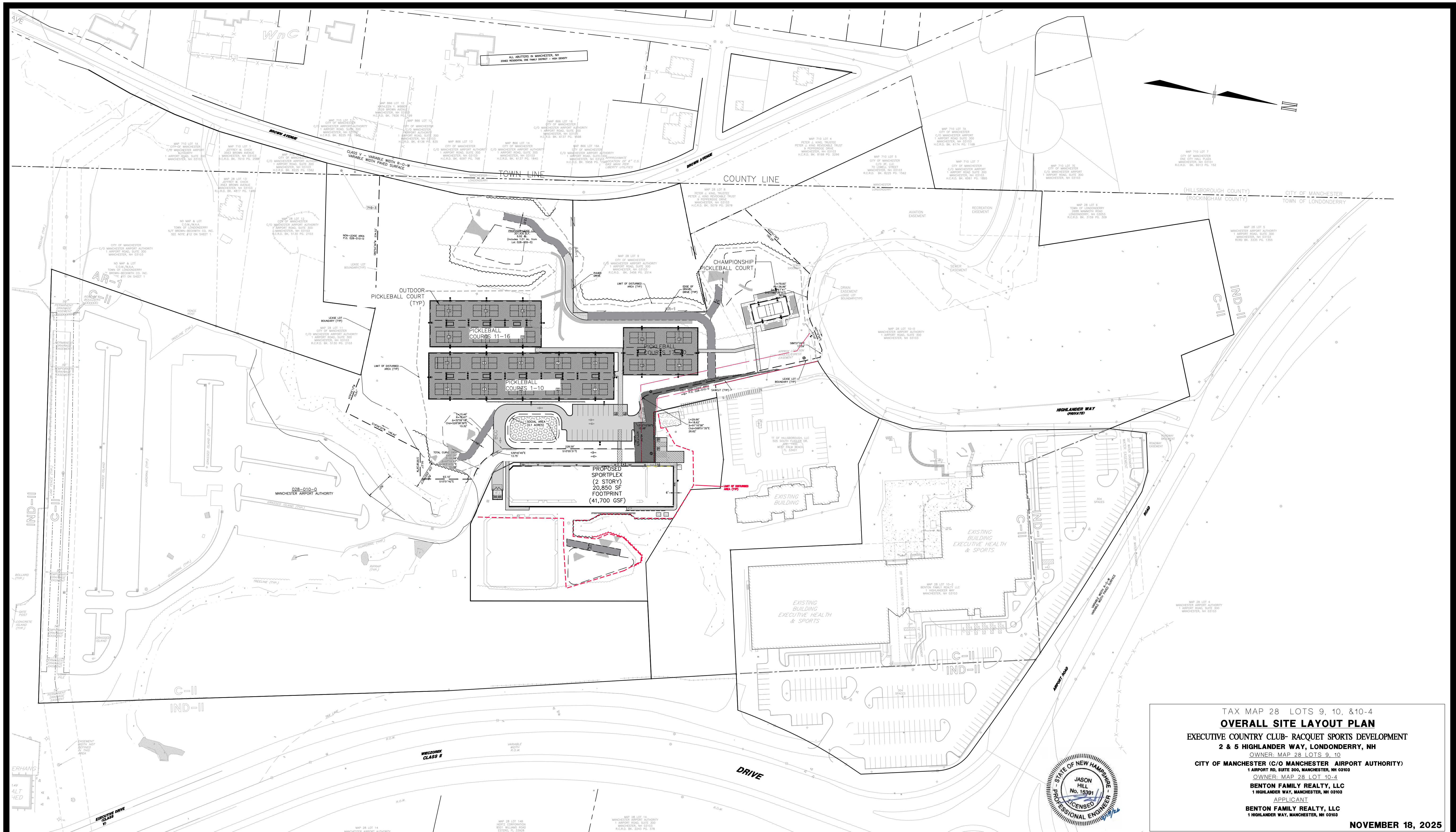
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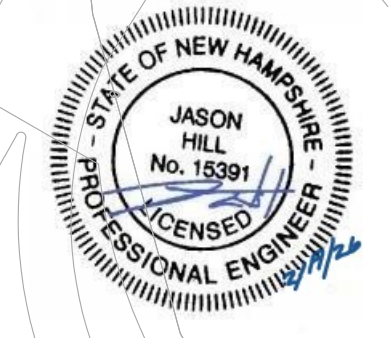
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 Scientists

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17562.06 DR JSH CADFILE 17562-06 SITE C-3



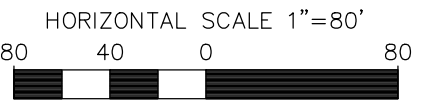
TAX MAP 28 LOTS 9, 10, & 10-4
OVERALL SITE LAYOUT PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
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 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



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APPROVED BY THE LONDONDERRY NH PLANNING BOARD
 ON DATE: _____ FOR PHASE _____
 CERTIFIED BY: _____

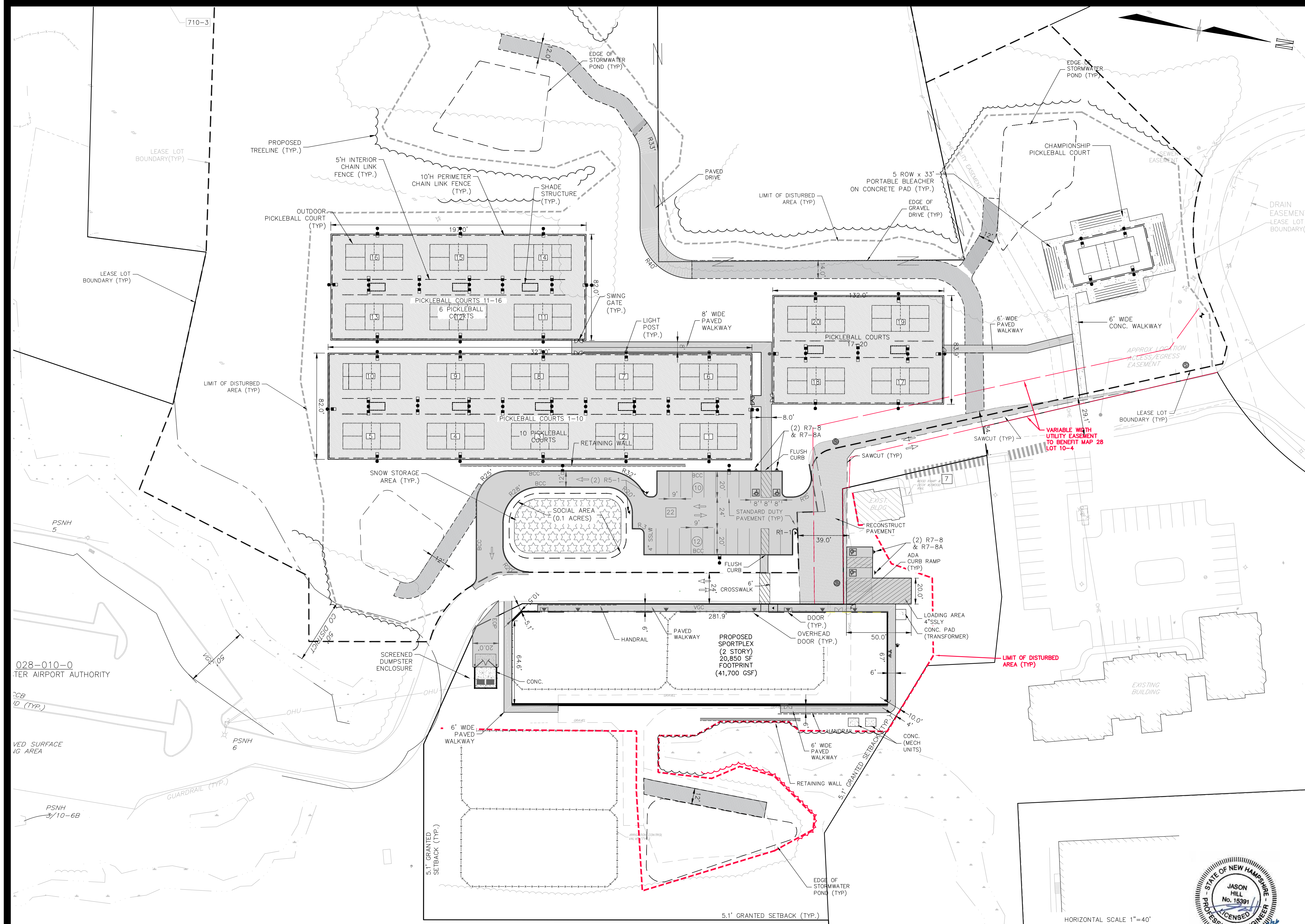


| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17562.06 DR JSH CADFILE 17562-06 SITE C-4

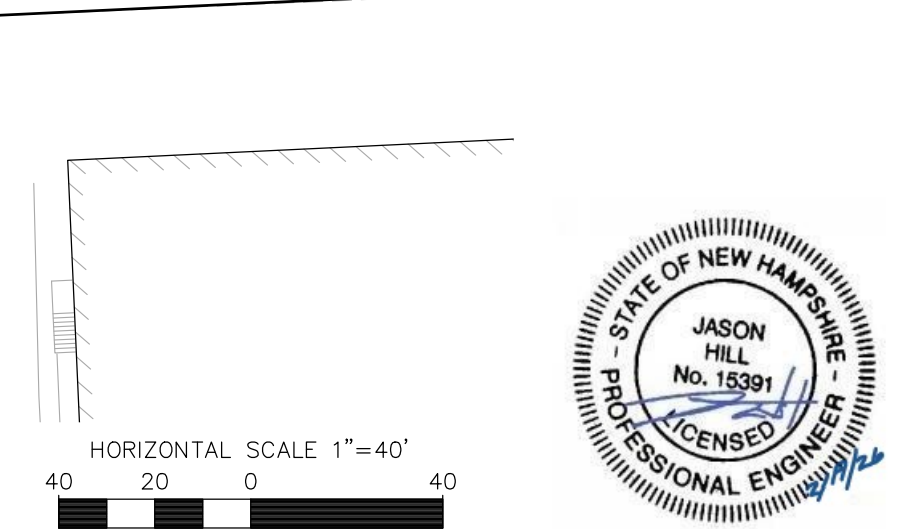


- ### NOTES
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED EXPANSION TO THE EXISTING EXECUTIVE HEALTH & SPORTS CENTER WITH ASSOCIATED SITE IMPROVEMENTS.
 - CURRENT ZONING IS COMMERCIAL II (REQUIRED)

| | | | | | |
|--|--------|-----------------|---------------------|-------------------|------------------------|
| LOT SIZE (MIN): | 1 ACRE | PROVIDED LOT 10 | 30,989 AC. | PROVIDED LOT 10-4 | 2.2 AC |
| LOT FRONTAGE (MIN): | 150 FT | | 440.2' | | 0' |
| BUILDING SETBACKS (MIN) | | | | | |
| FRONT | 60 FT | | 177.4'(LIGHT POLE) | | N/A |
| SIDE | 30 FT | | N/A | | 5.1' VARIANCE GRANTED |
| REAR | 30 FT | | >30' | | N/A |
| MAX. BUILDING HEIGHT: | N/A | | N/A | | <50' |
| MAX. BUILDING COVERAGE: | N/A | | >33% | | 41.7% VARIANCE GRANTED |
| GREEN SPACE (MIN): | 33% | | 0' | | 54.8% |
| LANDSCAPE PERIMETER: 15 FT (30 FT AT RIGHT-OF-WAY) | | | 0' VARIANCE GRANTED | | 0' VARIANCE GRANTED |
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

| | |
|-----------|-----------------------------|
| DRAINAGE | PRIVATE |
| SEWER | TOWN OF LONDONDERRY |
| WATER | MANCHESTER WATER WORKS |
| GAS | LIBERTY UTILITIES |
| ELECTRIC | EVERSOURCE |
| TELEPHONE | CONSOLIDATED COMMUNICATIONS |
| CABLE | COMCAST |
 - IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALE DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY/TOWN ZONING ORDINANCE AND SITE PLAN REGULATIONS.
 - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - ALL WORK IS TO CONFORM TO TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS AND DETAILS (LATEST ADDITION). THESE CONSTRUCTION STANDARDS SHALL TAKE PRECEDENCE IN THE EVENT OF CONFLICTS BETWEEN PLANS, DETAILS OR OTHER DRAWINGS.
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - TRASH COLLECTION WILL BE PRIVATE.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

- ### NOTES (CONTINUED)
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THE APPROVED SITE PLANS SHALL BE ON FILE AT THE TOWN OF LONDONDERRY PLANNING DEPARTMENT.



TAX MAP 28 LOTS 9, 10, & 10-4
SITE LAYOUT PLAN
 EXECUTIVE COUNTRY CLUB-RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

APPROVED BY THE LONDONDERRY NH PLANNING BOARD FOR PHASE _____
 ON DATE: _____
 CERTIFIED BY: _____

OWNER'S SIGNATURE
 _____ DATE _____
 BETNON FAMILY TRUST/EXECUTIVE HEALTH & SPORTS CENTER
 _____ DATE _____
 CITY OF MANCHESTER

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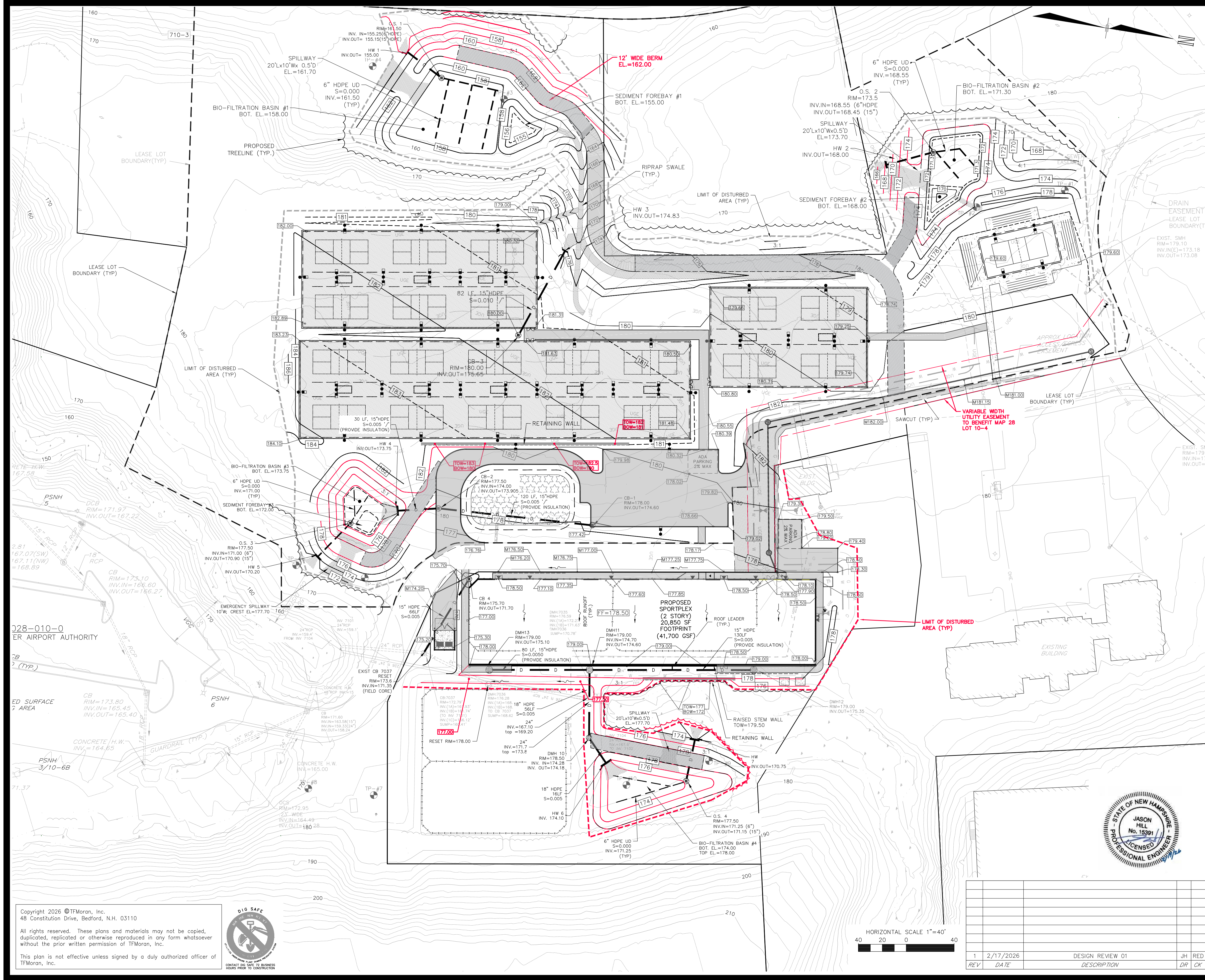


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17562.06 DR JSH CADFILE 17562-06 SITE C-5

TFMORAN Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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- ### NOTES
- ALL WORK SHALL CONFORM TO THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL CONFORM TO TOWN OF LONDONDERRY TYPICAL DETAILS FOR SITE & ROADWAY INFRASTRUCTURE AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT. THE CONTRACTOR SHALL ALSO OBTAIN A LONDONDERRY STORMWATER PERMIT.
 - THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
 - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
 - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
 - COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UNDER THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
 - THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

TAX MAP 28 LOTS 9, 10, & 10-4
GRADING & DRAINAGE PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 500, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



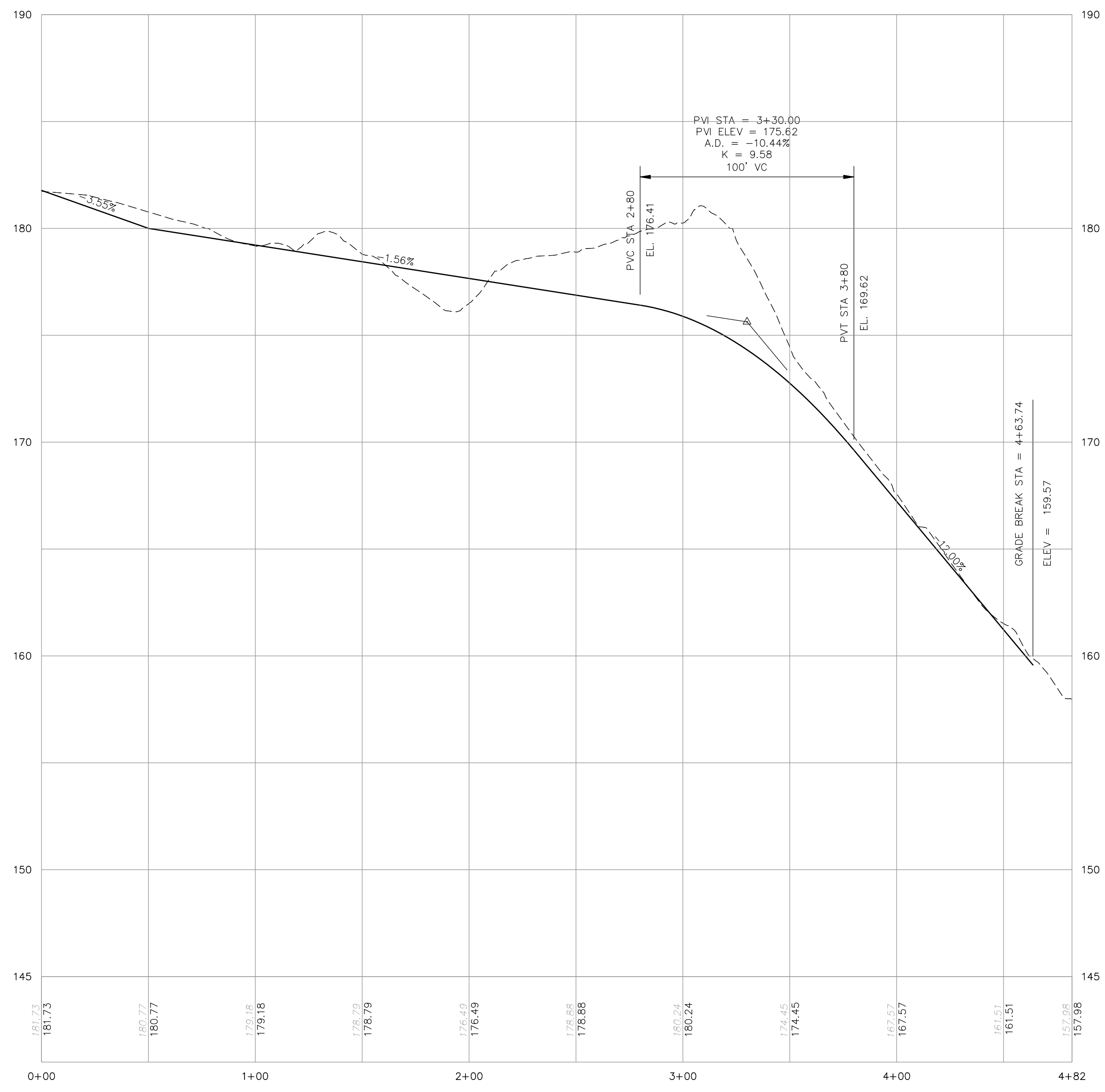
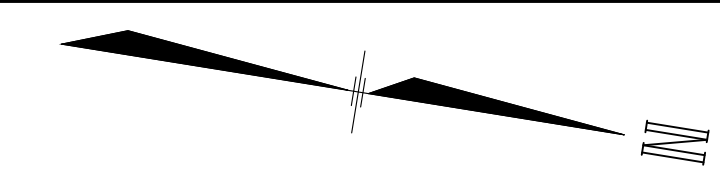
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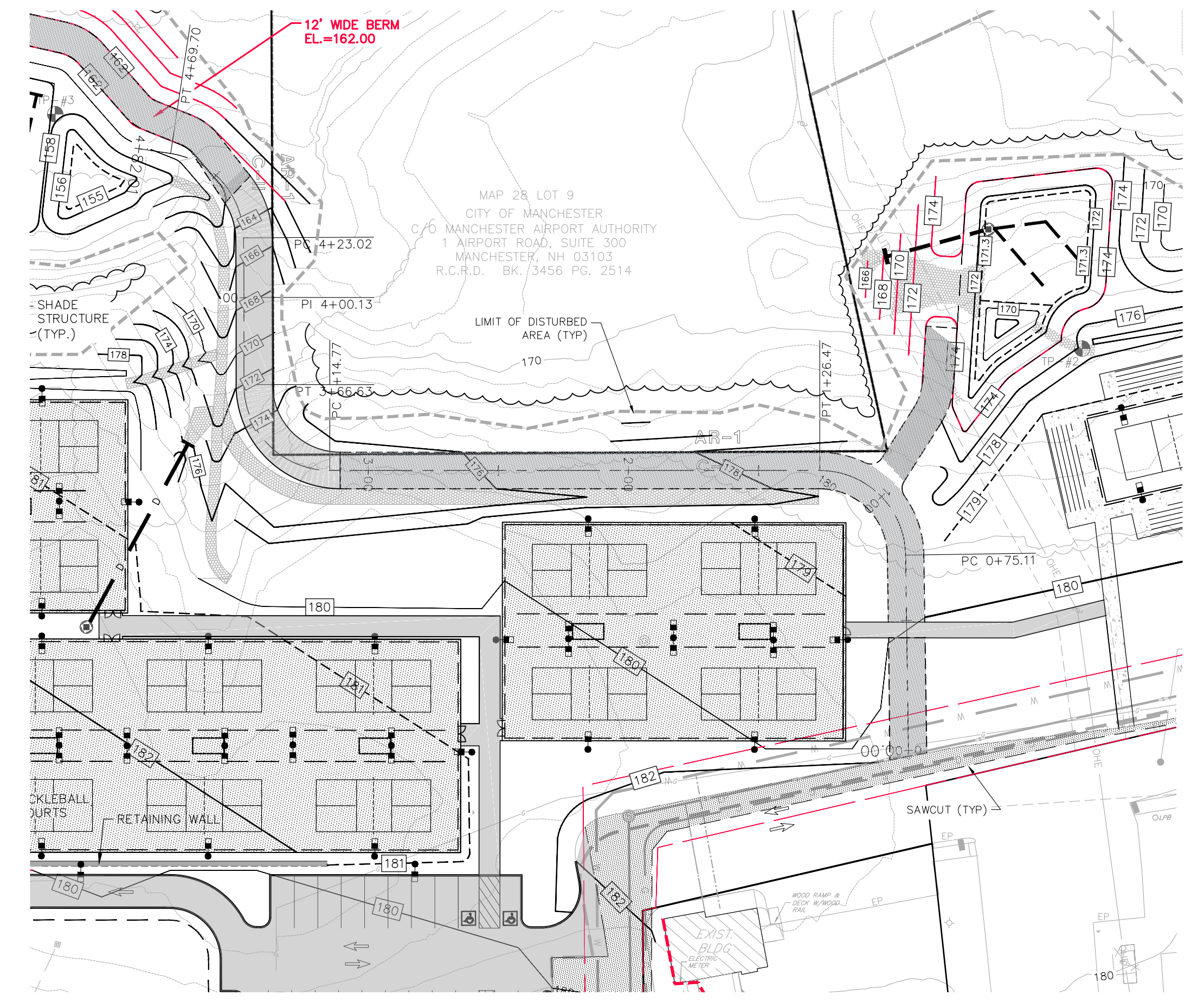
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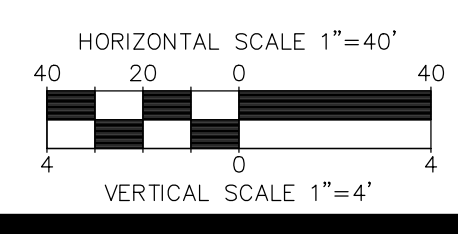


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TAX MAP 28 LOTS 9, 10, & 10-4
DRIVE PROFILE
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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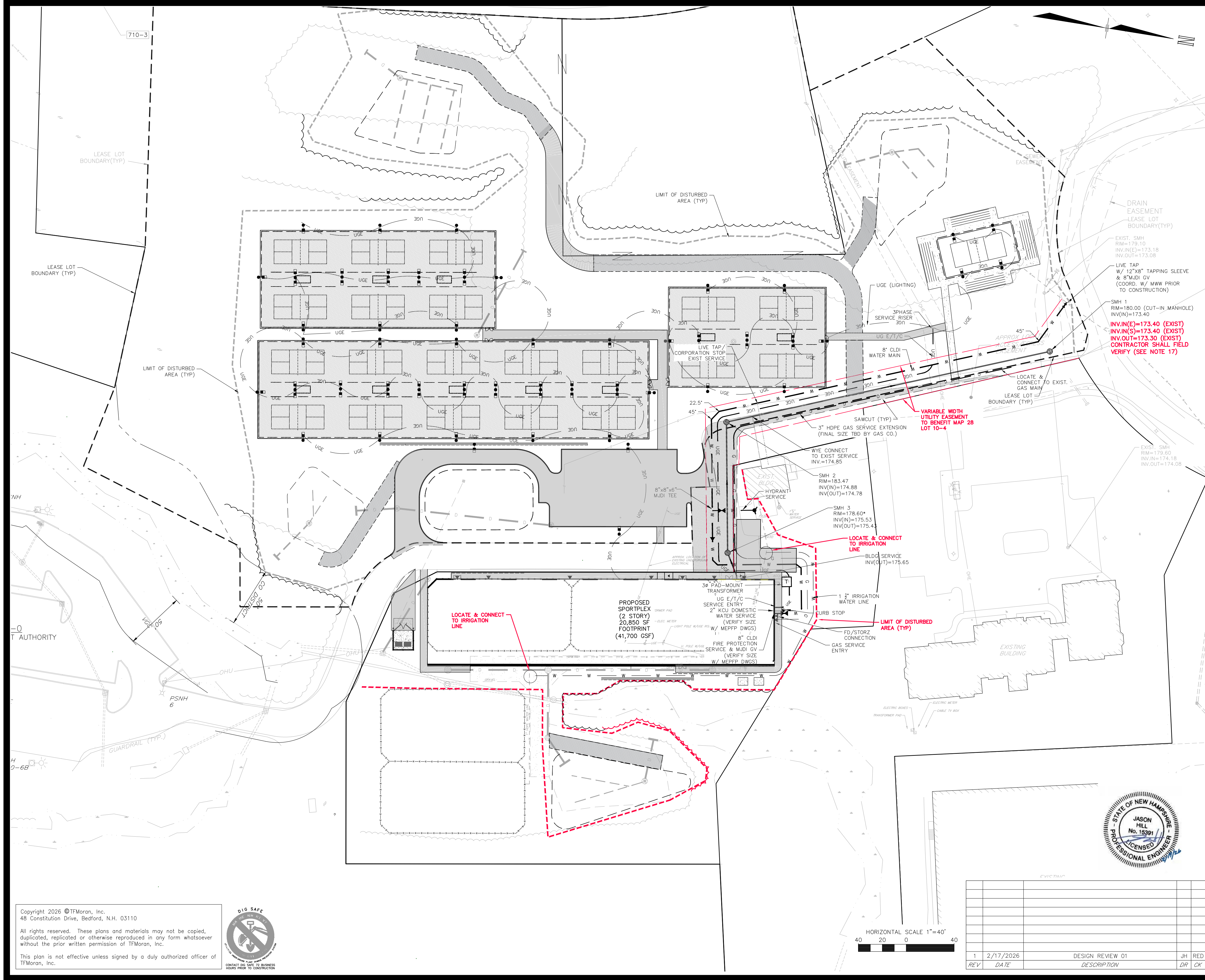


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| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

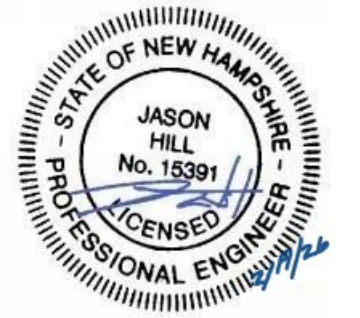
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NOTES

1. ALL WORK SHALL CONFORM TO THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
6. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
7. ON-SITE WATER DISTRIBUTION SHALL BE TO MANCHESTER WATER WORKS CONSTRUCTION STANDARDS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. THRUST BLOCKS SHALL BE USED AT ALL BENDS IN THE WATER MAINS.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
9. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
11. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
13. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
14. THE CONNECTION(S) OF THE PROPOSED SEWER TO THE EXISTING SEWER SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY DEPARTMENT OF ENGINEERING & ENVIRONMENTAL SERVICES PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9:00 AM AND 4:30 PM, MONDAY THRU FRIDAY, WITH A MINIMUM NOTICE OF 2 BUSINESS DAYS.
15. PROPOSED PVC SEWER PIPE SHALL BE PRESSURE TESTED BY AN APPROVED THIRD-PARTY TESTING FIRM WITH TOWN OF LONDONDERRY DEPARTMENT OF ENGINEERING & ENVIRONMENTAL SERVICES PERSONNEL, OR AUTHORIZED REPRESENTATIVE, PRESENT ON SITE AS A WITNESS.
16. ALL SEWER CONSTRUCTION AND USE SHALL CONFORM TO THE NHDES ENV-WQ 700 STANDARDS, THE TOWN OF LONDONDERRY TYPICAL DETAILS FOR SITE & ROADWAY INFRASTRUCTURE AND THE TOWN OF LONDONDERRY SEWER USE ORDINANCE.
17. ANY PROPOSED BYPASS METHOD MUST BE REVIEWED AND APPROVED BY THE DEPARTMENT PRIOR TO THE START OF ANY BYPASS WORK.



TAX MAP 28 LOTS 9, 10, & 10-4
UTILITY PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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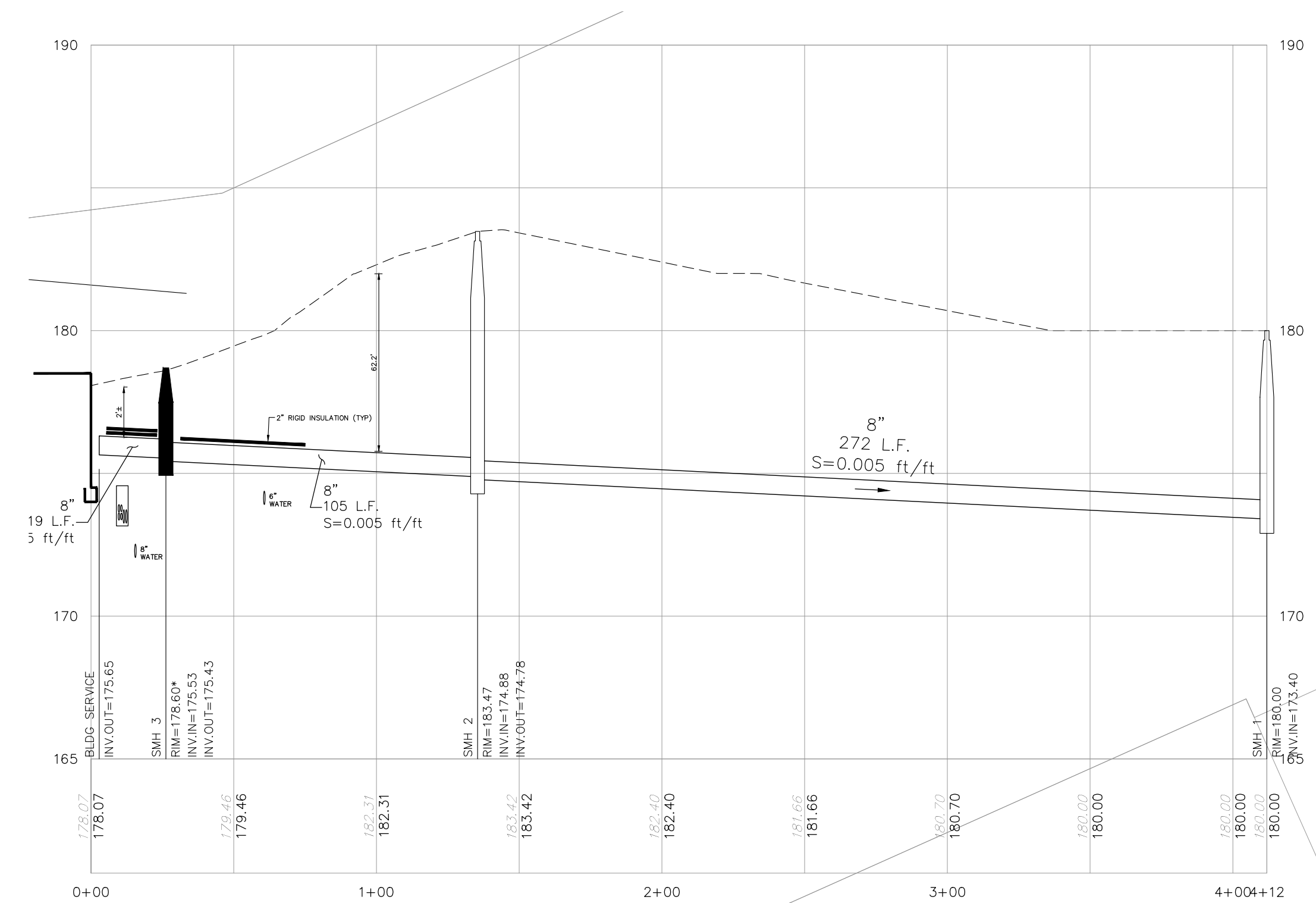


HORIZONTAL SCALE 1"=40'
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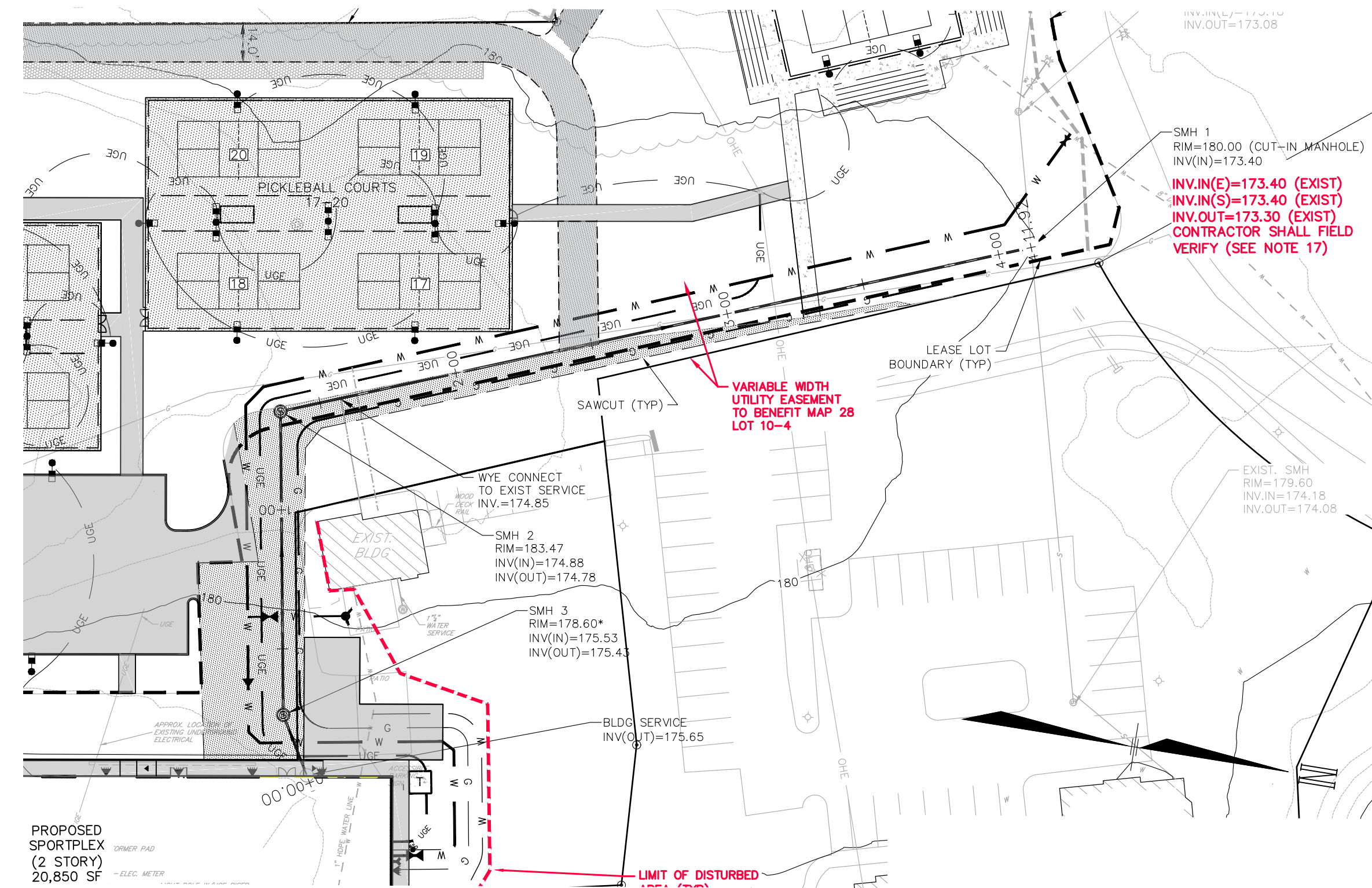
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SEWER PROFILE

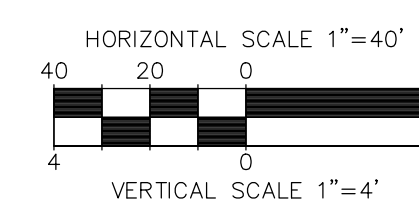


SEWER PROFILE



TAX MAP 28 LOTS 9, 10, & 10-4
SEWER PLAN & PROFILE
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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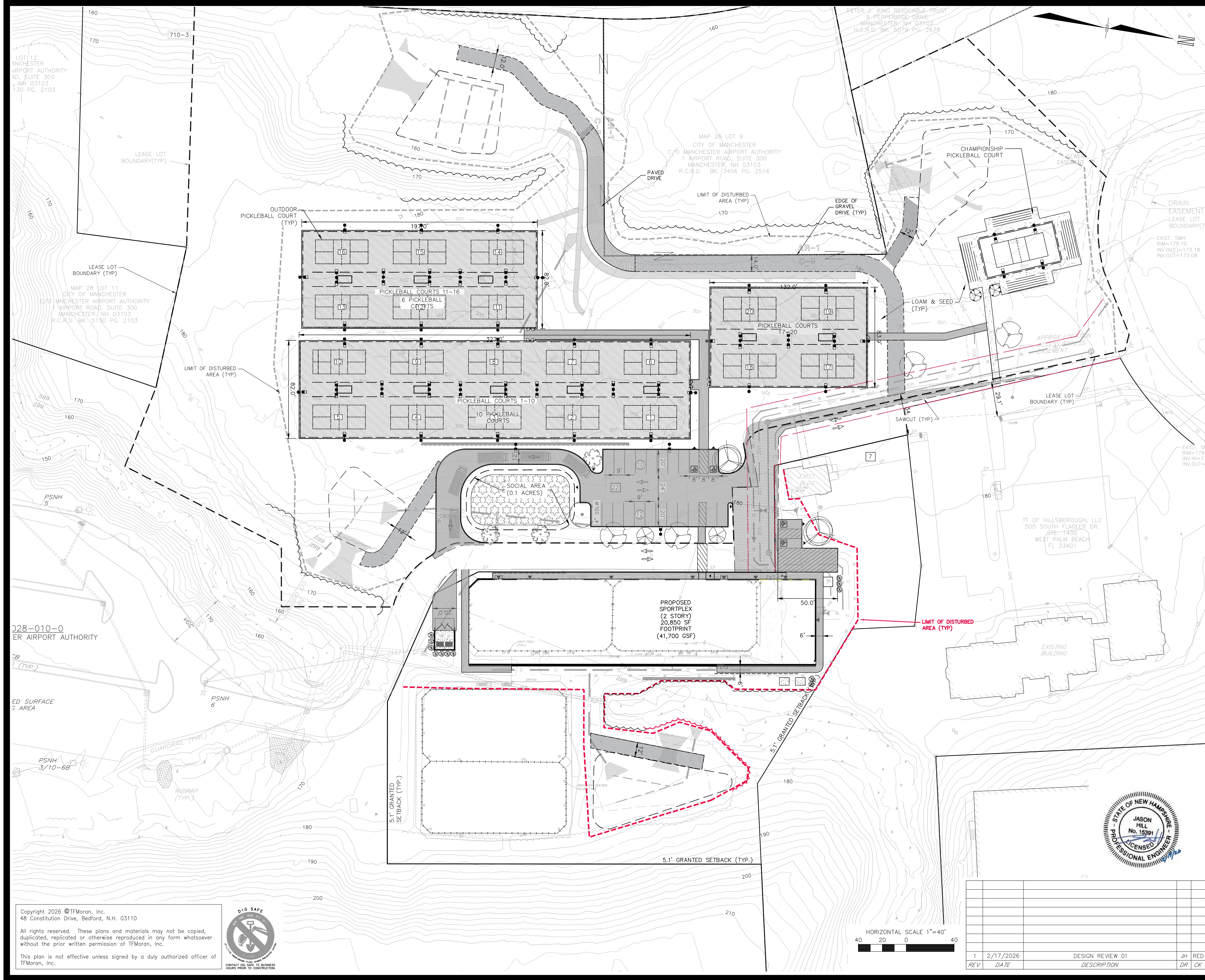


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LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|--------|-----|--|----------------------|---------|
| | 3 | ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE | 2 1/2" TO 3" CAL. | B&B |
| | 2 | BETULA NIGRA 'DURA HEAT' DURA HEAT RIVER BIRCH | 12' TO 14' CLUMP | B&B |
| | 2 | CRATAEGUS CRUSGALLI L. 'CRUSADER' CRUSADER THORNLESS HAWTHORN | 2 1/2" TO 3" CAL. | B&B |
| | 1 | QUERCUS RUBRA RED OAK | 2 1/2" TO 3" CAL. | B&B |
| | 4 | ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM | 2 1/2" TO 3" CAL. | B&B |
| | 2 | SYRINGA VULGARIS COMMON PURPLE LILAC | 3 GAL. | CONT. |
| | 12 | THUJA O. 'SMARAGD' EMERALD GREEN ARBORVITAE | 5' TO 6' | B&B |

LANDSCAPE REQUIREMENTS

GREEN SPACE REQUIREMENT:
 20' GREEN SPACE BUFFER ALONG ROW.
 15' GREEN SPACE BUFFER ALONG SIDE AND REAR LOT LINES.

INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS:
 (3.10g1. OF SITE PLAN REGS)
 FRONT PARKING LOT: 10% LANDSCAPE AREA REQUIRED.
 REQUIRED: FRONT PARKING LOT: 2,105 SF
 PROVIDED: 5,978 SF
 SIDE PARKING LOT: 8% LANDSCAPE AREA
 REQUIRED: SIDE PARKING LOT: N/A
 PROVIDED: N/A
 REAR PARKING LOT: 5% LANDSCAPE AREA
 REQUIRED: SIDE PARKING LOT: N/A
 PROVIDED: N/A

INTERNAL PARKING LOT LANDSCAPING:
 (3.10g3. OF SITE PLAN REGS)
 1 TREE/15 PARKING SPACES (24 SPACES/15) = 2 TREES
 TOTAL TREES REQUIRED = 2
 TOTAL TREES PROVIDED = 3

PARKING LOT PERIMETER LANDSCAPING:
 (3.10g5. OF SITE PLAN REGS)
 1 SHADE TREE/20' OF PARKING PERIMETER = 120 L.F./20' = 6 SHADE TREES
 TOTAL TREES REQUIRED = 6
 TOTAL TREES PROVIDED = 7

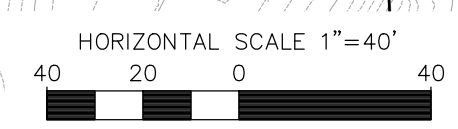
- ### LANDSCAPE NOTES (SEE DETAILS FOR ADDITIONAL NOTES)
- GENERAL**
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERSEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
 - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) [FORMERLY THE AMERICAN ASSOCIATION OF NURSEYMEN] IN THE AMERICAN STANDARD FOR NURSERY STOCK (AS AMENDED) [ANSI Z60.1-1996].
 - ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBEROUS, COMPACT ROOT SYSTEM.
 - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
 - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
 - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."
- GUARANTEE**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

TAX MAP 28 LOTS 9, 10, & 10-4

LANDSCAPE PLAN

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
 BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
 BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

NOVEMBER 18, 2025



| REV | DATE | DESCRIPTION | DR | CK |
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| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

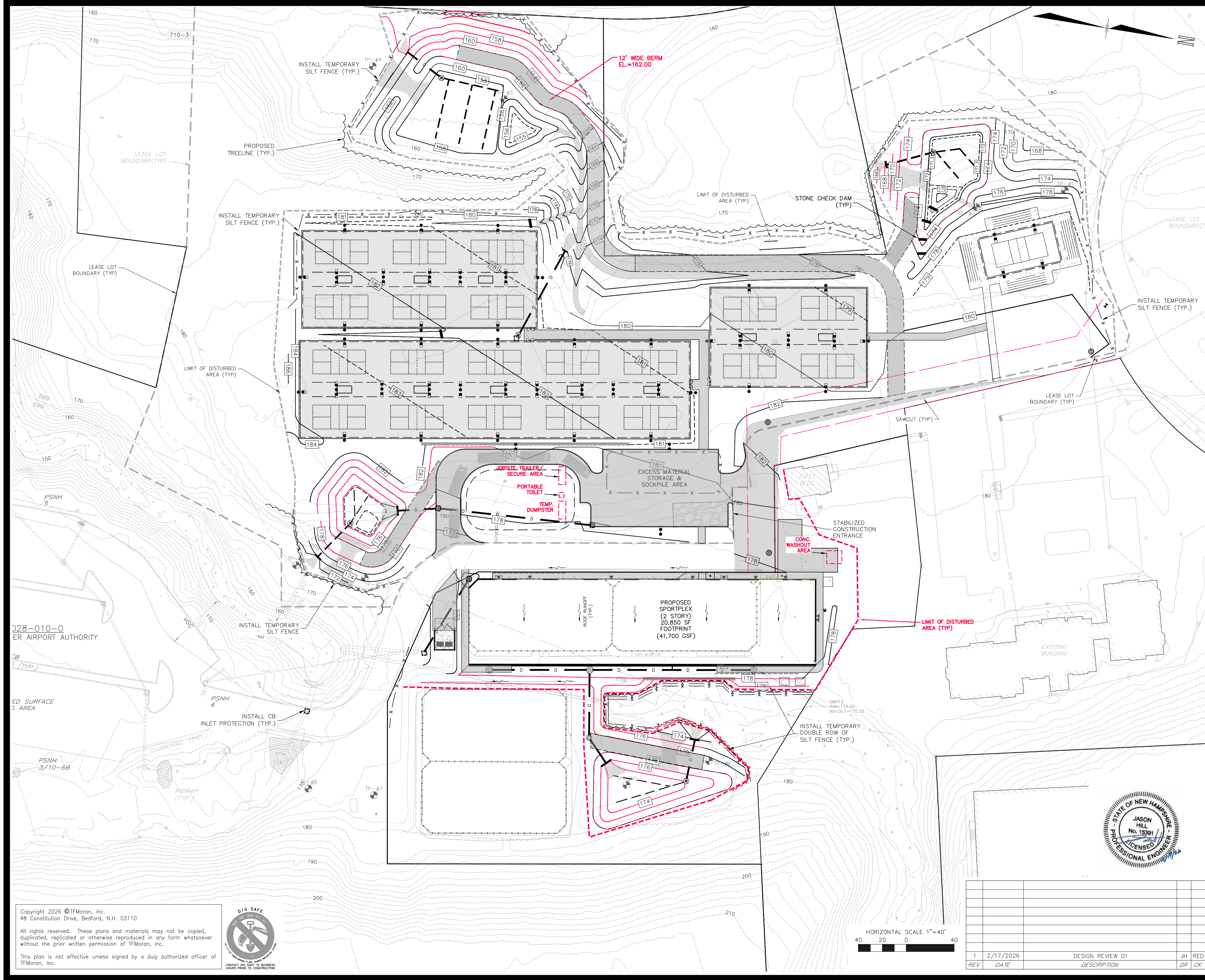
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TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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17562.06 DR JSH CADFILE 17562-06 SITE C-10



- ### NOTES
- SEE NOTES ON SHEET C-2, EROSION CONTROL NOTES ON SHEET C-11, EROSION CONTROL DETAILS ON SHEET C-13, AND THE APPROVED SWPPP, AS APPLICABLE.
 - INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
 - PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
 - DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
 - THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
 - CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
 - PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 - ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
 - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
 - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
 - THE TOWN SHOULD RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - TURTLES MAY BE ATTRACTED

028-010-0
ER AIRPORT AUTHORITY

PSNH 5

ED SURFACE
AREA

PSNH 3/10-6B

PSNH 6

GUARDRAIL (TYP.)

RIPRAP (TYP.)

TP-#7

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HORIZONTAL SCALE 1"=40'

40 20 0 40



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TAX MAP 28 LOTS 9, 10, & 10-4

EROSION CONTROL PLAN

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103

OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103

NOVEMBER 18, 2025

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
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17562.06 DR JSH CADFILE 17562-06 SITE C-11

SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSISTS OF WINDSOR-URBAN LAND COMPLEX, UDORTHTENS AND URBAN LAND-HOOSC COMPLEX. WINDSOR-URBAN LAND COMPLEX IS A HSG (HYDROLOGIC SOIL GROUP) A SOIL. UDORTHTENS AND URBAN LAND-HOOSC ARE AN UNDEFINED SOIL GROUP.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 243,500 SQUARE FEET (5.59 ACRES). CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

- 1. INSTALL PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SITE DEVELOPMENT PLANS, PERMITS, OR SWPPP IF REQUIRED, PRIOR TO EARTH MOVING OPERATIONS.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. INSTALL SWALES BEFORE ROUGH GRADING THE SITE.
4. COMPLETE MAJOR GRADING OF SITE.
5. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
6. CONSTRUCT PARKING LOT.
7. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
8. CONSULT APPLICABLE REGULATIONS, PERMITS, CONDITIONS, AND APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- 1. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE, AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- 1. STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDE AT ONE TIME. (5 AC MAX)
3. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
4. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
5. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
6. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
7. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
8. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

- 1. SILT SOCKS
A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

Table with 3 columns: PHYSICAL PROPERTY, TEST, REQUIREMENTS. Rows include PH, PARTICLE SIZE, MOISTURE CONTENT.

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

- A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.

C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

- A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

- B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

- 1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4", THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND ROLLEED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.

- 2. ALL LARGE STIFF CLOUDS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.

- 3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.

- 4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.

- 5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDDED.

- 6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.

- 7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

- 8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.

- 9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN, IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

- 10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

- 11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDD, AND ALL NOXIOUS WEEDS REMOVED.

- 12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.

- 13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

- A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

Table with 2 columns: MULCH, RATES. Rows include WINTER RYE (FALL SEEDING), OATS (SPRING SEEDING), MULCH.

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.

- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

Table with 2 columns: PROPERTY, VALUE. Rows include GRAB STRENGTH, MULLEN BURST STRENGTH.

- D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN

GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.

- 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

- 3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

FOR SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT, THEN LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

WASTE DISPOSAL

- 1. WASTE MATERIALS ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSITER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

- 2. HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

- 3. SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

- 1. MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS: THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

- 2. PRODUCT SPECIFICATION PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS: ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT OCCURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

(DCT25-2469) NH FISH & GAME CONSERVATION MEASURES

- 1. MITIGATION REQUIREMENTS INCLUDED WITH NHFG'S REVIEW AND RECOMMENDATIONS ARE CONSISTENT WITH AN AGREEMENT BETWEEN THE TOWN OF LONDONDERRY AND NHFG THAT WAS ENTERED INTO EFFECT ON MAY 28, 2019 (ATTACHED) THAT REQUIRES A MITIGATION FEE FOR EACH INDIVIDUAL PROJECT THAT OCCURS WITHIN A PREDEFINED AREA WITHIN LONDONDERRY. PER RSA 212-A:16, A MITIGATION FEE OF NO LESS THAN \$5,214.06 SHALL BE MADE PAYABLE TO THE NEW HAMPSHIRE FISH & GAME DEPARTMENT FOR NEGATIVE IMPACTS TO NEW ENGLAND COTTONTAIL, A STATE-ENDANGERED SPECIES. THE MEMO FIELD SHALL IDENTIFY "NONGAME AND ENDANGERED WILDLIFE PROGRAM, DCT25-2469". THIS CHECK SHALL BE ISSUED AND SUBMITTED TO NHFG FOLLOWING PERMIT APPROVAL AND SHALL BE RECEIVED PRIOR TO ANY WORK OCCURRING ON THE SITE. THE CHECK MAY BE DROPPED OFF IN PERSON OR MAILED TO NHFG - NONGAME AND ENDANGERED WILDLIFE PROGRAM, ATTN: MICHAEL MARCHAND, 11 HAZEN DRIVE, CONCORD, NH 03301-6500. PLEASE INCLUDE THE NH# (DCT25-2469) AND A DESCRIPTION OF WHAT THE CHECK IS FOR WITH THE SUBMITTAL. *THE MITIGATION FEE IS BASED ON A DISTURBANCE AREA OF 260,703 SQ. FT. IF THE DISTURBANCE AREA IS GREATER THAN 260,703 SQ. FT., NHFG SHALL BE CONTACTED IMMEDIATELY. THE APPLICANT SHALL BE RESPONSIBLE FOR PAYMENT OF TOTAL DISTURBANCE AREA AND MAY BE SUBJECT TO ADDITIONAL FEES OR CONSERVATION MEASURES.

- 2. THE FOLLOWING SPECIES HAVE BEEN IDENTIFIED THROUGH THE DATACHECK TOOL SCREENING AS BEING POTENTIALLY AFFECTED BY ACTIVITIES AT THIS LOCATION: NEW ENGLAND COTTONTAIL (STATE ENDANGERED), BLANDING'S TURTLE (STATE ENDANGERED), EASTERN HOGNOSE SNAKE (STATE ENDANGERED), EASTERN MEADOWLARK (STATE THREATENED), GRASSHOPPER SPARROW (STATE THREATENED), SPOTTED TURTLE (STATE THREATENED), AND NORTHERN BLACK RACER (STATE THREATENED). ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THIS SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THIS SPECIES, ALONG WITH NHFG CONTACT INFORMATION. SEE PLAN SHEET C-21.

- 3. RARE SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT NHFG IMMEDIATELY AND NHFG CONTACT INFORMATION) SHALL BE COMMUNICATED DURING MORNING MEETINGS PRIOR TO WORK COMMENCEMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT. SEE PLAN SHEET C-21.

- 4. OBSERVATIONS OF NORTHERN BLACK RACER AND EASTERN HOGNOSE SNAKE SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM. PLEASE CONTACT MELISSA WINTERS AND BRENDAN CLIFFORD VIA GROUP TEXT PREFERRED. A PHOTOGRAPH WITH TEXT WILL BE PROVIDED IF FEASIBLE. SEE SPECIES FLYERS, SEE PLAN SHEET C-21 FOR NHFG CONTACT INFORMATION.

- 5. TURTLES AND SNAKES MAY BE ATTRACTED TO DISTURBED GROUND DURING THE NESTING SEASON (MAY 15TH - JULY 15TH). TURTLE AND SNAKE NESTS ARE PROTECTED BY NH LAWS (RSA 212-B:4, FIS 1401.03) IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT MELISSA WINTERS AND BRENDAN CLIFFORD FOR SNAKES AND JOSH MCGEYSEY FOR TURTLES AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION. SEE SPECIES FLYERS, SEE PLAN SHEET C-21 FOR NHFG CONTACT INFORMATION.

- A. TO MINIMIZE THE POTENTIAL FOR NESTING TO OCCUR WITHIN THE PROJECT SITE:
I. MINIMIZE GROUND DISTURBANCE ACTIVITIES DURING THE ACTIVE NESTING SEASON. LIMIT CLEARING AREAS AND DISTURBING GROUND UNTIL READY TO START ACTIVE CONSTRUCTION FOR A PROJECT COMPONENT.
II. MINIMIZE TRAFFIC AND WALKING ON WILDLIFE FOR NESTING FOR DISTURBED GROUND AREAS DURING ACTIVE NESTING SEASON. SOIL/SANDY CONDITIONS OR OPEN SANDY/GRAVELLY AREAS WITHIN THE ACTIVE PROJECT SITE SHALL BE COVERED WITH TARPS OR OTHER CONSTRUCTION MATERIALS AT THE END OF THE WORK DAY (NOTE TURTLES CAN MOVE INTO A SITE OVERNIGHT TO NEST - BE OBSERVANT OF TRACKS AND NESTING SIGNS).
III. THE NEST OR SUSPECTED NEST SHALL BE MARKED (SURROUNDING ROPED OFF OR CONE BUFFER DEPLOYED) AND AVOIDED; THIS SHALL BE COMMUNICATED TO ALL PERSONNEL ON SITE.
IV. SITE ACTIVITIES SHALL NOT OCCUR IN THE AREA SURROUNDING THE NEST OR SUSPECTED NEST UNTIL FURTHER GUIDANCE IS PROVIDED BY NHFG.

- 6. THE APPLICANT SHALL NOTIFY NHFG 30 DAYS PRIOR TO STARTING CONSTRUCTION ACTIVITIES. NHFG SHALL HAVE THE OPPORTUNITY TO ATTEMPT TO TRAP AND RELOCATE ANY RABBITS THAT MAY BE ON SITE.

- 7. CATCH BASINS AND OUTLET CONTROL STRUCTURES SHALL NOT CONTAIN SUMPS AND SHALL HAVE GRATE OPENINGS NO LARGER THAN 2" X 2".

- 8. OUTLET CONTROL STRUCTURES SHALL NOT BE PLACED ADJACENT TO THE SIDE SLOPES BUT RATHER AS FAR AWAY AS POSSIBLE TO DETER WILDLIFE FROM CRAWLING onto THEM AND FALLING THROUGH THE GRATE OPENINGS. THESE STRUCTURES SHALL BE A MINIMUM OF 12"-18" ABOVE GRADE AND BE SET BACK AT LEAST 3' FROM ADJACENT SLOPES.

- 9. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES. SEE PLAN SHEET C-14.

- 10. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV, WITH THE EMAIL SUBJECT LINE CONTAINING THE NH# DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER, THE PROJECT NAME, AND THE TERM WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.

- 11. IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.

- 12. THESE CONSERVATION MEASURES DO NOT CONSTITUTE COMPLIANCE WITH THE FEDERAL ENDANGERED SPECIES ACT (ESA). THERE MAY BE OCCURRENCES OF FEDERALLY LISTED SPECIES IN NEW HAMPSHIRE THAT ARE NOT INCLUDED ON THE DATACHECK LETTER. PLEASE VISIT THE US FISH AND WILDLIFE SERVICE'S (USFWS) INFORMATION FOR PLANNING AND CONSULTATION WEBSITE (IPAC: HTTPS://PAGE.ECOSYSTEMS.FWS.GOV/) FOR AN OFFICIAL LIST OF FEDERALLY LISTED SPECIES THAT MAY BE PRESENT IN YOUR PROJECT AREA. IF A FEDERAL AGENCY IS INVOLVED IN YOUR PROJECT THROUGH FUNDING, PERMIT, OR OTHER AUTHORIZATION, COORDINATE YOUR IPAC RESULTS WITH YOUR POINT OF CONTACT AT THE AGENCY FOR FURTHER ESA REVIEW. IF THERE IS NO FEDERAL AGENCY NEXUS TO YOUR PROJECT, AND YOU DETERMINE THROUGH IPAC, HABITAT EVALUATIONS, ETC. THAT A PROJECT MAY CAUSE TAKE OF A FEDERALLY LISTED SPECIES, WE RECOMMEND COORDINATING WITH THE USFWS' NEW ENGLAND FIELD OFFICE (NEWENGLAND@FWS.GOV; 603-223-2541).

- 13. A NATIVE SEED MIXTURE SHOULD AS CROWNED VETCH, BIRD'S-FOOT TREFOIL, ALSIKE CLOVER, OXEYE DAISY AND FLATPEA.

- 14. NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

TAX MAP 28 LOTS 9, 10, &10-4
EROSION CONTROL NOTES
EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT:
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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Table with 2 columns: FILE, REV. Row 1: 17562.06, DR JSH, CK RED, CADFILE, 17562-06 SITE, C-12

LIGHTING CALCULATIONS

PARKING SPACES AT COMPETITION COURT
 Illuminance (Fc)
 Average = 2.19
 Maximum = 3.3
 Minimum = 0.4
 Avg/Min Ratio = 5.48
 Max/Min Ratio = 8.25

LARGE PARKING LOT
 Illuminance (Fc)
 Average = 2.59
 Maximum = 4.2
 Minimum = 1.1
 Avg/Min Ratio = 2.35
 Max/Min Ratio = 3.82

COMPETITION COURT
 Illuminance (Fc)
 Average = 64.46
 Maximum = 69.5
 Minimum = 55.6
 Avg/Min Ratio = 1.16
 Max/Min Ratio = 1.25

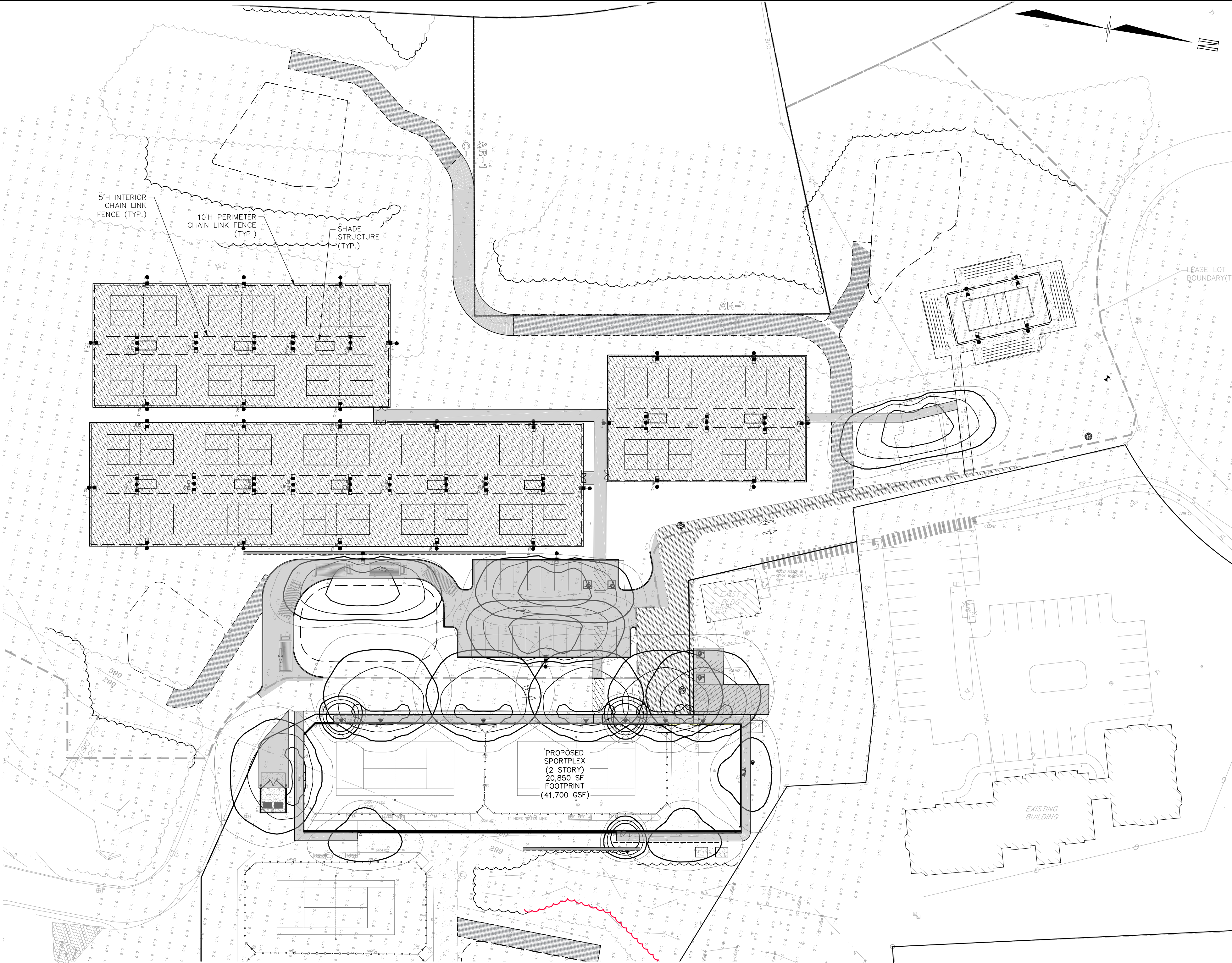
TYPICAL COURT
 FOUR COURT AREA - COURT 20
 Illuminance (Fc)
 Average = 39.29
 Maximum = 50.1
 Minimum = 24.1
 Avg/Min Ratio = 1.63
 Max/Min Ratio = 2.08

TYPICAL INNER COURT
 TEN COURT AREA - COURT 8
 Illuminance (Fc)
 Average = 41.01
 Maximum = 53.3
 Minimum = 25.2
 Avg/Min Ratio = 1.63
 Max/Min Ratio = 2.12

TYPICAL END COURT 1
 TEN COURT AREA - COURT
 Illuminance (Fc)
 Average = 40.85
 Maximum = 51.2
 Minimum = 28.3
 Avg/Min Ratio = 1.44
 Max/Min Ratio = 1.81

TYPICAL CENTER COURT
 SIX COURT AREA - COURT 15
 Illuminance (Fc)
 Average = 40.28
 Maximum = 52.3
 Minimum = 26.5
 Avg/Min Ratio = 1.52
 Max/Min Ratio = 1.97

TYPICAL END COURT
 SIX COURT AREA - COURT 16
 Illuminance (Fc)
 Average = 40.24
 Maximum = 50.2
 Minimum = 27.3
 Avg/Min Ratio = 1.47
 Max/Min Ratio = 1.84



NOTES

1. LIGHTING PLAN AND CALCULATIONS PREPARED BY EXPOSURE LIGHTING.



LSI - MIRADA MEDIUM (MRM)

POLE MOUNTED 20' ABOVE F.G. NOT TO SCALE



LSI - ZONE MEDIUM (ZNM)

POLE MOUNTED 20' ABOVE F.G. NOT TO SCALE



LSI - STEEL POLES

SQUARE STRAIGHT POLE NOT TO SCALE



LSI - SLIM WALL PACK (WPSLS)

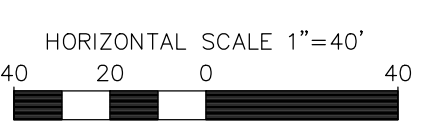
WALL MOUNTED 8' ABOVE F.G. NOT TO SCALE



LSI - MIRADA MEDIUM WALL SCNCE (XWM)

WALL MOUNTED 18' ABOVE F.G. NOT TO SCALE

| Symbol | Qty | Label | Arrangement | Description | Tag | [MANUFAC] |
|--------|-----|-------|-------------|--|----------------------|----------------------|
| ☐ | 4 | CC-1 | Single | ZNM-55L-CT-UNV-40-ALSC-ALSC02-CXX / 4SQ B3-S11G20-S-CXX-AB-4BC | 20' POLE | LSI INDUSTRIES, INC. |
| ☐ | 3 | MD | Single | WPSLS-ZL-40-PCIXXX-BLK | WALL MOUNT 8' AFG | LSI INDUSTRIES, INC. |
| ☐ | 4 | P-1 | Single | MRM-LED-09L-SIL-3-UNV-DIM-40-70CRI-CXX-ALSC-ALSC02-IL / 4SQ B3 S11G20 S CXX AB 4BC | 20' POLE | LSI INDUSTRIES, INC. |
| ☐ | 20 | RC-1 | Single | ZNM-36L-CT-UNV-40--ALSC-ALSC02-CXX-IH / 4SQ B3 S11G20 S CXX AB 4BC | 20' POLE | LSI INDUSTRIES, INC. |
| ☐ | 17 | RC-2 | Back-Back | ZNM-36L-CT-UNV-40-ALSC-ALSC02-CXX / 4SQ B3 S11G20 D180 CXX AB 4BC | 20' POLE | LSI INDUSTRIES, INC. |
| ☐ | 6 | RC-3 | Single | ZNM-36L-FT-UNV-40--ALSC-ALSC02-CXX-IH / 4SQ B3 S11G20 S CXX AB 4BC | 20' POLE | LSI INDUSTRIES, INC. |
| ☐ | 3 | W1 | Single | XMS-LED-02L-SIL-2-UNV-DIM-30-70CRI-ALSC02 | WALL MOUNTED 18' AFG | LSI INDUSTRIES, INC. |
| ☐ | 6 | WM | Single | XWM-4-LED-6L-40-UE-BLK-ALSC02 | WALL MOUNTED 18' AFG | LSI INDUSTRIES, INC. |



| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

TAX MAP 28 LOTS 9, 10, &10-4
LIGHTING PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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17562.06 DR JSH CADFILE 17562-06 SITE C-13

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CONSTRUCTION SEQUENCE NOTES

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
- DEMOLISH EXISTING STRUCTURES.
- ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.

AN AREA SHALL BE CONSIDERED STABILIZED IF:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED, OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- CONSTRUCT CULVERTS, DETENTION BASINS AND TREATMENT SWALES, PLACE HEADWALLS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS/BASINS PRIOR TO DIRECTING FLOW TO THEM.

- INSTALL ALL UNDERGROUND UTILITIES.
- CONSTRUCT BUILDINGS.
- CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY AND IMMEDIATELY AFTER STORM EVENTS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.

* REFER TO THE STORM WATER MANAGEMENT PLAN FOR EROSION CONTROL MEASURES AND SPECIFIC INFORMATION.

GENERAL NOTES

- ALL IN PAVEMENT MANHOLES SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- WHERE DEPTH OF COVER IS LESS THAN 3 FEET CLASS V REINFORCED CONCRETE PIPE SHALL BE USED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
- REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
- THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
- TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
- AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
- IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
- LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

- PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTINGS, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
- APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
- USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
- INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
- SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

EROSION CONTROL NOTES

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

- INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

TEMPORARY LAWN MIX (MIN. 47 LBS/ACRE):
 100% ANNUAL RYE

WILDFLOWER SLOPE (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

38% CREEPING RED FESCUE (MIN. 60 LBS/ACRE)
 32% PERENNIAL RYEGRASS (MIN. 51 LBS/ACRE)
 5% REDTOP (MIN. 8 LBS/ACRE)
 5% ALSIKE CLOVER (MIN. 8 LBS/ACRE)
 5% BIRDSFOOT TREFLOIL (MIN. 8 LBS/ACRE)
 3% LANCE-LEAF COREOPSIS (MIN. 3 LBS/ACRE)
 3% OXEYE DAISY (MIN. 3 LBS/ACRE)
 3% BUTTERFLY WEED (MIN. 3 LBS/ACRE)
 3% BLACKKEYED SUSAN (MIN. 3 LBS/ACRE)
 3% WILD LUPINE (MIN. 3 LBS/ACRE)

GENERAL SLOPE (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

44% CREEPING RED FESCUE (MIN. 70 LBS/ACRE)
 38% PERENNIAL RYEGRASS (MIN. 60 LBS/ACRE)
 6% REDTOP (MIN. 10 LBS/ACRE)
 6% ALSIKE CLOVER (MIN. 10 LBS/ACRE)
 6% BIRDSFOOT TREFLOIL (MIN. 10 LBS/ACRE)

- PLACING LOAM ON SITE
 - ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED. ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- SEED BED PREPARATION
 - AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAD IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS, WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

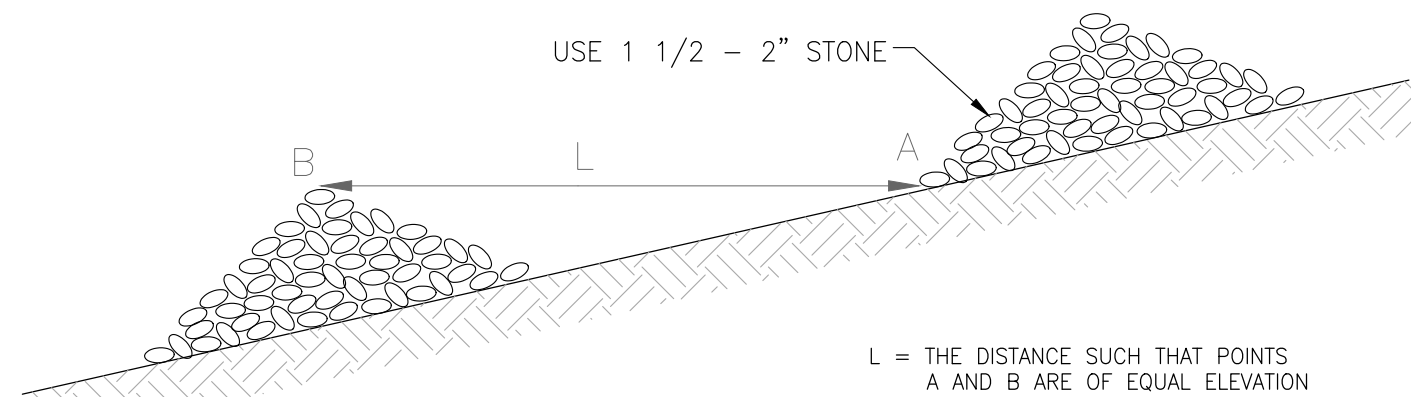
STOCKPILE NOTES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS, SUCH AS SILT FENCE OR SILT SOCK, TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- INACTIVE STOCKPILES
 - INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
 - INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE COVERED.
- ACTIVE STOCKPILES
 - ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

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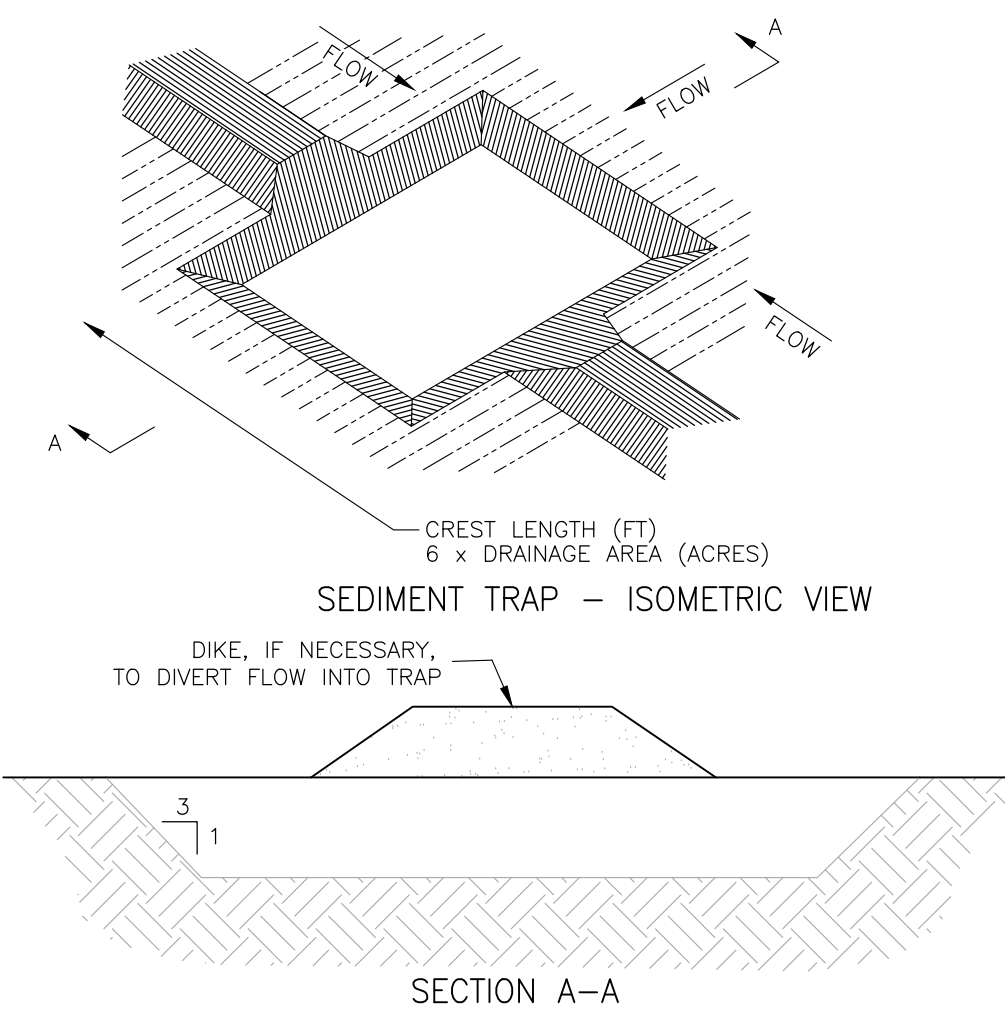
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STONE CHECK DAM

NOT TO SCALE

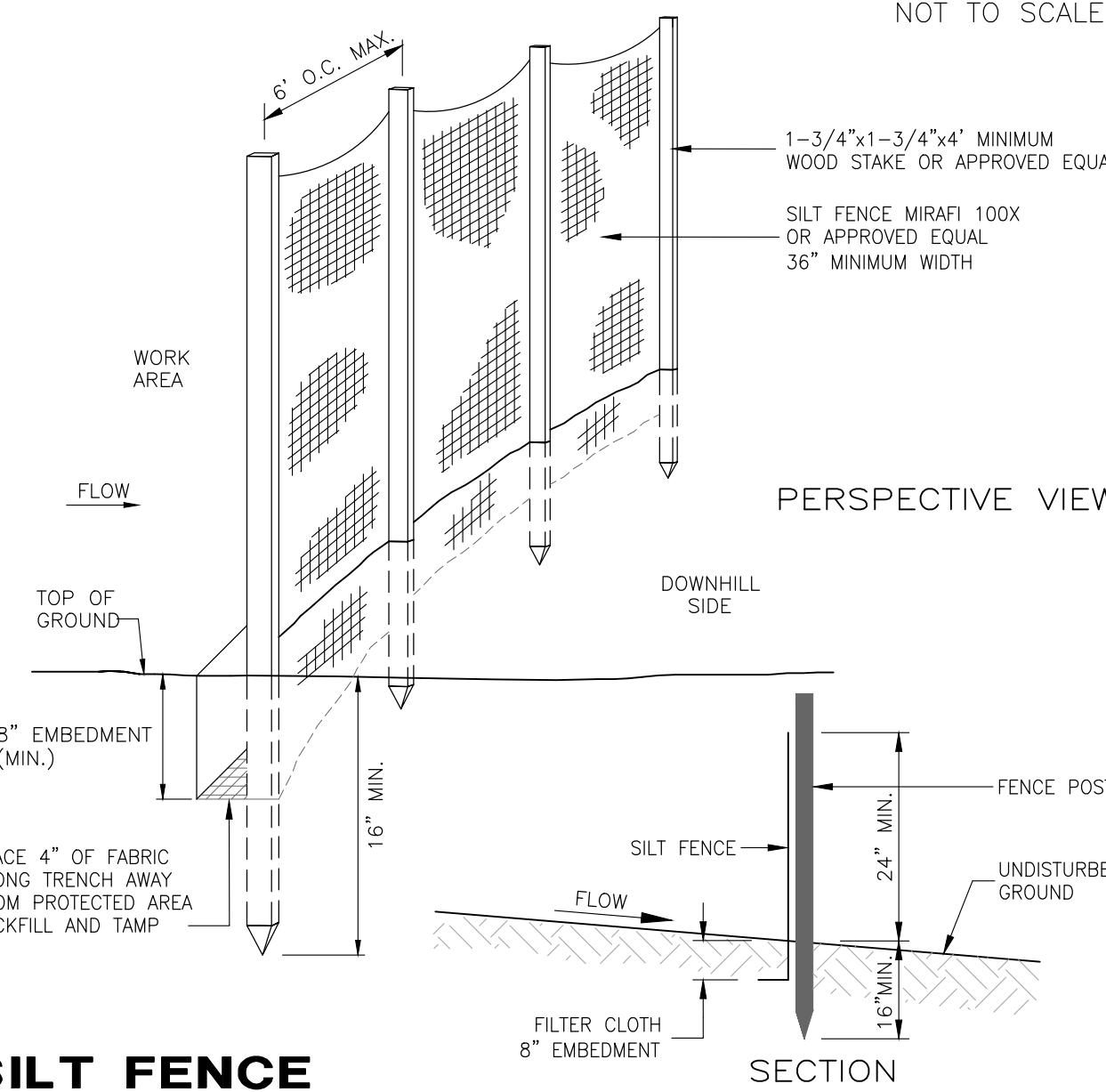


NOTES

- SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

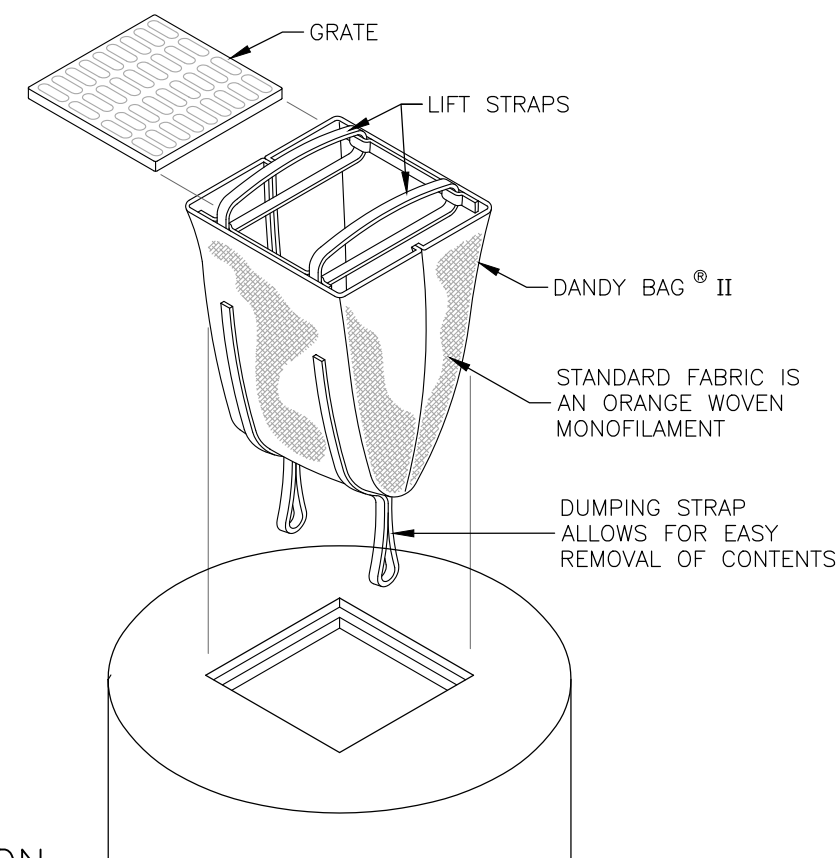
SEDIMENT TRAP

NOT TO SCALE



SILT FENCE

NOT TO SCALE



INSTALLATION

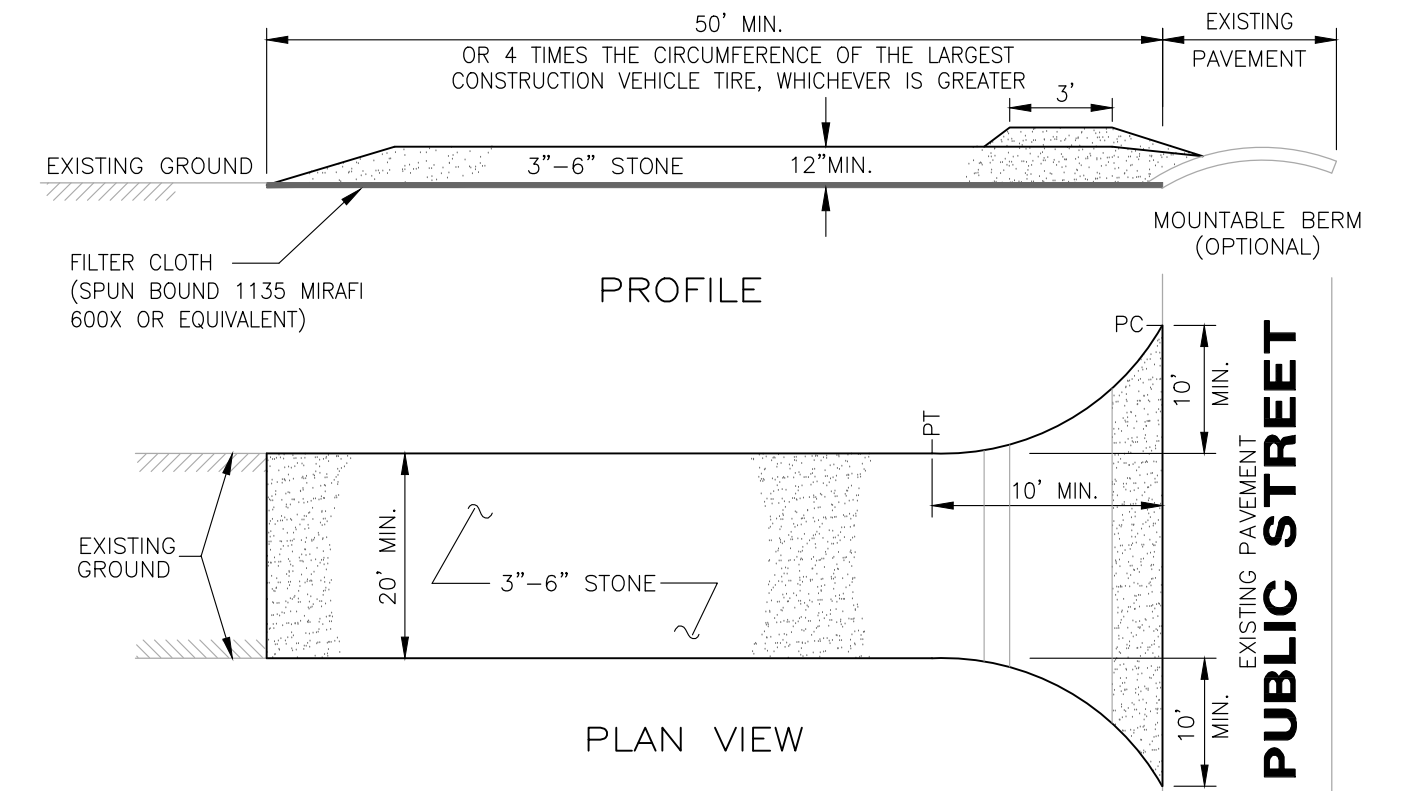
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLON IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG II

NOT TO SCALE



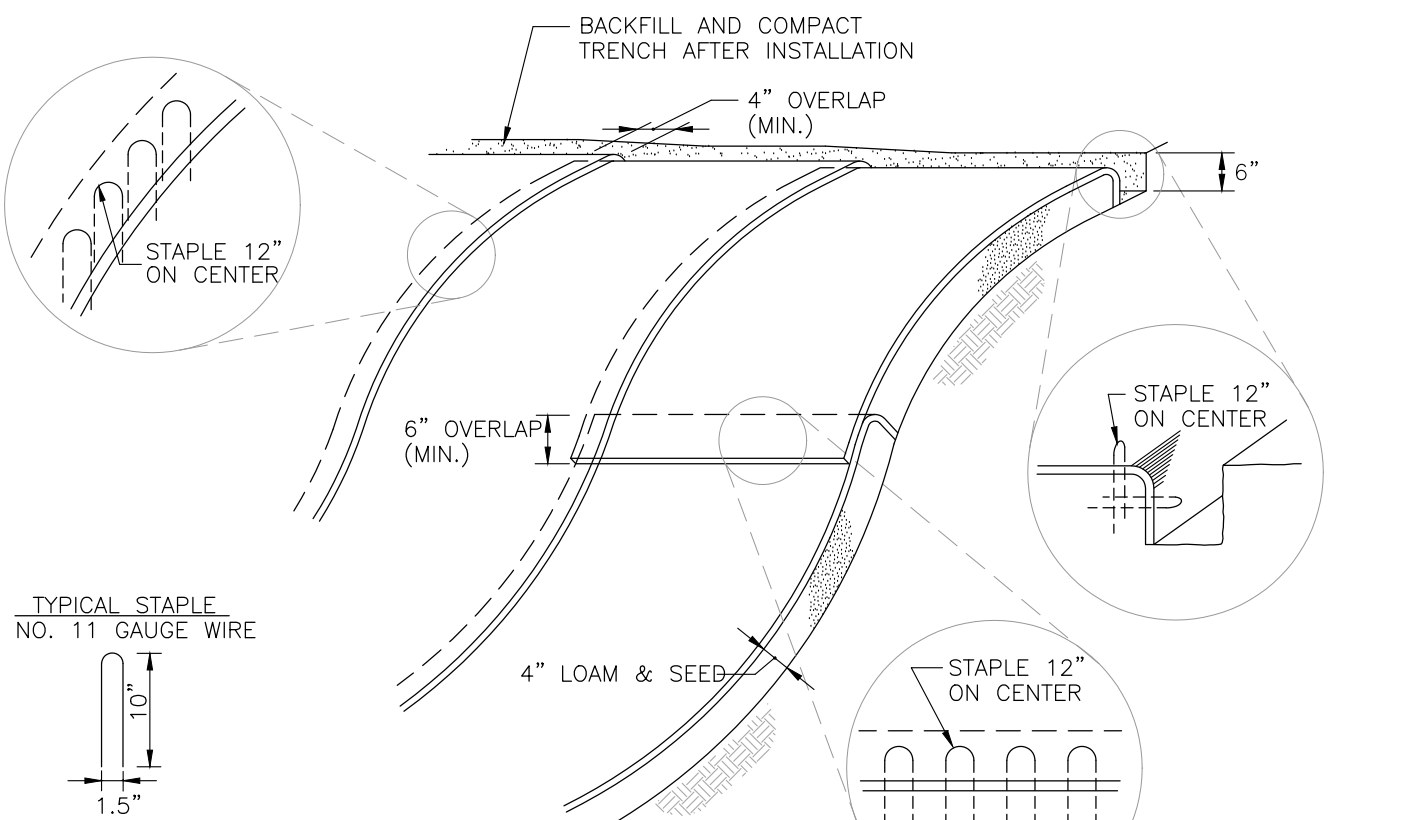
NOTES

- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA - SCS STABILIZED CONSTRUCTION ENTRANCE

SEE PLAN FOR PROPOSED LOCATION

NOT TO SCALE



NOTES

- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
- BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURILEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BID-OCF 30, OR APPROVED EQUAL.
- THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONO-FILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL UTILIZED.

BLANKET SLOPE PROTECTION

FOR EROSION CONTROL

NOT TO SCALE

TAX MAP 28 LOTS 9, 10, & 10-4

DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT

2 & 5 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)

1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103

OWNER: MAP 28 LOT 10

BENTON FAMILY REALTY, LLC

1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT

BENTON FAMILY REALTY, LLC

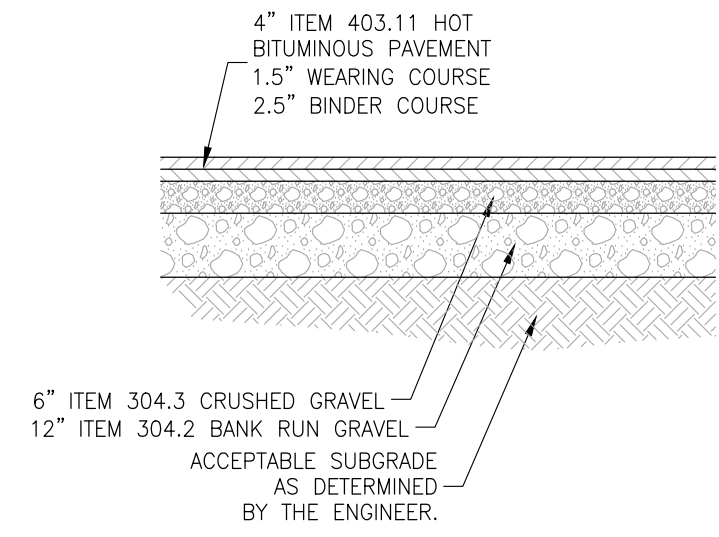
1 HIGHLANDER WAY, MANCHESTER, NH 03103

NOVEMBER 18, 2025



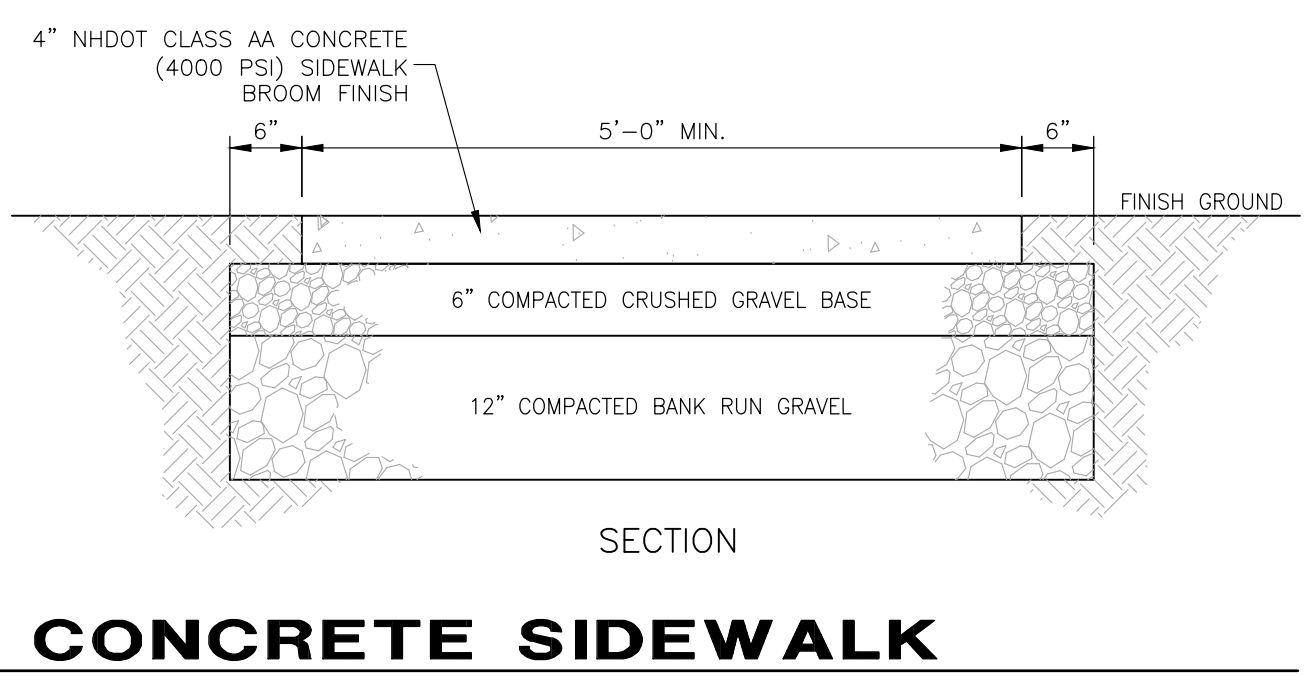
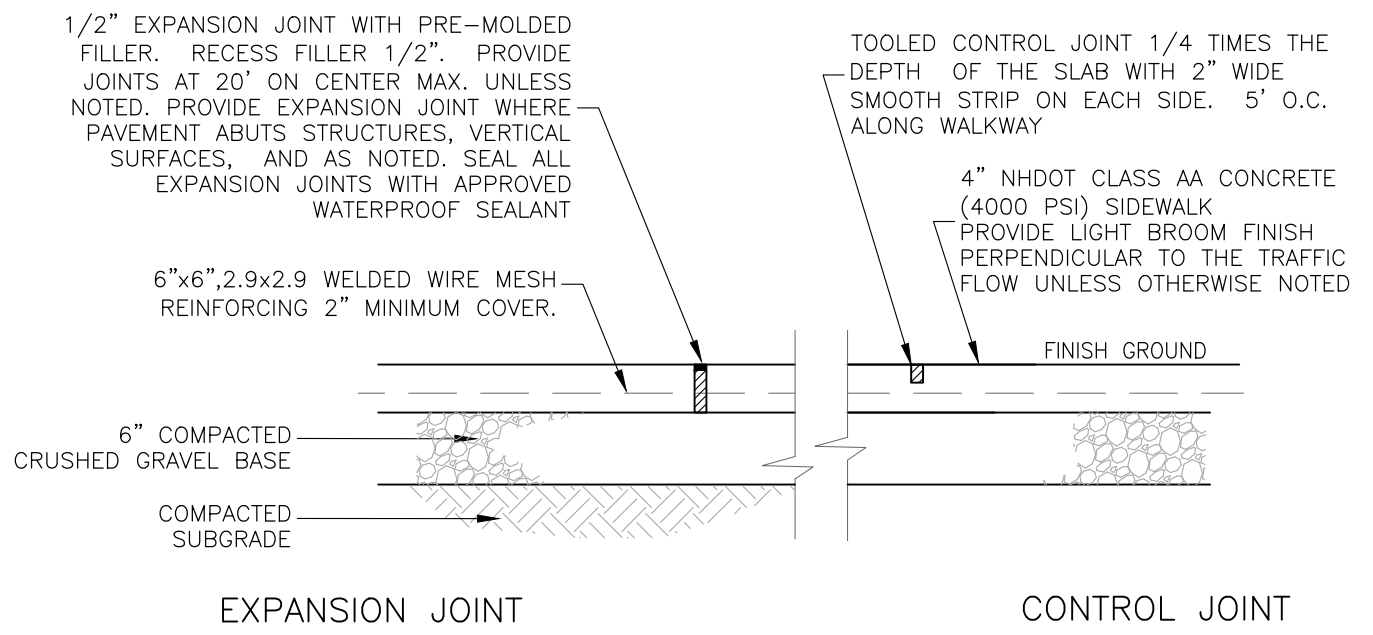
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| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

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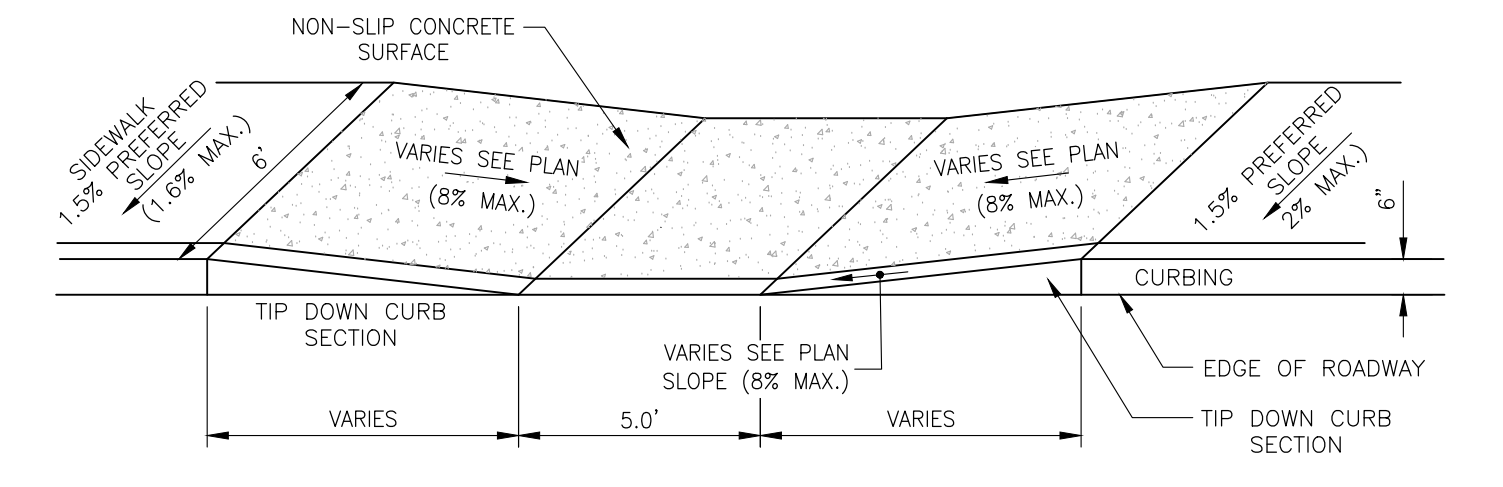


NOTES:
 REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.
 ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

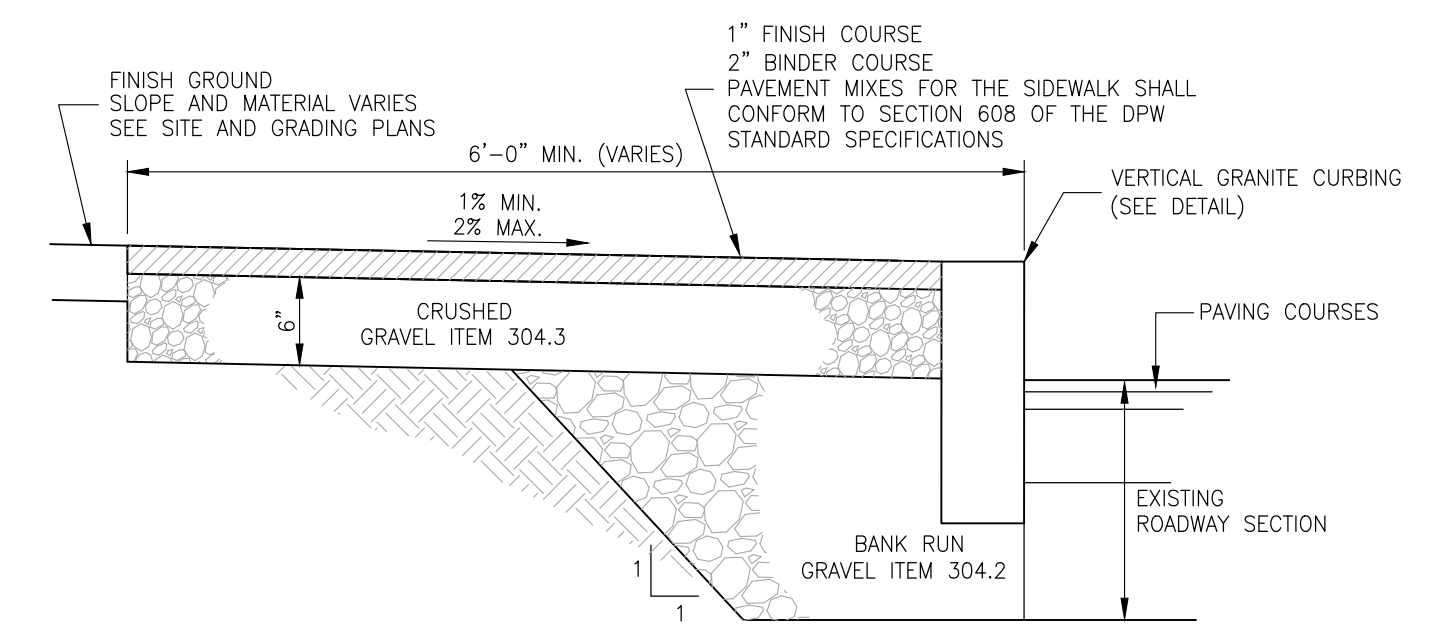
TYPICAL PAVEMENT SECTION
 NOT TO SCALE



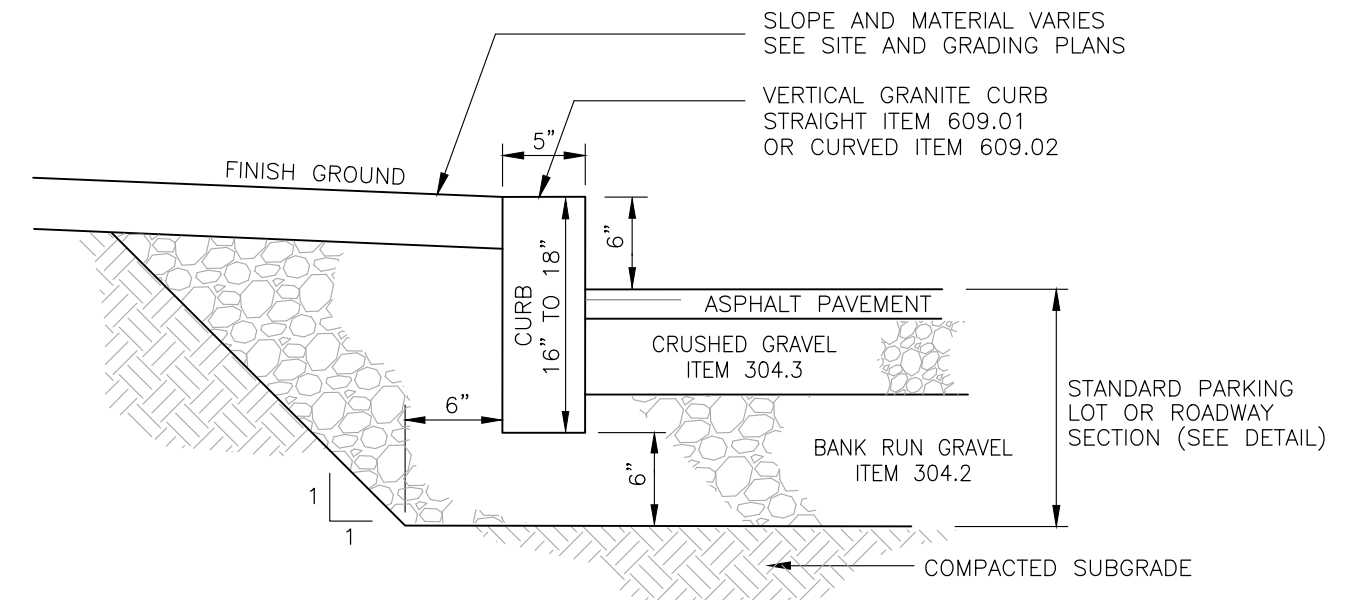
CONCRETE SIDEWALK
 NOT TO SCALE



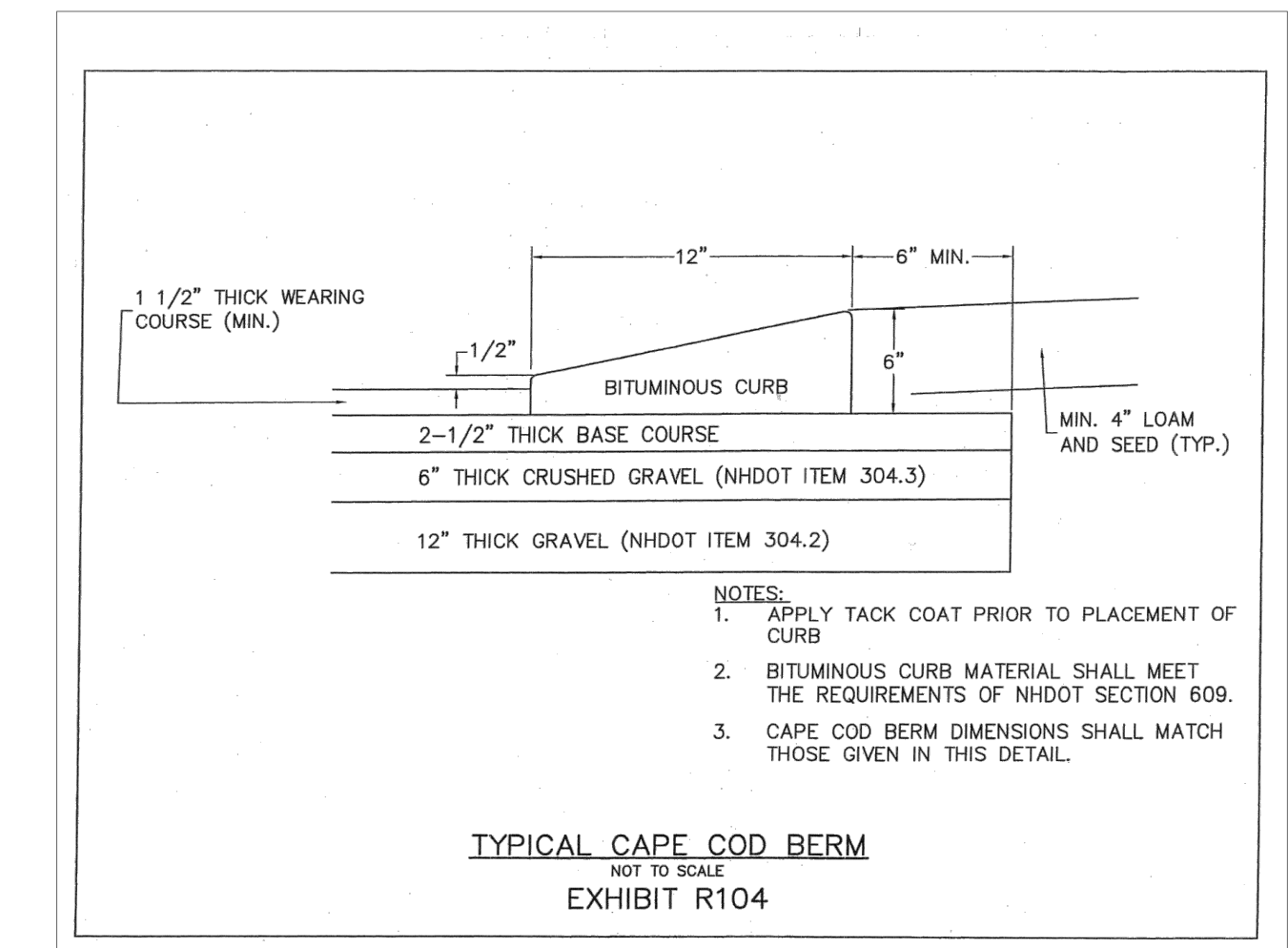
ACCESSIBLE RAMP RECESSED IN WALK
 NOT TO SCALE



BITUMINOUS SIDEWALK
 NOT TO SCALE

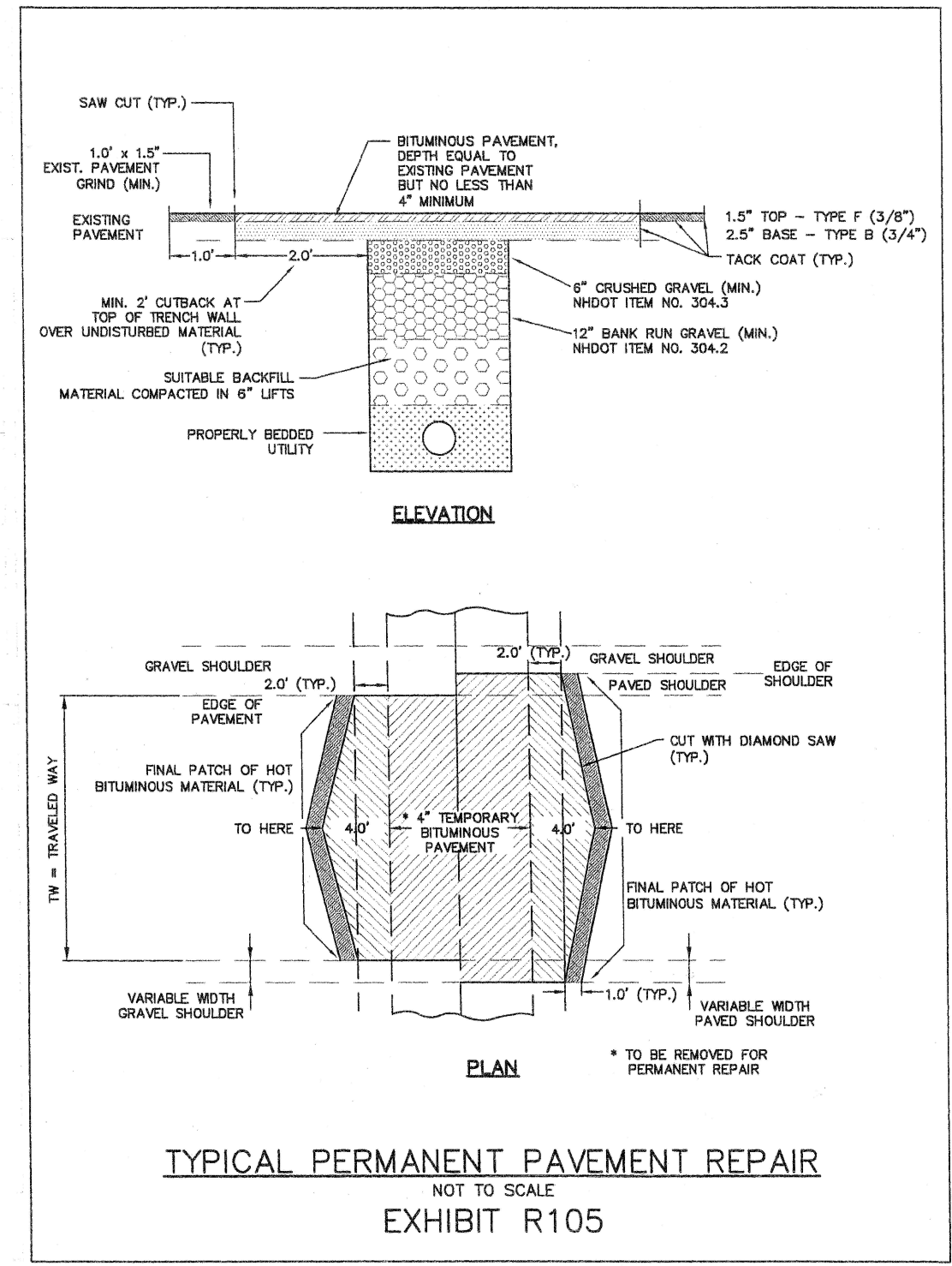


VERTICAL GRANITE CURB
 NOT TO SCALE

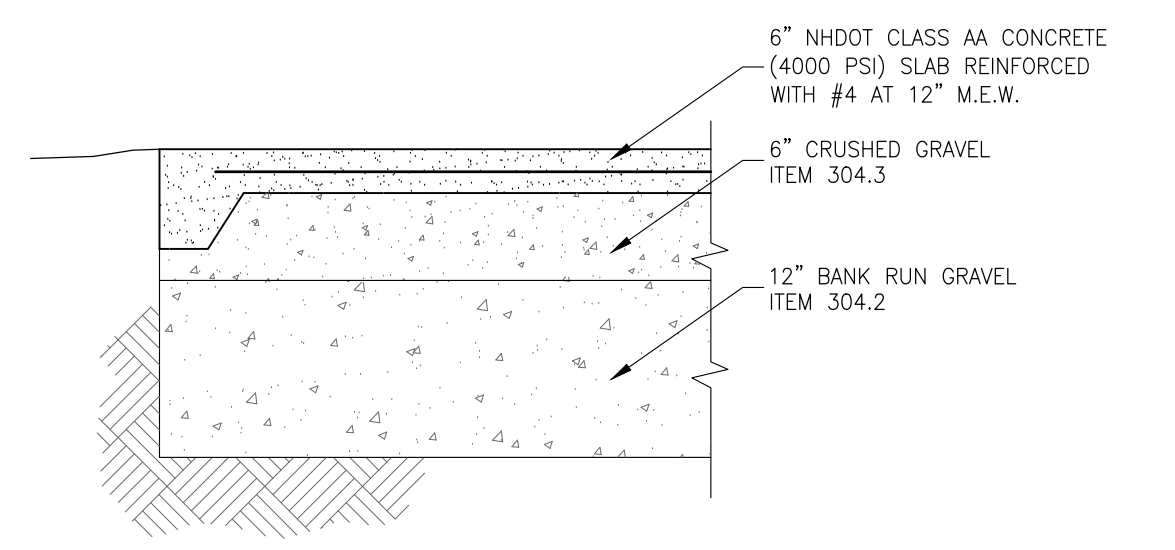


NOTES:
 1. APPLY TACK COAT PRIOR TO PLACEMENT OF CURB
 2. BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
 3. CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.

TYPICAL CAPE COD BERM
 NOT TO SCALE
 EXHIBIT R104



TYPICAL PERMANENT PAVEMENT REPAIR
 NOT TO SCALE
 EXHIBIT R105



CONCRETE PAD
 FOR EXTERIOR BUILDING PADS & DUMPSTER
 NOT TO SCALE



TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

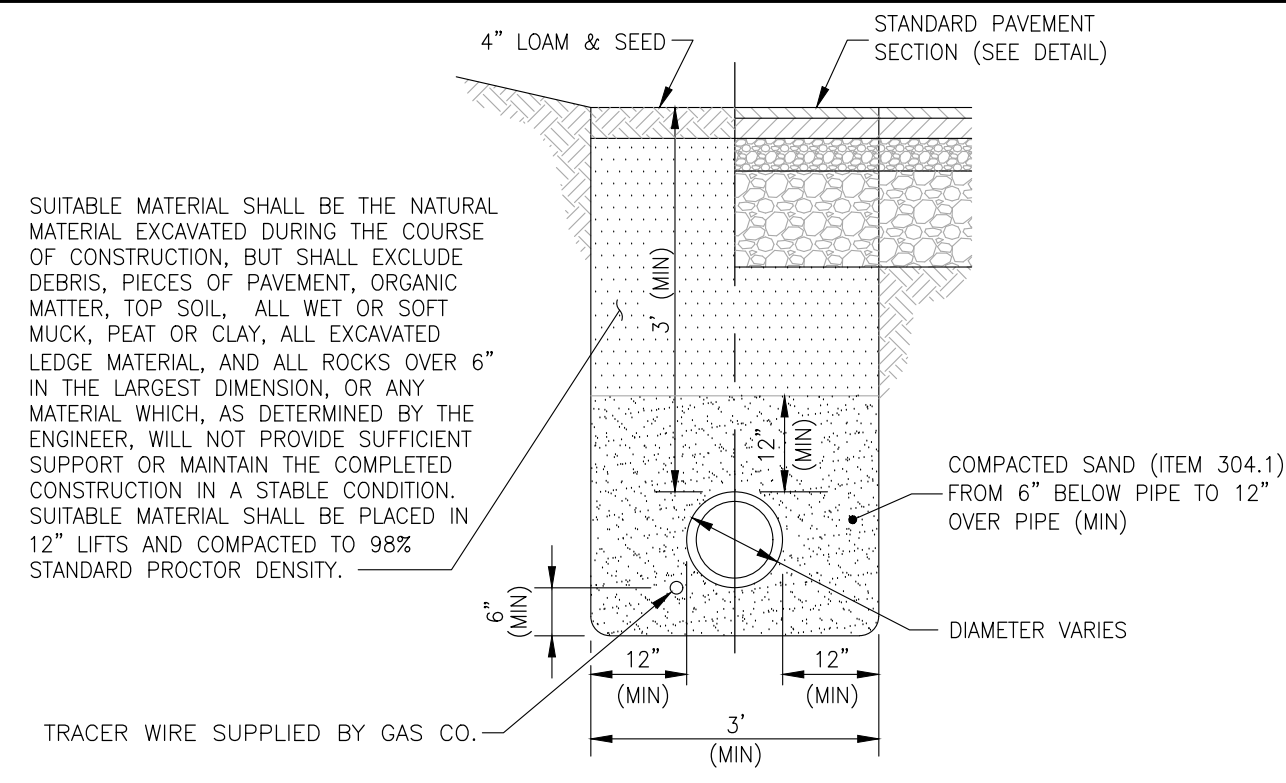
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| REV | DATE | DESCRIPTION | DR | CK |
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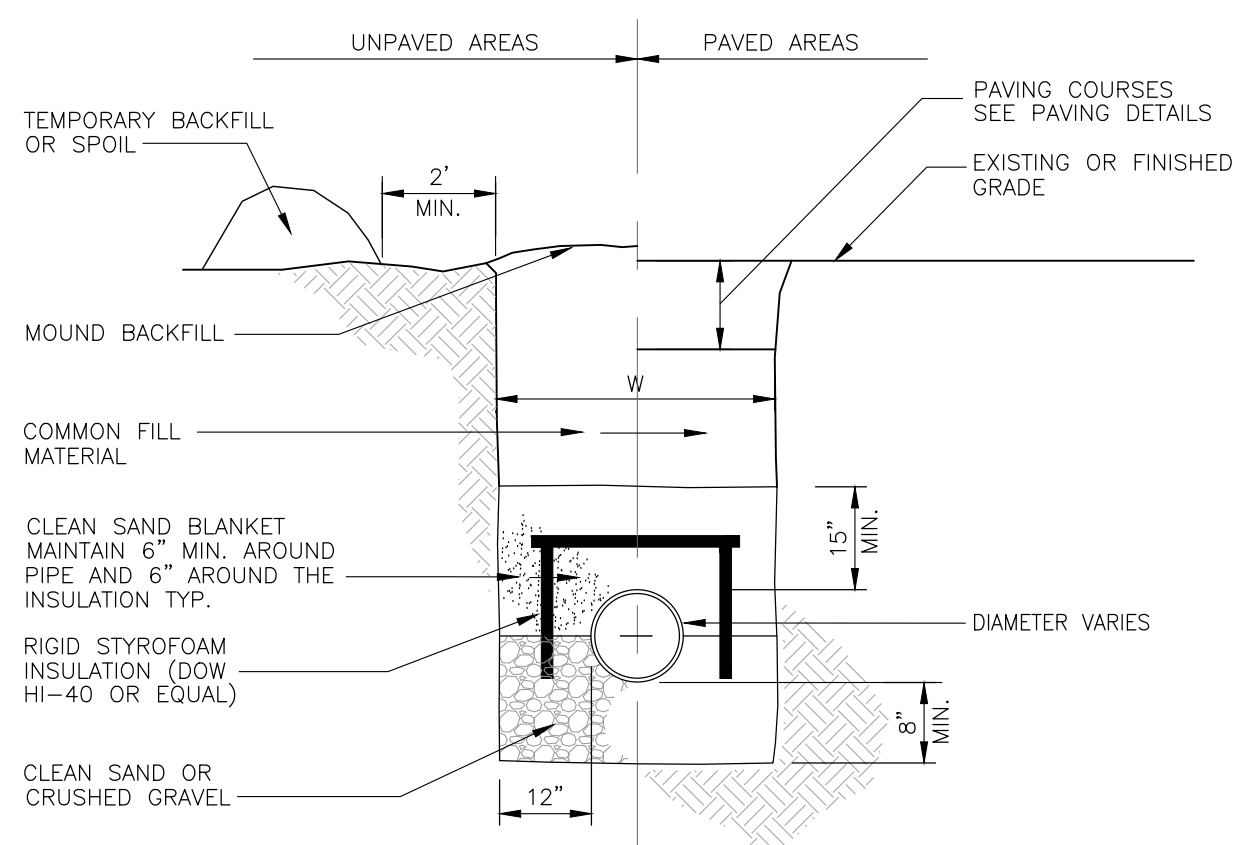
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17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-15



GAS MAIN TRENCH

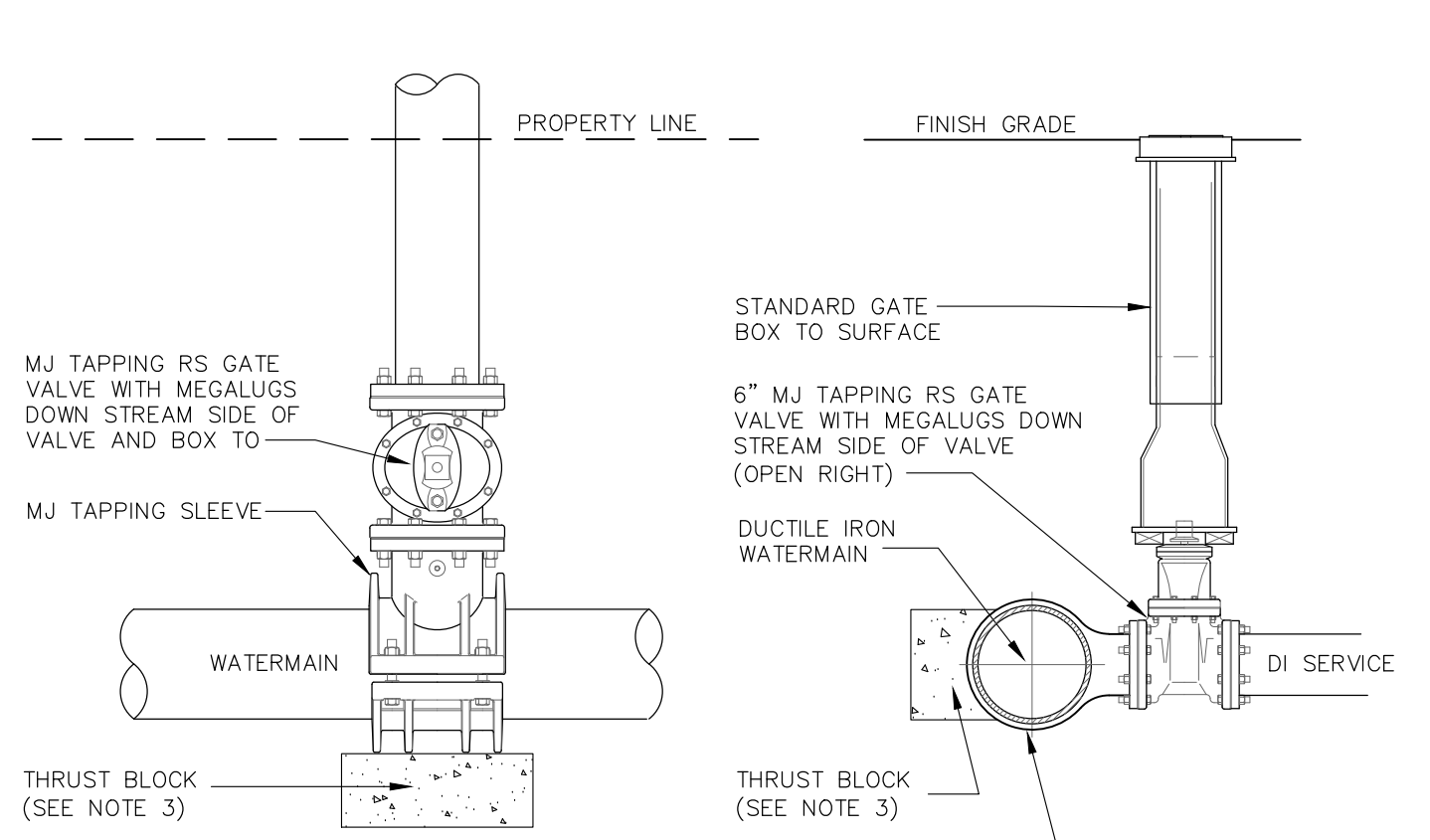
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NOTE:
 W=MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.

PIPE INSULATION

NOT TO SCALE

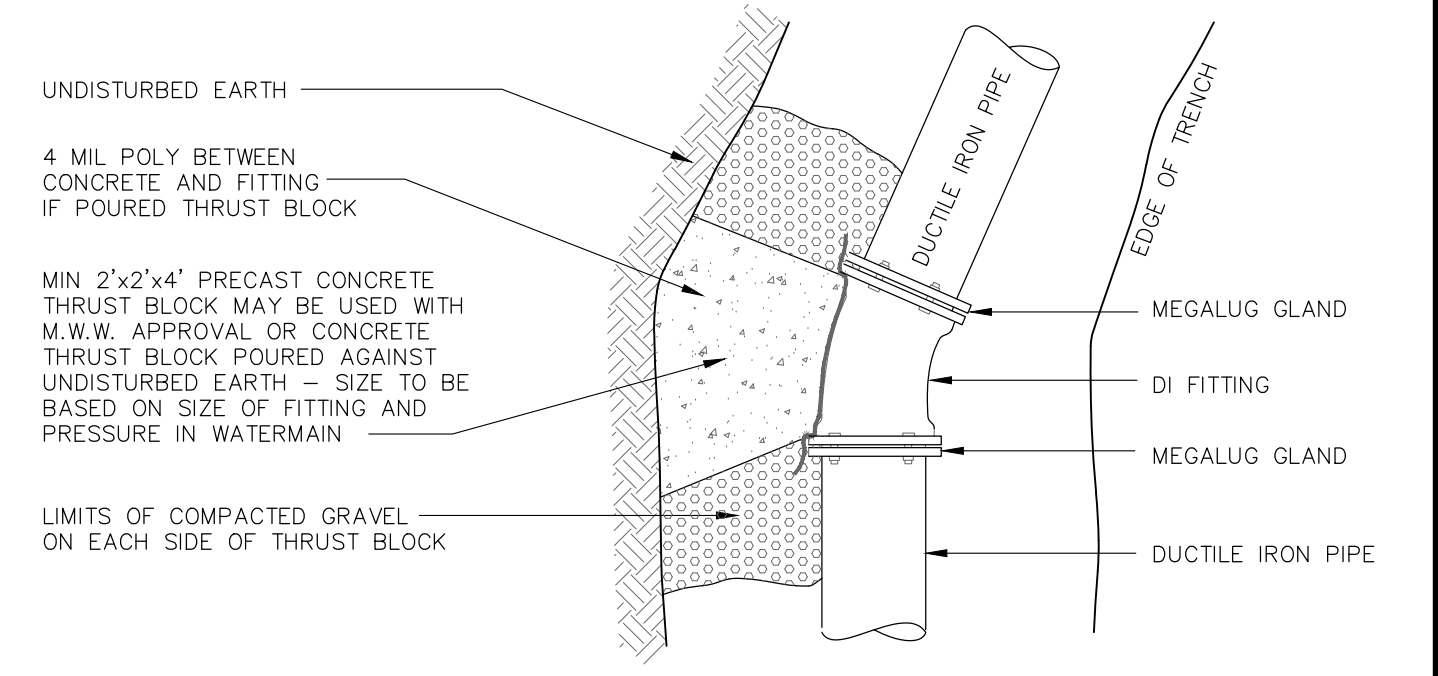


NOTE
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO M.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. MIN 2'x2'x4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH M.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

WET TAP TEE INSTALLATION

NOT TO SCALE

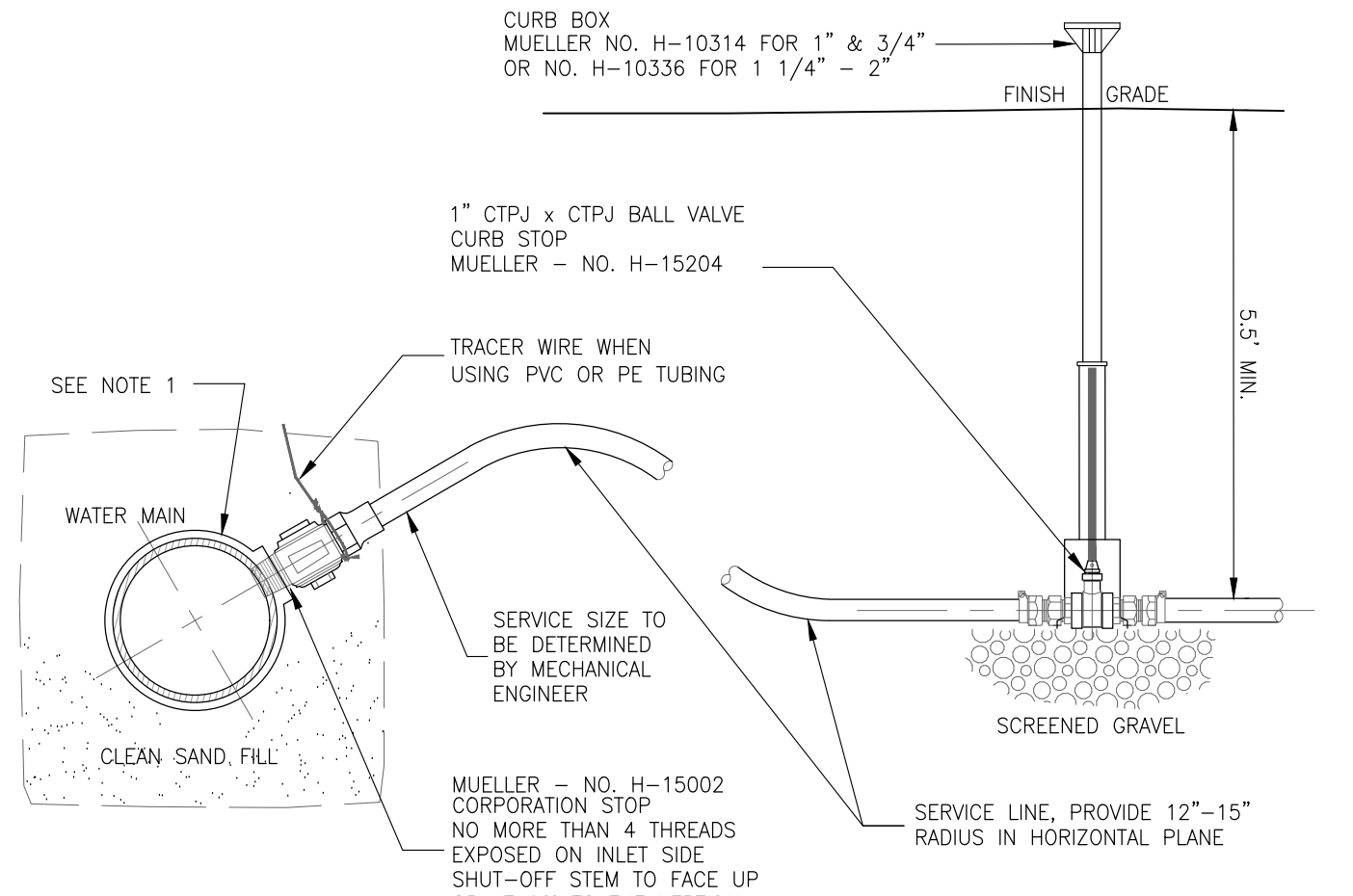
| PIPE SIZE | 90° BEND | | 45° BEND | | 22 1/2° BEND | | 11 1/4° BEND | | TEE & PLUG | |
|-----------|----------|------|----------|------|--------------|------|--------------|------|------------|------|
| | WIDTH | HGT. | WIDTH | HGT. | WIDTH | HGT. | WIDTH | HGT. | WIDTH | HGT. |
| 6" | 33" | 21" | 18" | 21" | 12" | 18" | 9" | 12" | 21" | 24" |
| 8" | 45" | 27" | 24" | 27" | 18" | 21" | 12" | 15" | 27" | 33" |
| 10" | 60" | 36" | 36" | 36" | 24" | 30" | 18" | 21" | 36" | 42" |
| 12" | 66" | 39" | 36" | 42" | 24" | 30" | 18" | 21" | 39" | 45" |
| 14" | 72" | 45" | 42" | 48" | 27" | 36" | 18" | 27" | 45" | 54" |



NOTE
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO M.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

THRUST BLOCKING BEHIND FITTINGS INSTALLATION

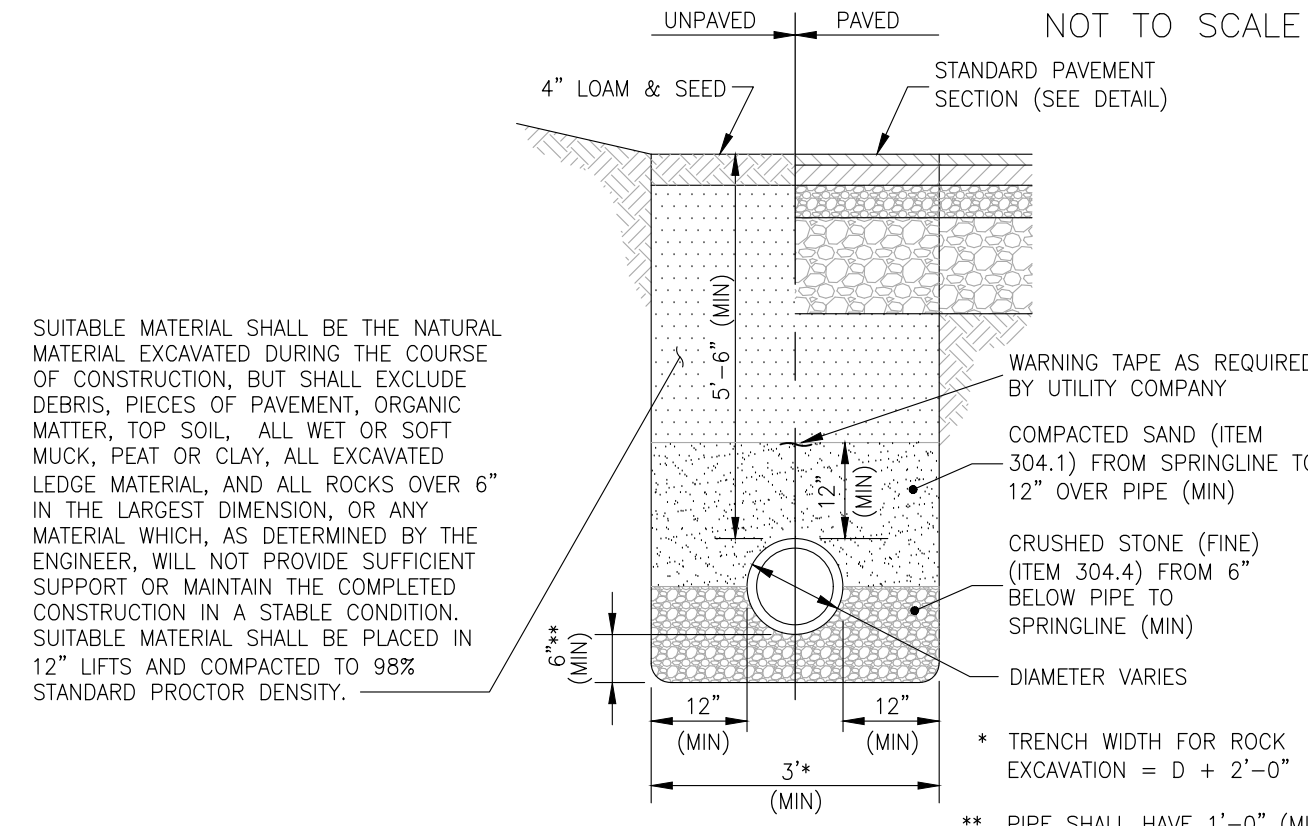
NOT TO SCALE



NOTE
 1. IF WATERMAIN IS PVC OR TRANSTLE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATERMAIN.

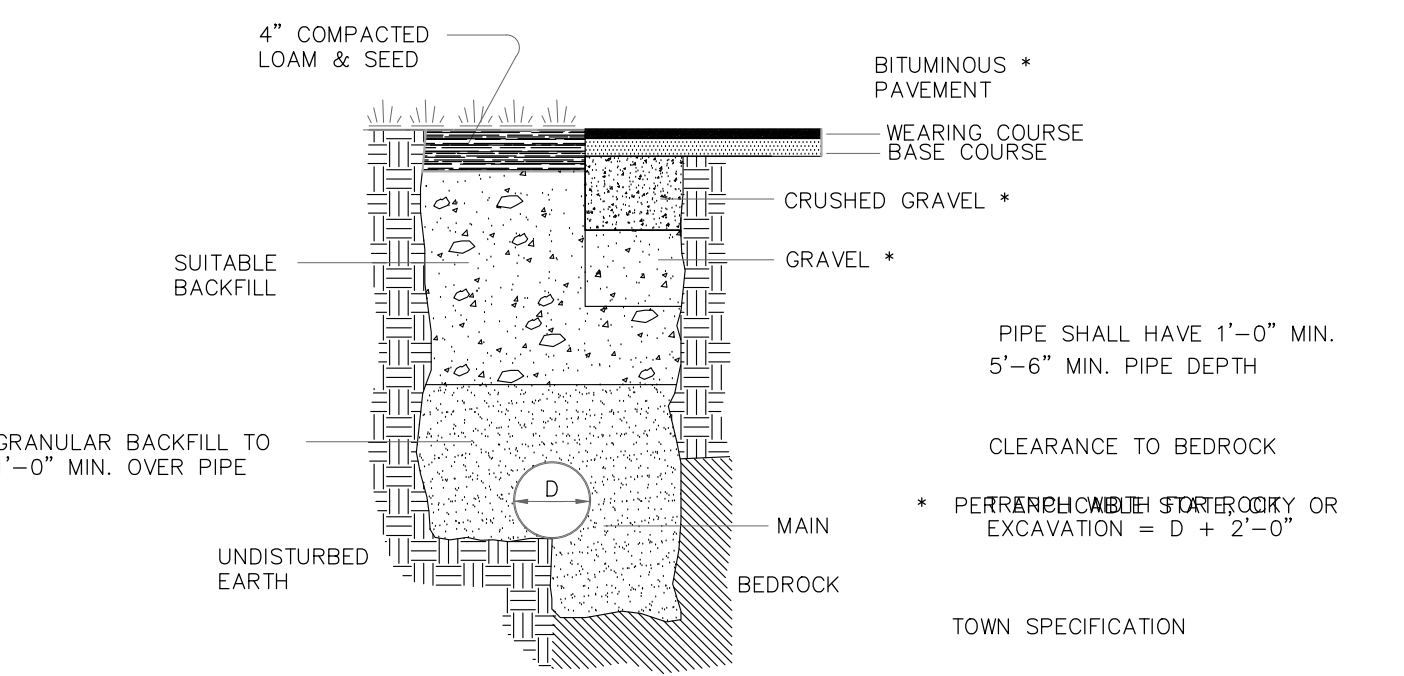
DOMESTIC SERVICE CONNECTION

NOT TO SCALE



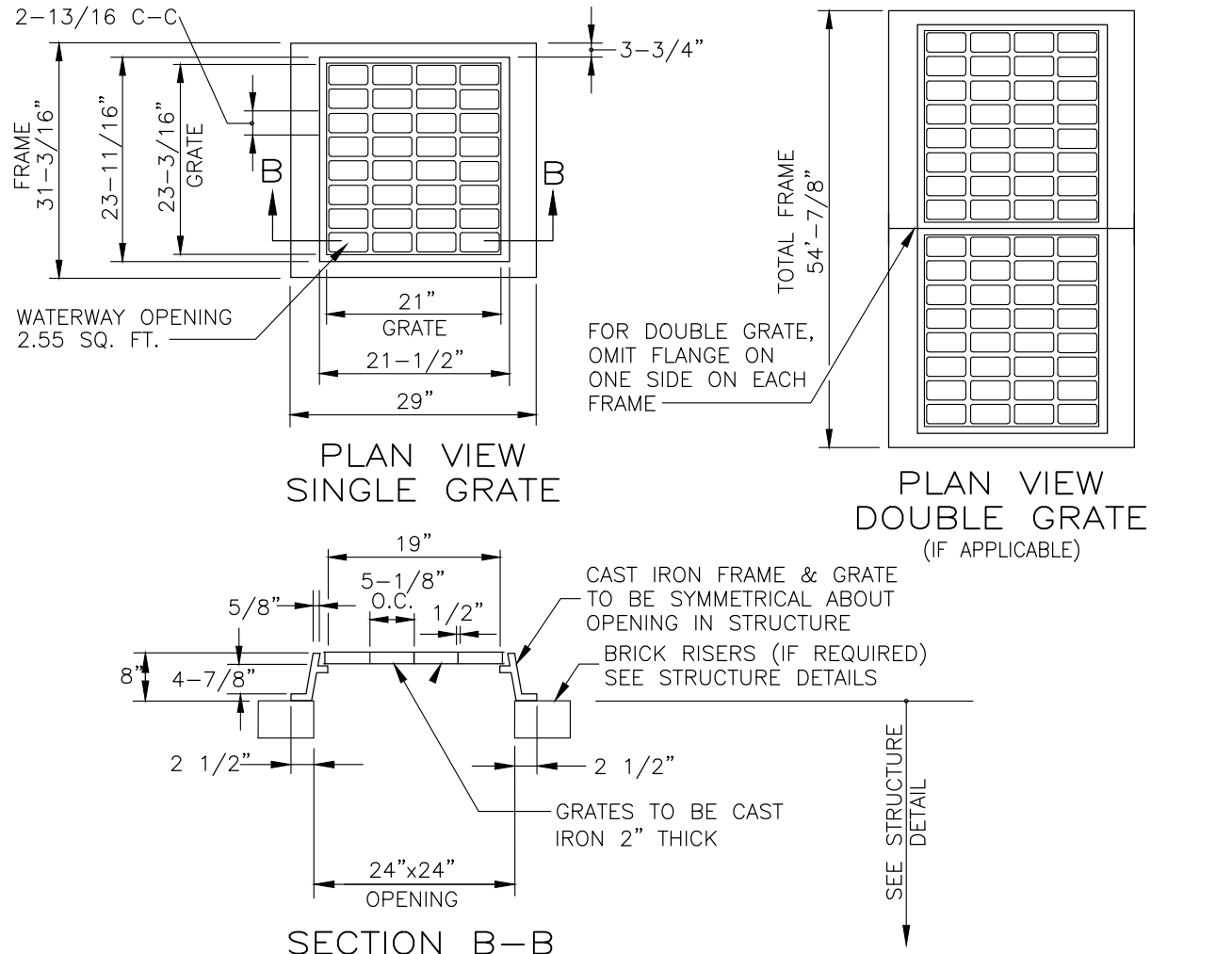
WATER MAIN TRENCH

NOT TO SCALE



WATER SERVICE TRENCH

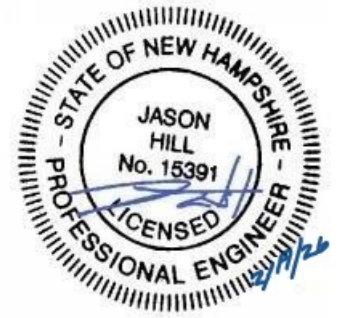
NOT TO SCALE



FRAME AND GRATE

NOT TO SCALE

TAX MAP 28 LOTS 9, 10, &10-4
DETAILS SHEET
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



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| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

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 Fax (603) 472-9747
 www.tfmoran.com

17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-17

GENERAL NOTES

- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN ANY PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WO 704.12 & 704.13.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.
- BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
- ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDIBLY MARKED ON THE INSIDE WALL.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:
 - SIKAFLEX-12-SL
 - SONNEBORN BUILDING PRODUCTS-SONOLASTIC SL-1
- THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN 24-INCH DIAMETER, MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WO 704.17.

- ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
- THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
- THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
- INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
- FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

- BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.
- MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
 - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME

CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".

- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM A48/48M AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH AND FREE FROM SCALE, LUMPS, BUSTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.

- BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.

| | |
|-----------------|-------------|
| 100% PASSING | 1" SCREEN |
| 90-100% PASSING | 3/4" SCREEN |
| 20-55% PASSING | 3/8" SCREEN |
| 0-10% PASSING | #4 SIEVE |
| 0-5% PASSING | #8 SIEVE |

- FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 48 INCHES FOR REINFORCED CONCRETE PIPE (RCP). (b) WITHIN 60 INCHES FOR PVC PIPE LARGER THAN 15" DIAMETER.

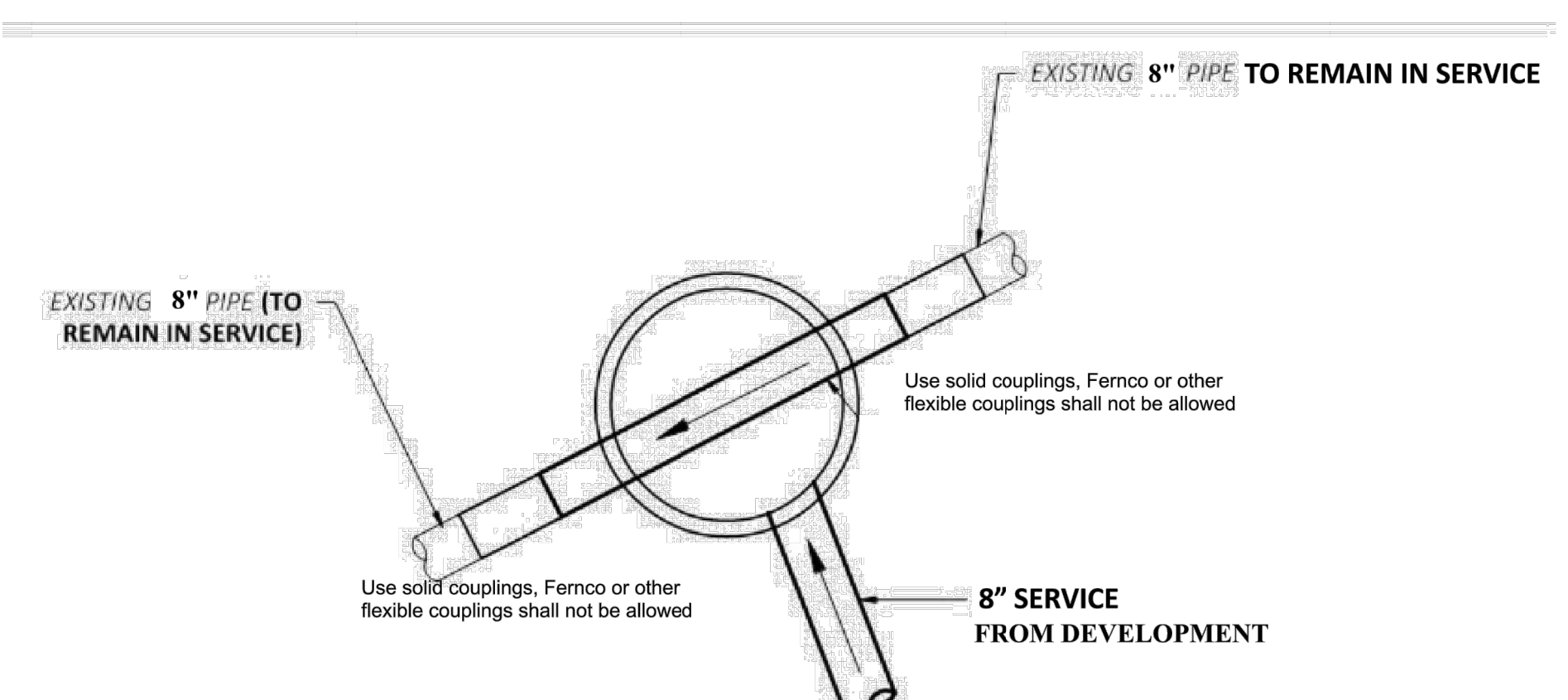
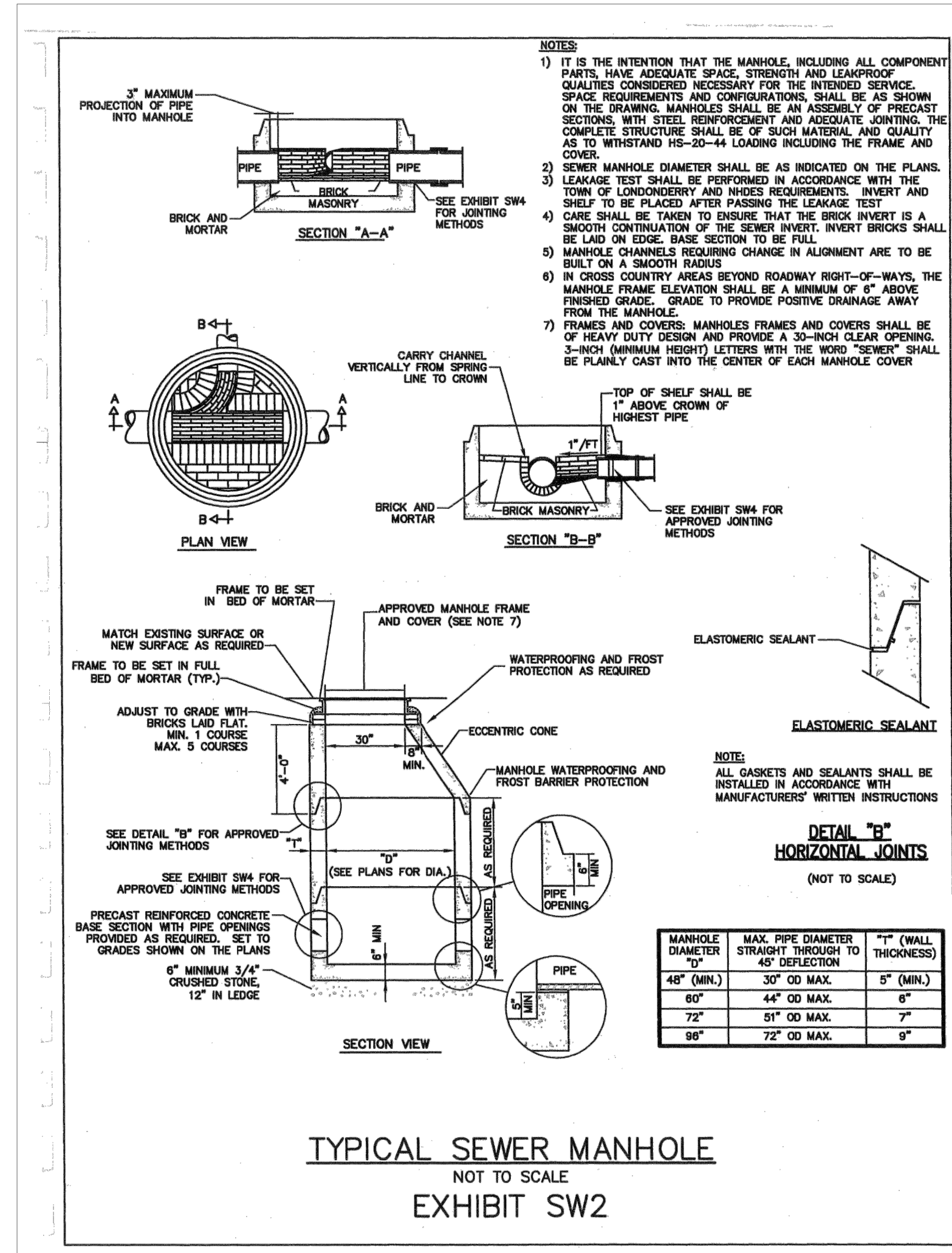
- NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH DIAMETER.
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS FOLLOWS:
 - ELASTOMERIC, RUBBER SLEEVE WITH WATER-TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
 - CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
 - ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.
 - NON-SHRINK GROUTED JOINTS WHERE WATER-TIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.

- THE INVERT OF THE INCOMING PIPE SHALL BE NO MORE THAN 6 INCHES ABOVE THE OUTGOING PIPE UNLESS A DROP ENTRY IS USED.

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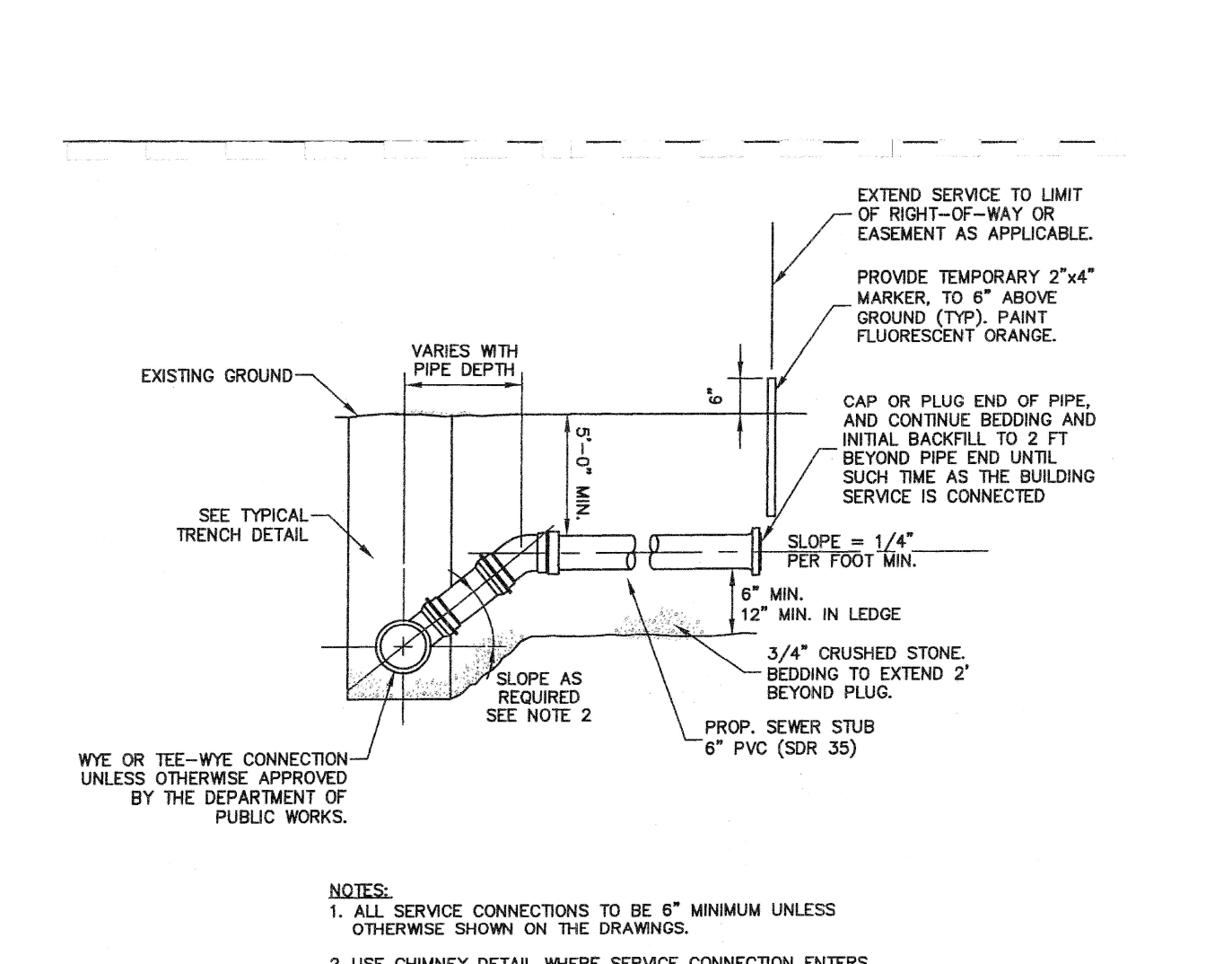
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- NOTES:**
- CONTRACTOR SHALL EXCAVATE TEST PIT AT LOCATION OF NEW MANHOLE TO DETERMINE EXACT LOCATION, ELEVATION AND SLOPE OF EXISTING 8" SEWER PRIOR TO BEGINNING CONSTRUCTION.
 - THE EXISTING PIPE SHALL BE TEMPORARILY PLUGGED PRIOR TO CUT IN MANHOLE WORK.
 - THE CONTRACTOR SHALL PROVIDE BY-PASS PUMPING DURING MANHOLE WORK AS NEEDED.
 - UPON COMPLETION, TESTING, AND ACCEPTANCE OF ALL NEW GRAVITY SEWER, THE CONTRACTOR SHALL, CONSTRUCT THE NEW INVERT, AND REDIRECT FLOW INTO THE NEW SEWER.

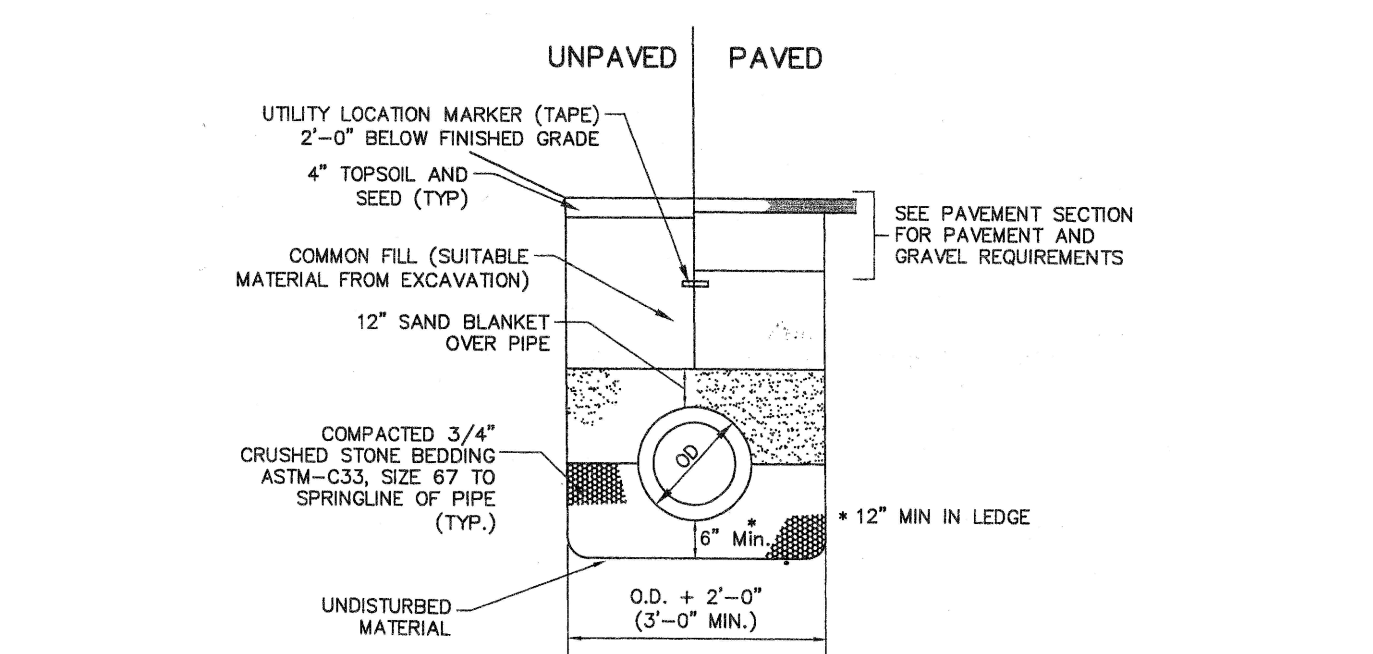
CUT IN SMH

SCALE: NTS



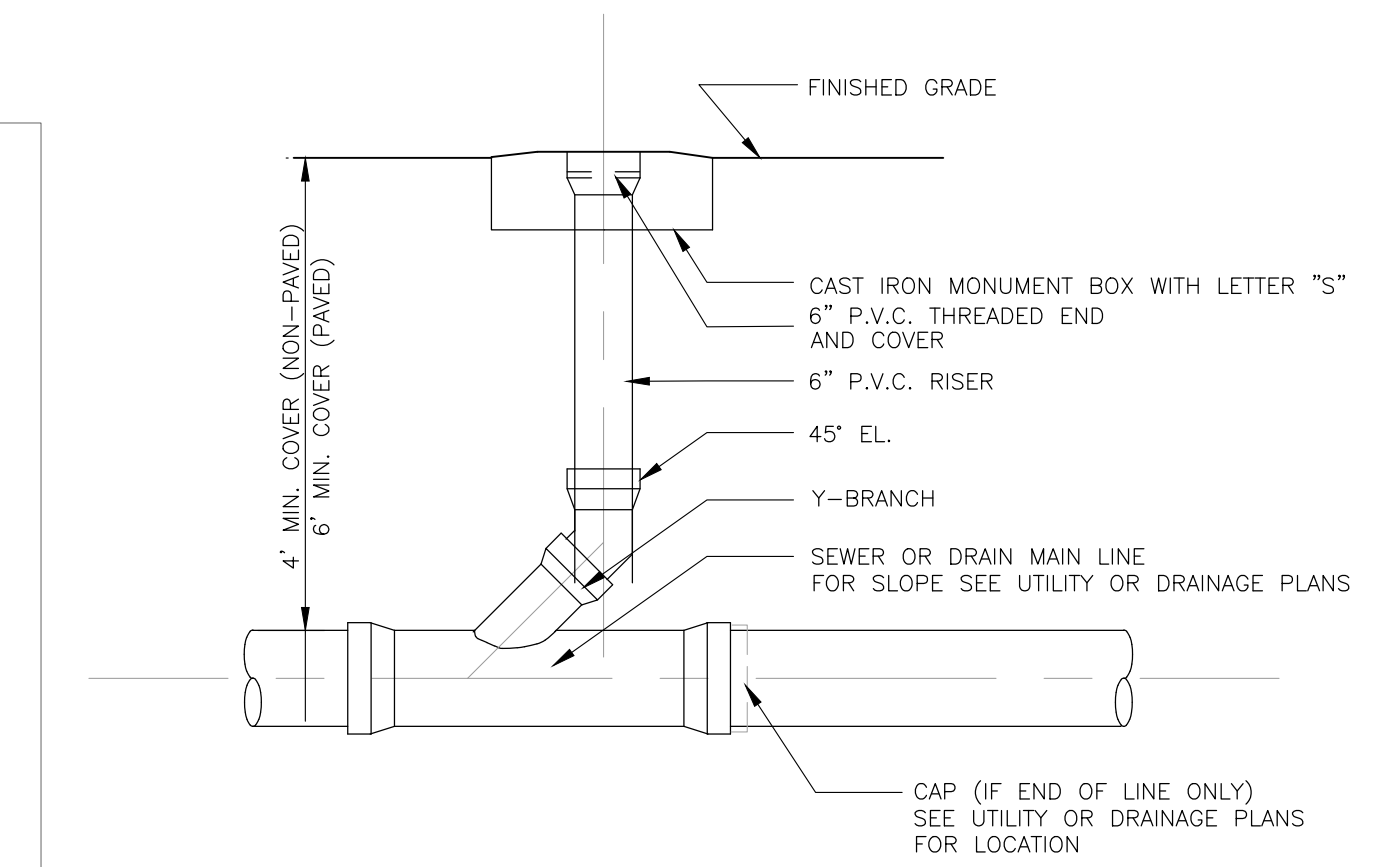
SEWER SERVICE CONNECTION

NOT TO SCALE



SEWER CLEAN OUT

NOT TO SCALE



GENERAL NOTES

- MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE SIX (6) INCHES.
- PIPE AND JOINT MATERIALS:
 - PLASTIC SEWER PIPE:
 - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

| ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|----------------|------------------------|-----------------------------|
| D3034 | *PVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F679 | PVC (SOLID WALL) | 18" THROUGH 27" (T-1 & T-2) |
| F799 | PVC (SOLID WALL) | 4" THROUGH 18" (T-1 TO T-3) |
| F794 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| D2680 | *ABS (COMPOSITES WALL) | 8" THROUGH 15" |

*PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
 - JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A MECHANICAL WELDED JOINT.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED, WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
 - SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

- TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - LEAKAGE OBSERVED DURING TESTING SHALL BE IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

| | |
|------------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90%-100% PASSING | 3/4 INCH SCREEN |
| 20%-55% PASSING | 3/8 INCH SCREEN |
| 0%-10% PASSING | #4 SIEVE |
| 0%-5% PASSING | #8 SIEVE |

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

TAX MAP 28 LOTS 9, 10, & 10-4

DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONBERRY, NH
OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT

BENTON FAMILY REALTY, LLC
100 W. WASHINGTON ST., MANCHESTER, NH 03103

NOVEMBER 18, 2025

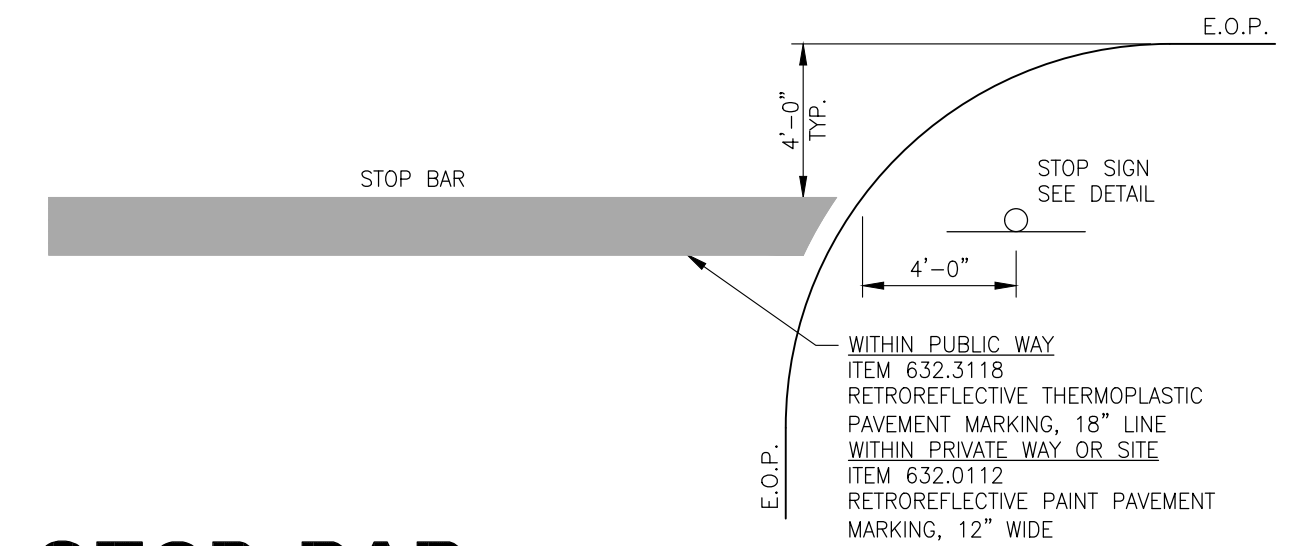
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Structural Engineers
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Land Surveyors
Landscape Architects
Scientists

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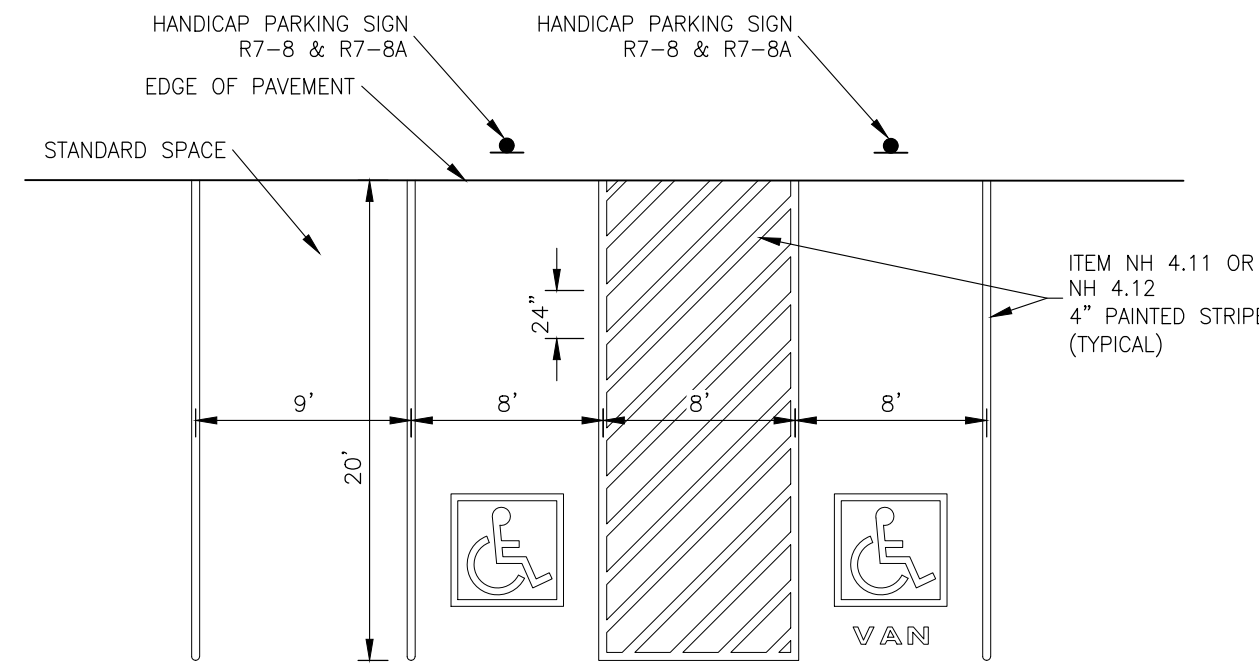
17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-18

| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |



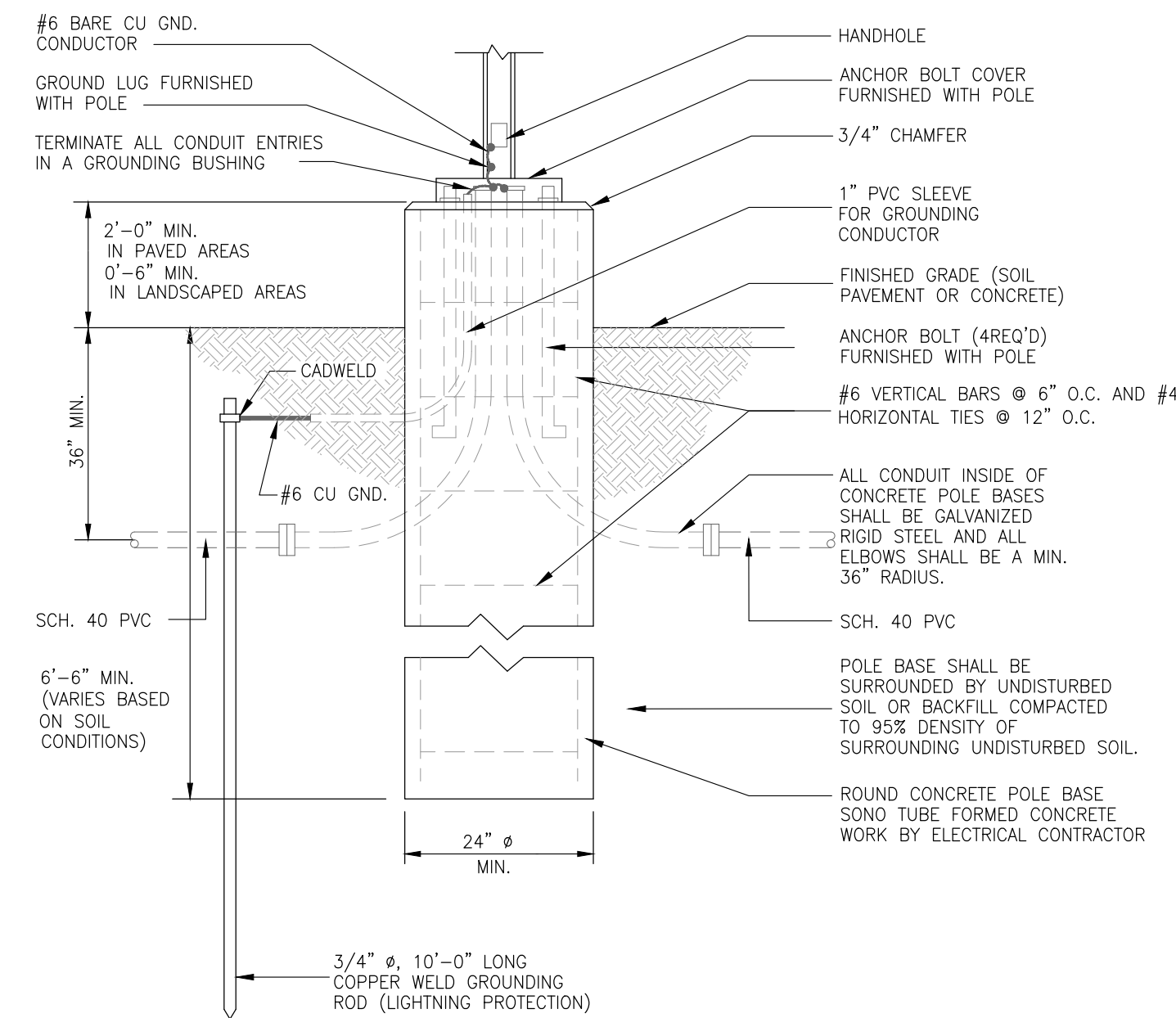
STOP BAR

NOT TO SCALE



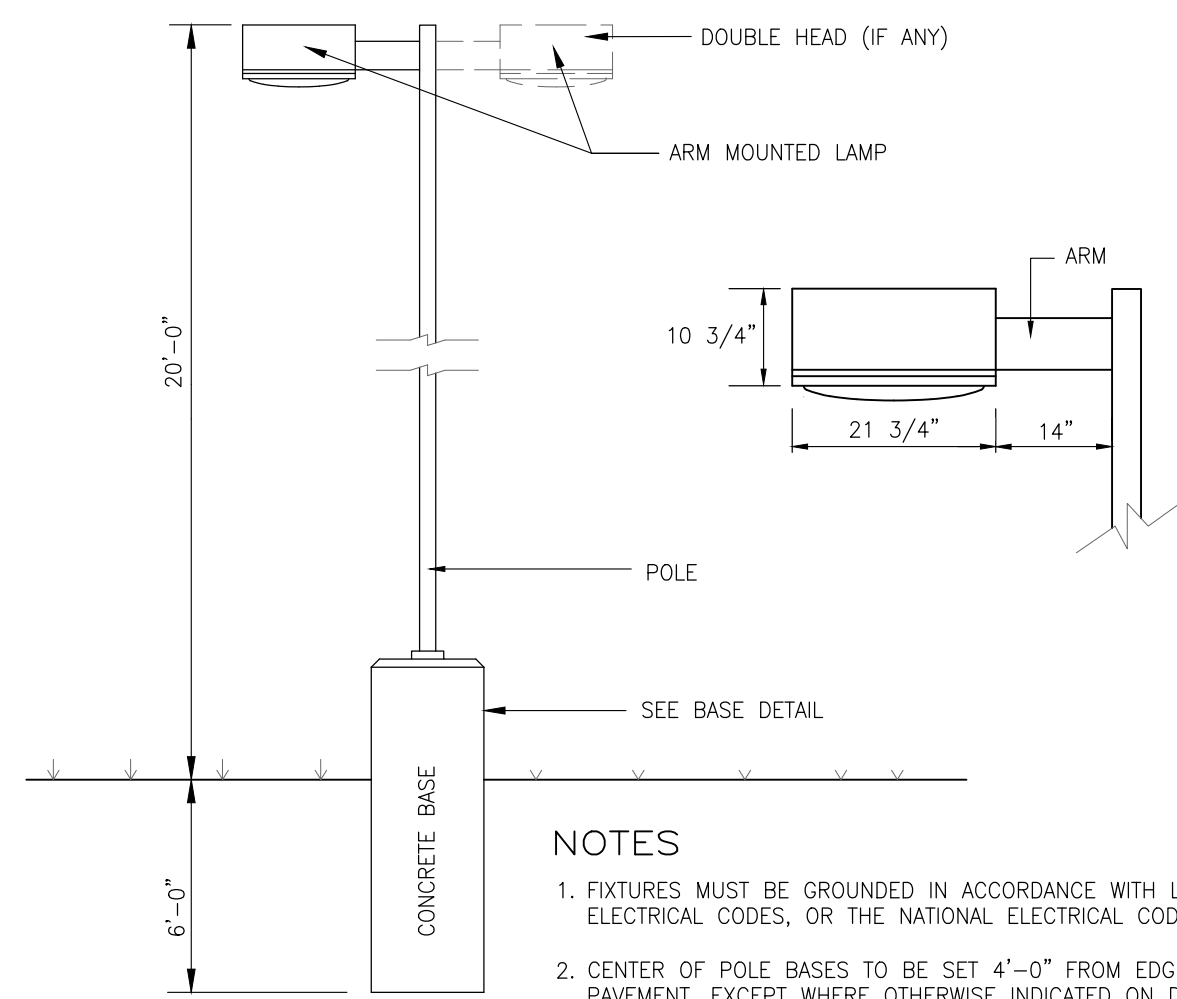
PARKING STRIPING DETAIL

NOT TO SCALE



LIGHT POLE BASE

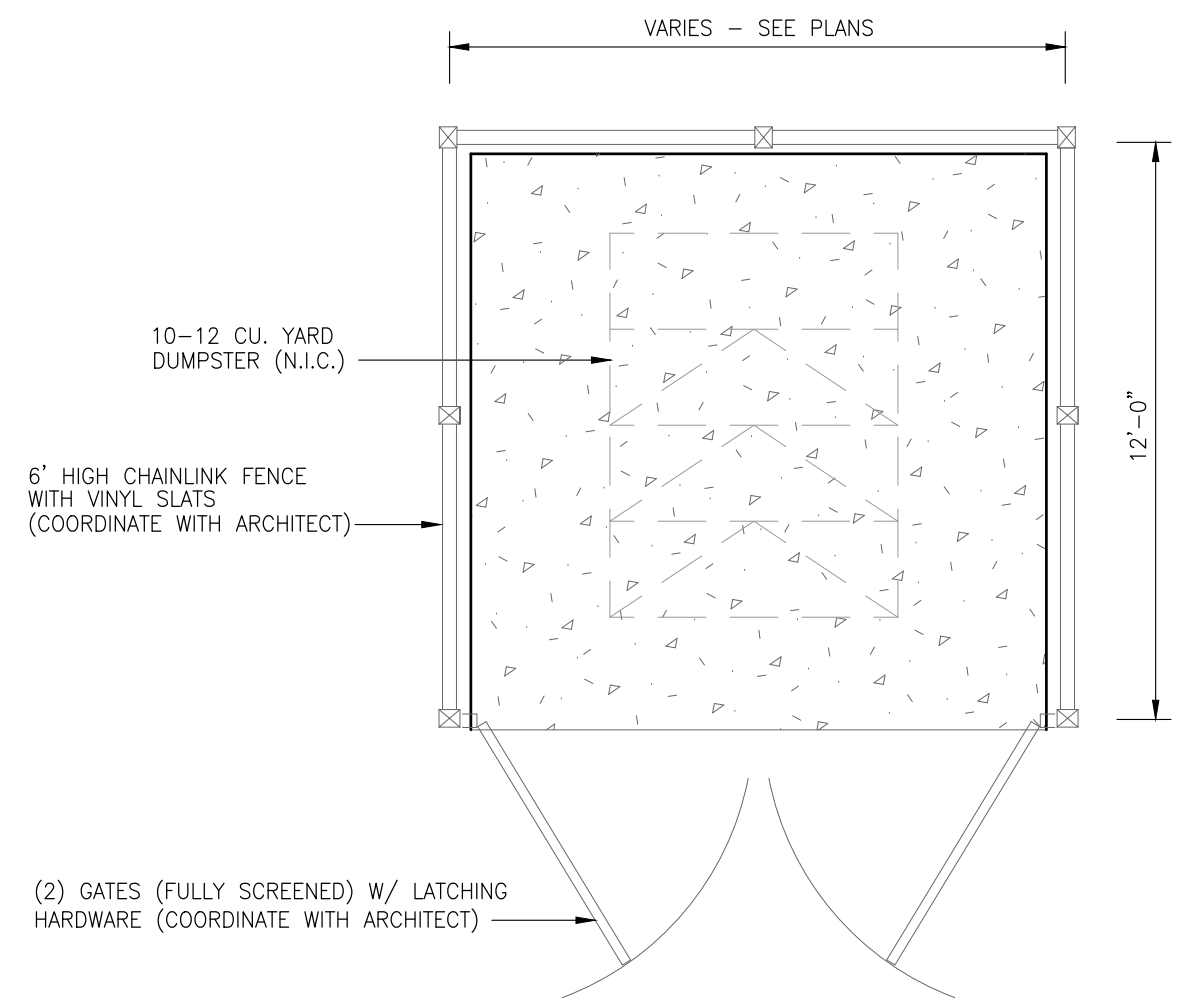
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LIGHT POLE

NOT TO SCALE

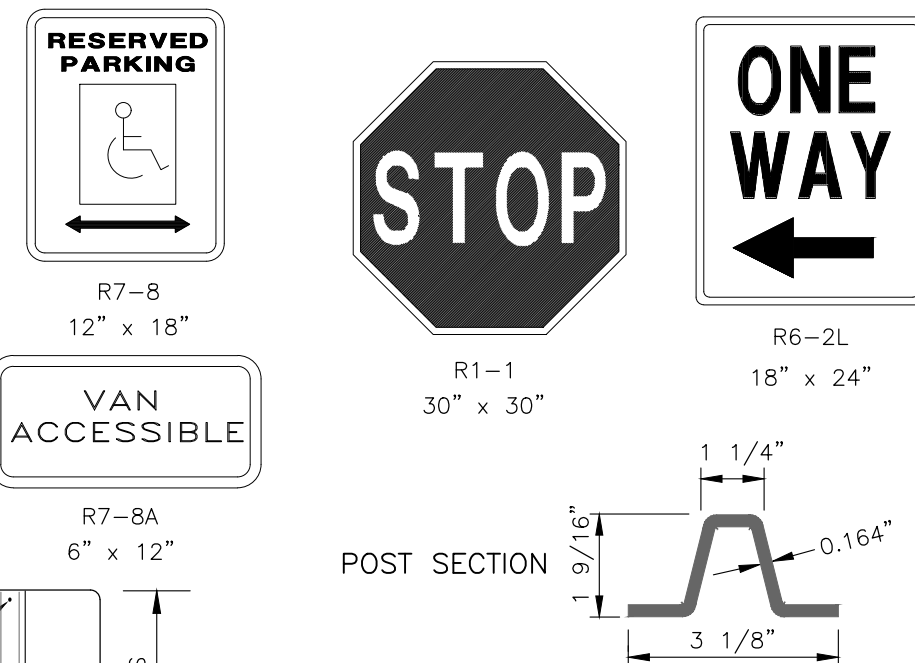
- NOTES**
1. FIXTURES MUST BE GROUNDED IN ACCORDANCE WITH LOCAL ELECTRICAL CODES, OR THE NATIONAL ELECTRICAL CODE.
 2. CENTER OF POLE BASES TO BE SET 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON DRAWING.
 3. LIGHTING SHOWN HERE IS AREA LIGHTING, SUPPLEMENTAL BUILDING-MOUNTED FIXTURES AT DOORWAYS, ETC. MAY BE REQUIRED.
 4. SEE LIGHTING PLAN FOR FIXTURE SCHEDULE.



DUMPSTER ENCLOSURE - VINYL

SEE PLANS FOR LAYOUT

NOT TO SCALE

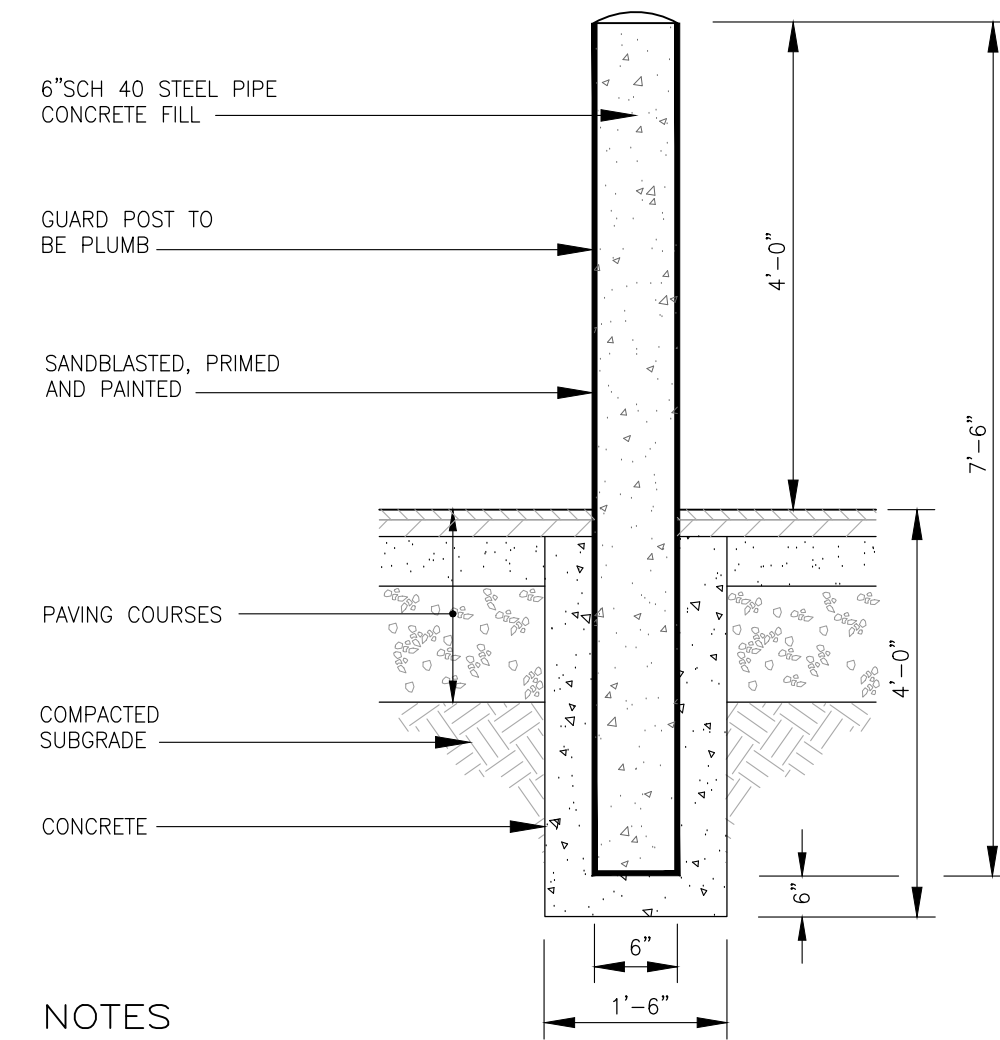


LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".
WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)
HOLES: 3/8" DIA. 1' C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- NOTES**
1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH, AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
 7. DIMENSIONS SHOWN ARE NOMINAL.
 8. ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

TRAFFIC SIGN POST IN GRADE

NOT TO SCALE

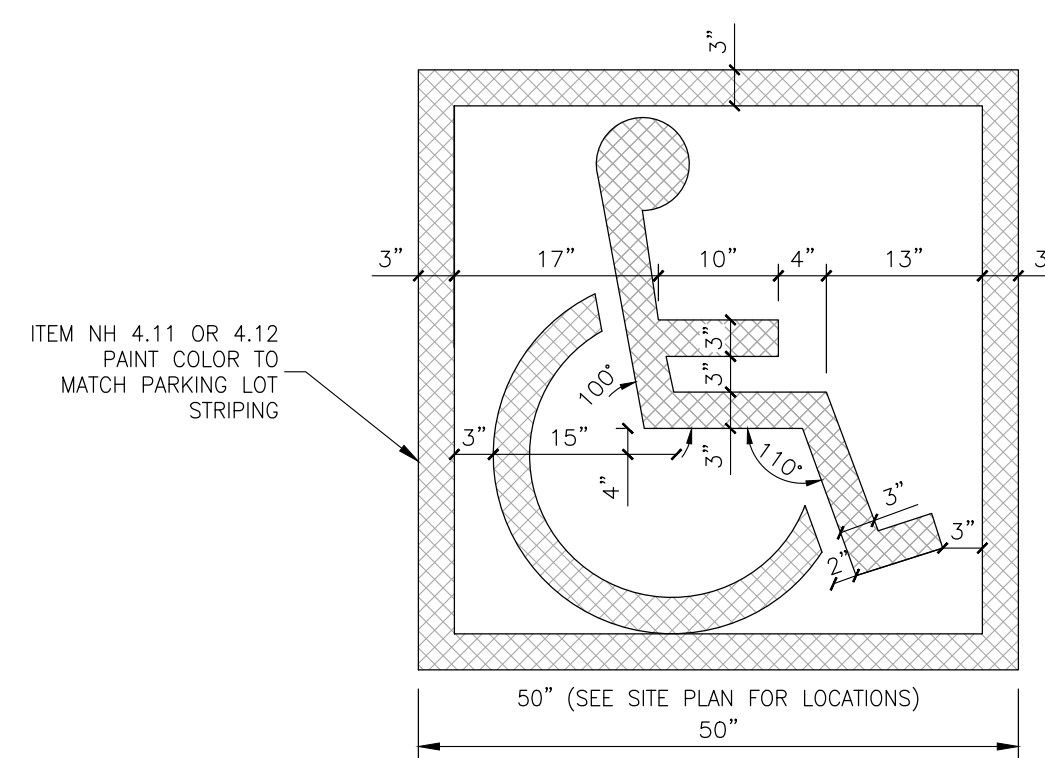


NOTES

1. BOLLARD TO CONFORM TO NHDOT SPECIFICATIONS
2. INSTALL POLY COVER TO BOLLARDS ALONG BUILDING (GRAY POLYETHYLENE COVER FROM IDEAL SHIELD 313-842-7290)

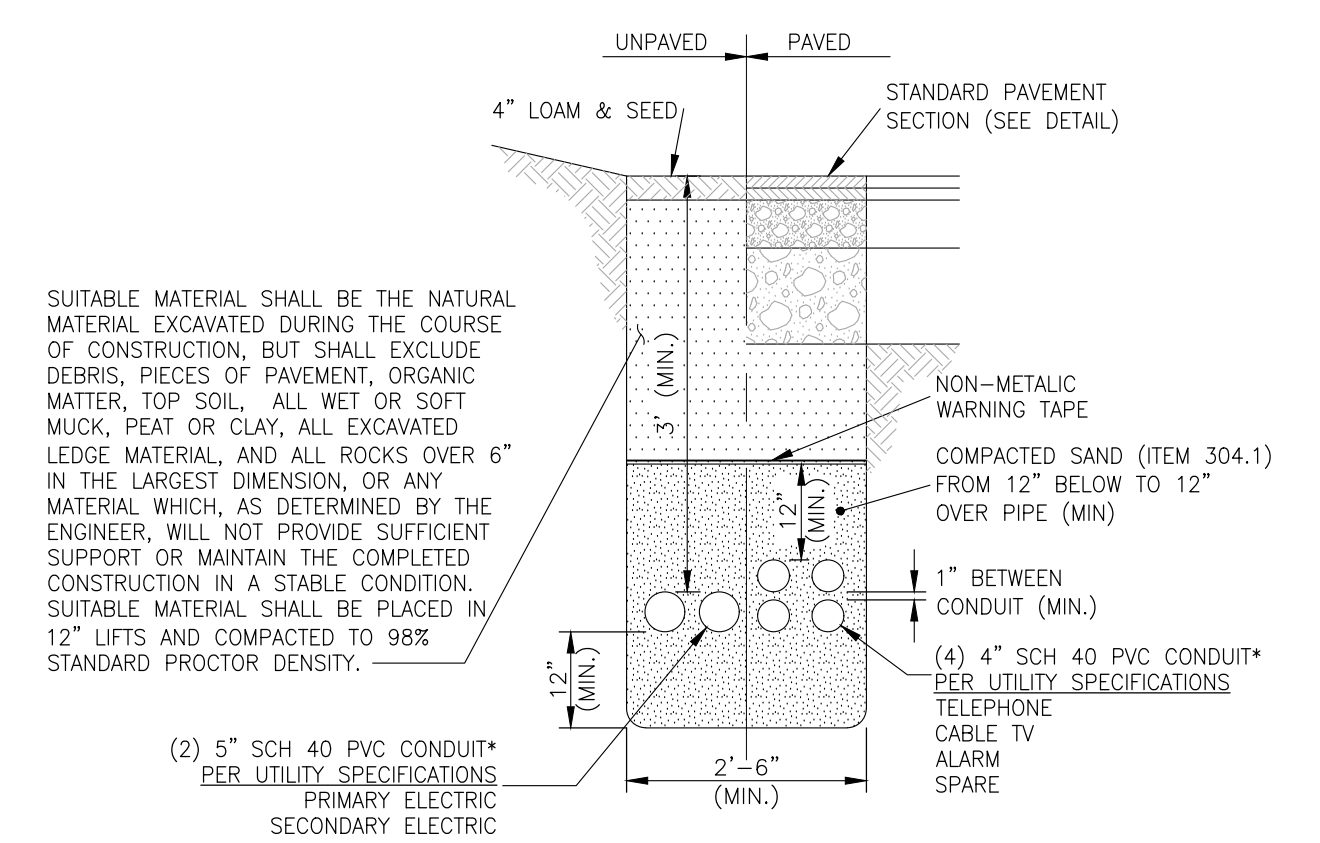
BOLLARD

NOT TO SCALE



PAINTED HANDICAP SYMBOL

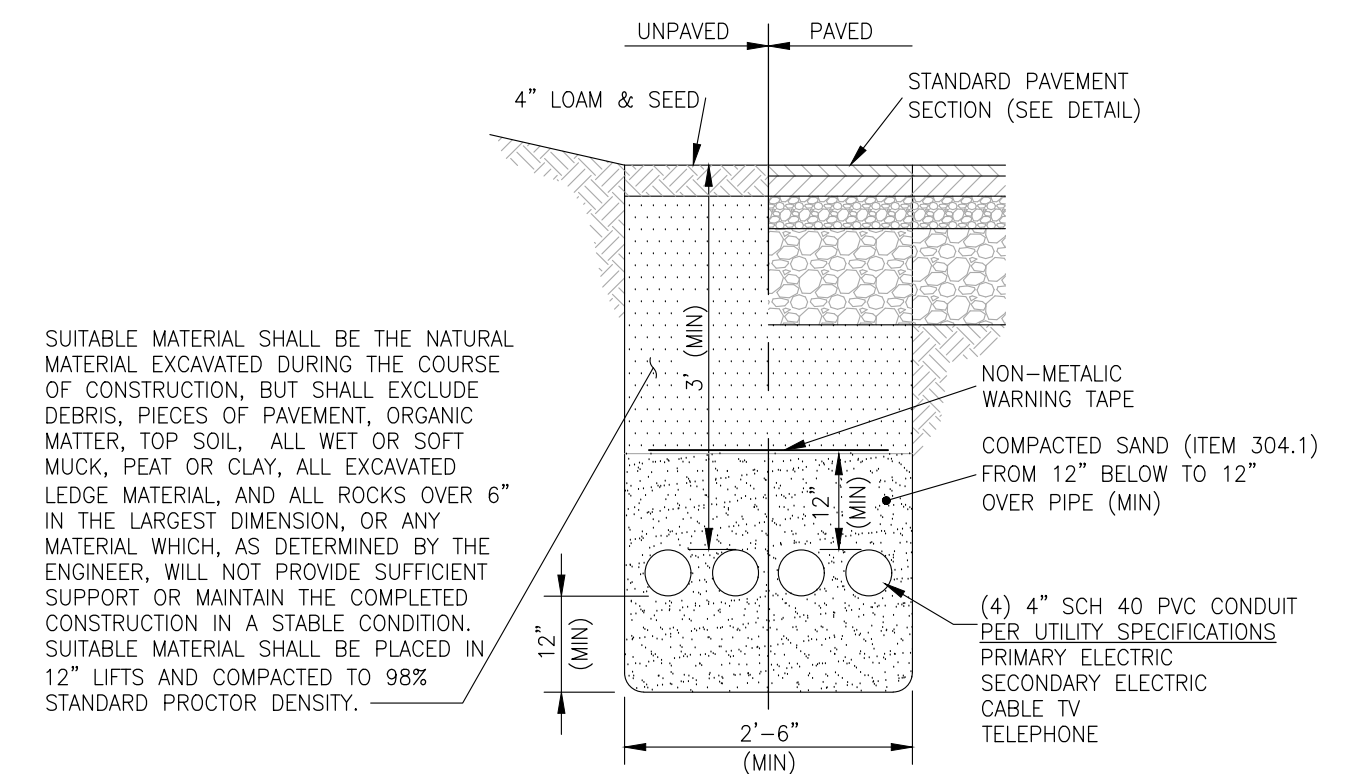
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UTILITY TRENCH

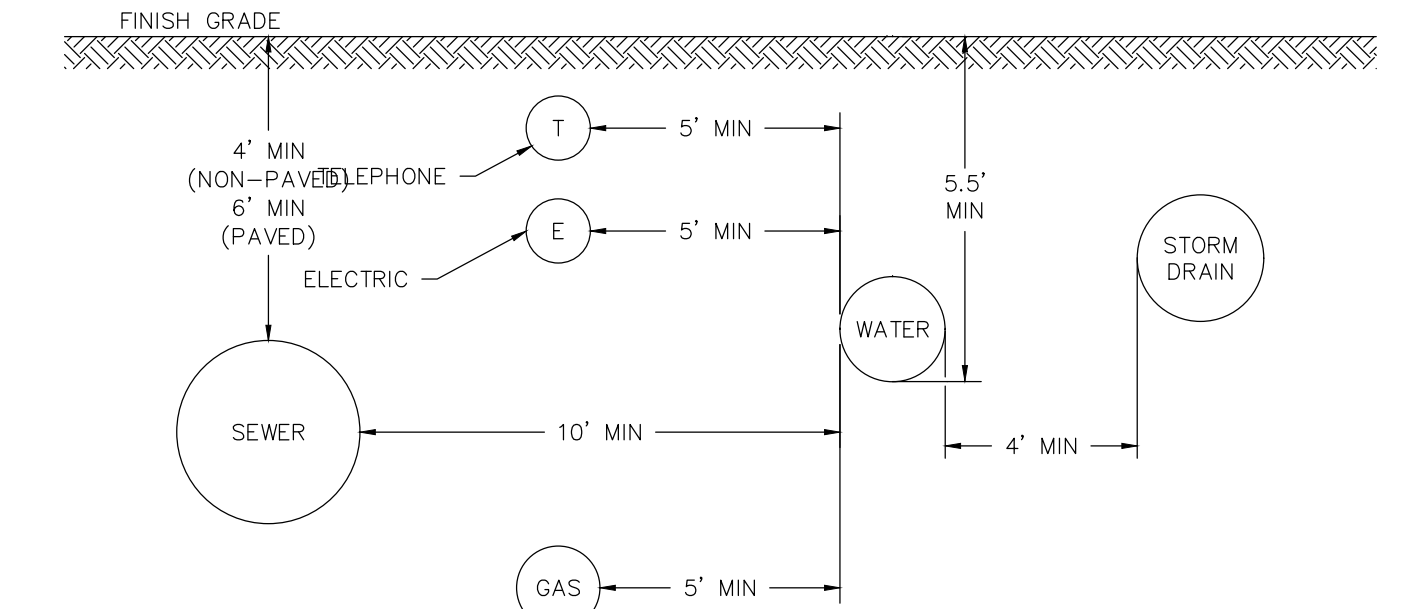
NOT TO SCALE

*CONTRACTOR TO VERIFY CONDUIT SIZE, NUMBER AND MATERIAL WITH INDIVIDUAL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.



UTILITY TRENCH

NOT TO SCALE



- NOTES:**
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF LONDONDERRY AND M.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5.5' FROM INVERT (BOTTOM) OF PIPE TO FINISH GRADE.

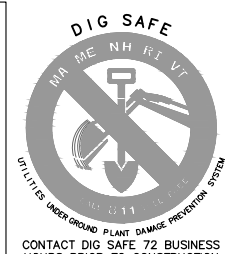
TYPICAL UTILITY SEPARATION

NOT TO SCALE



TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
 BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
 BENTON FAMILY REALTY, LLC
 108 W. WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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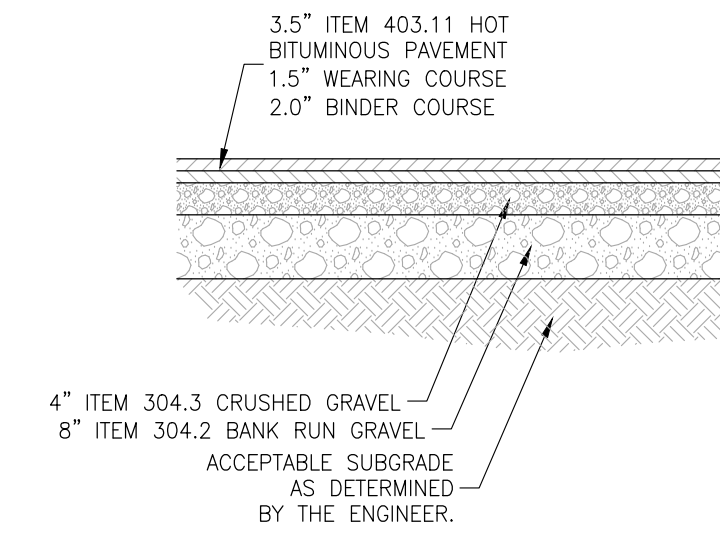
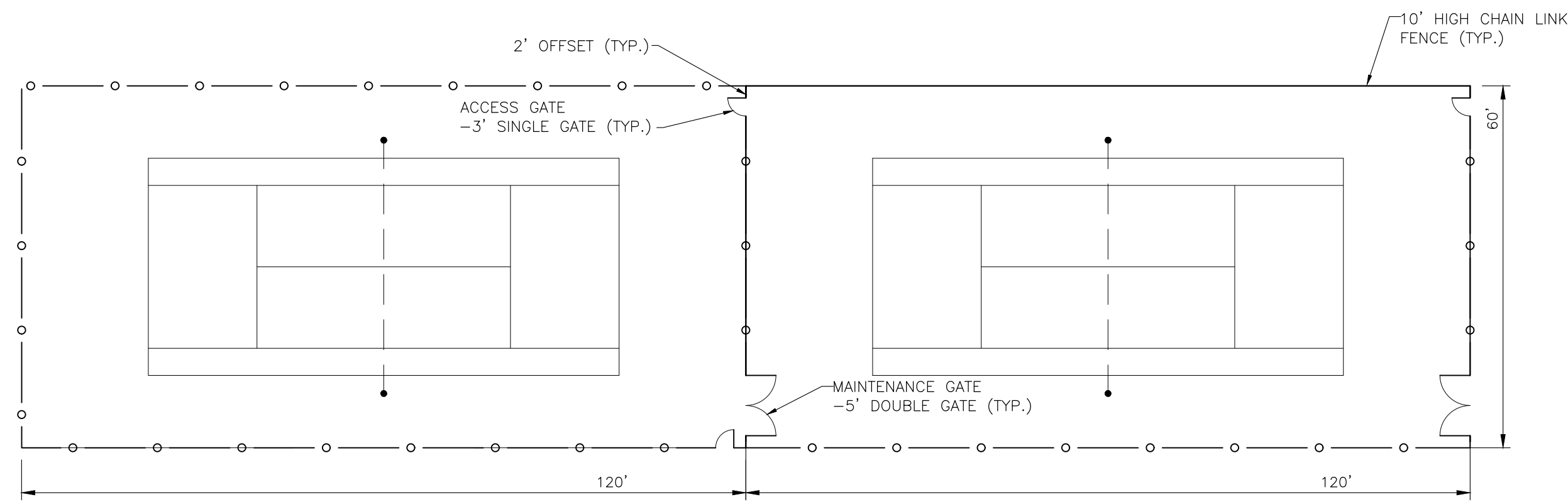


| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

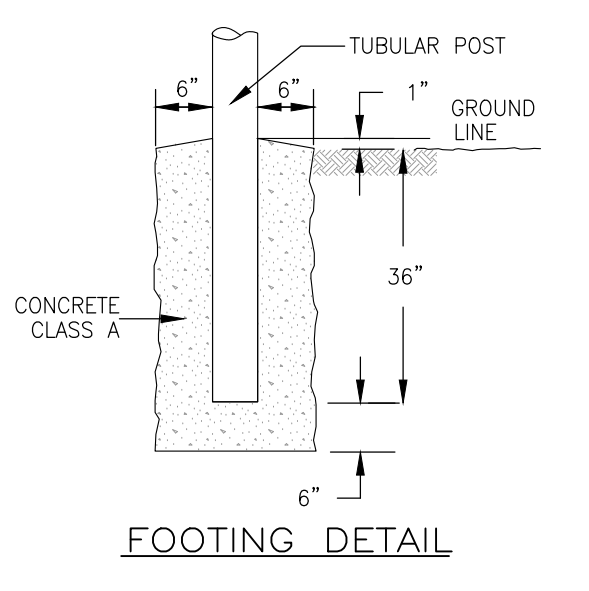
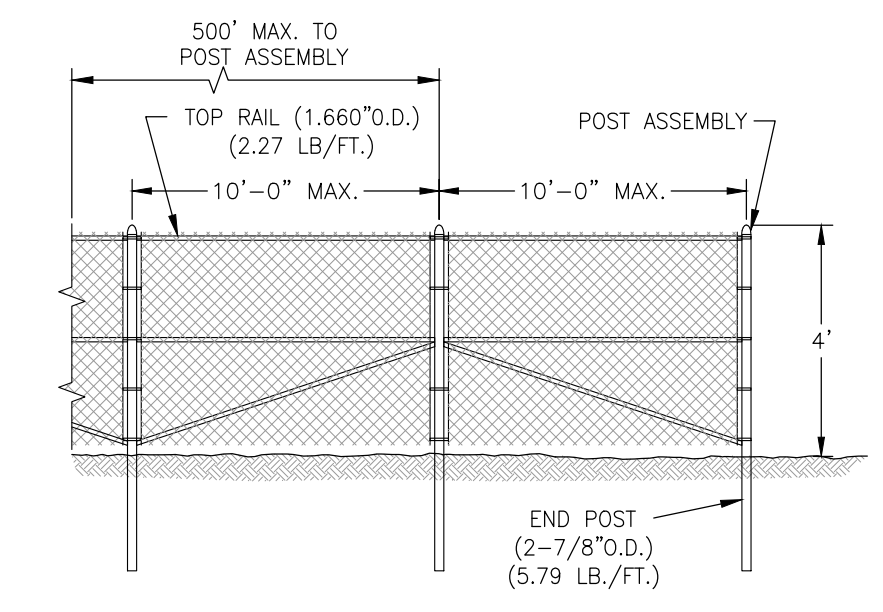
48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
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17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-19

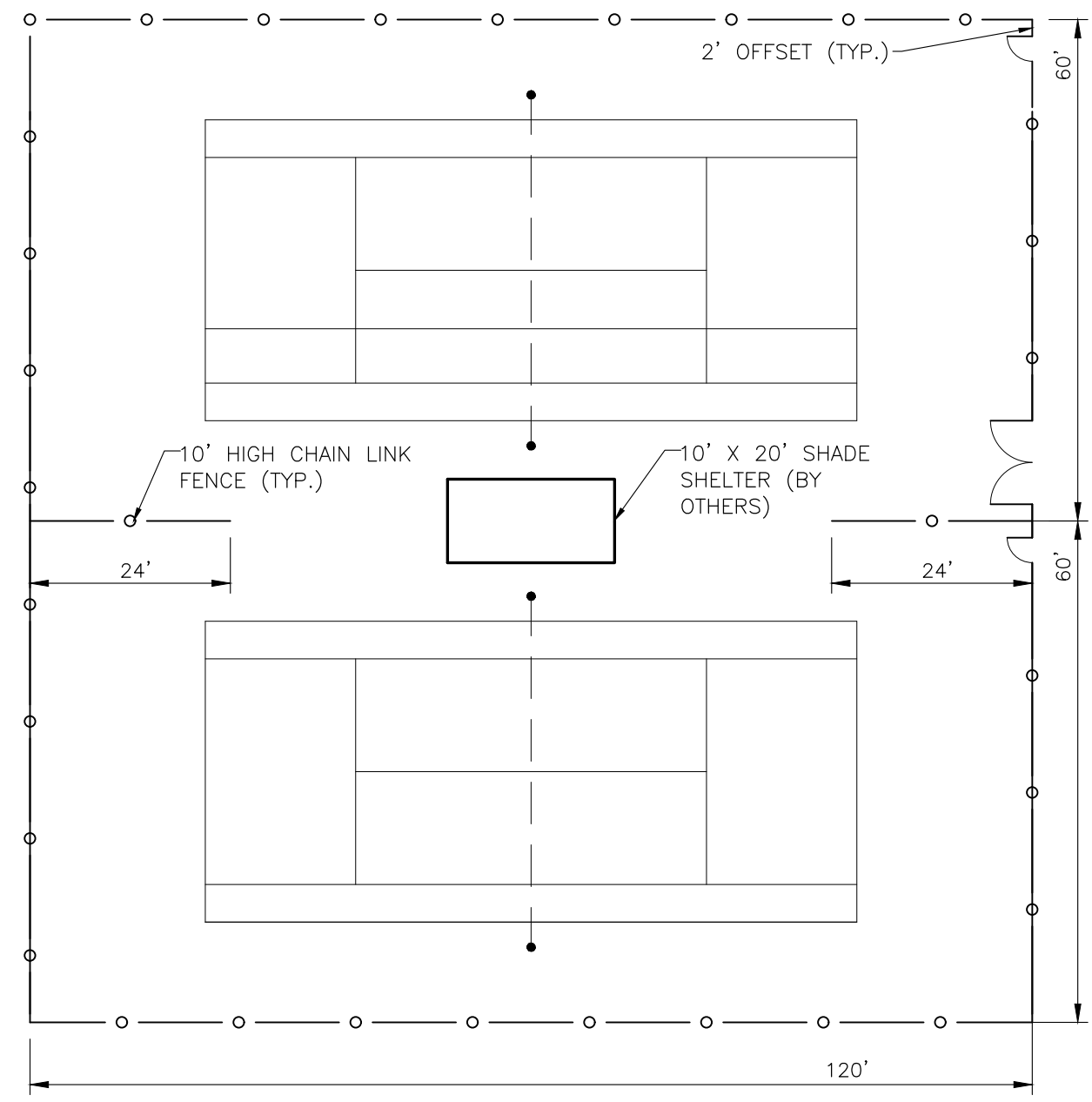


NOTES:
 REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.
 ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.

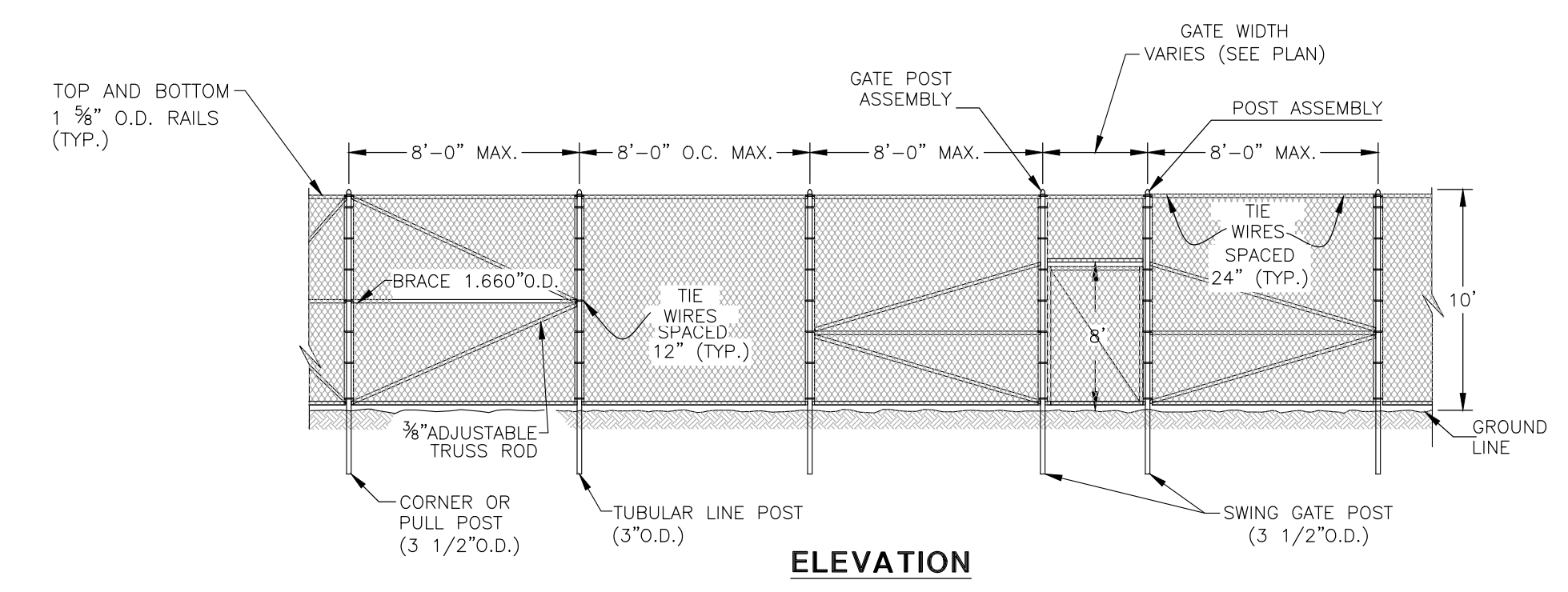
TYPICAL RACQUET COURT SECTION
 NOT TO SCALE



CHAIN LINK FENCE
 NOT TO SCALE

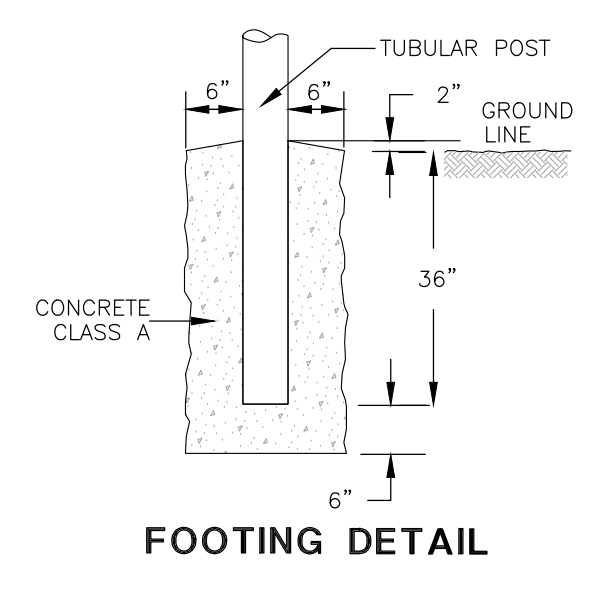


FENCE LAYOUT
 SCHEMATIC REPRESENTATION
 1' = 20'



NOTES:
 1. PROVIDE 9' OPEN MESH VINYL COATED WINDSCREEN - DARK GREEN. (INSTALL PER MANUFACTURER'S RECOMMENDATIONS.)
 2. ALL POST, RAILS, TIES AND FABRIC TO BE GALVANIZED GREEN VINYL-COATED.
 3. FABRIC SHALL BE 11 GAUGE, 1 3/4\"/>

10' CHAIN LINK FENCE DETAIL
 NOT TO SCALE



FOOTING DETAIL
 NOT TO SCALE

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TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
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NEW HAMPSHIRE STATE ENDANGERED

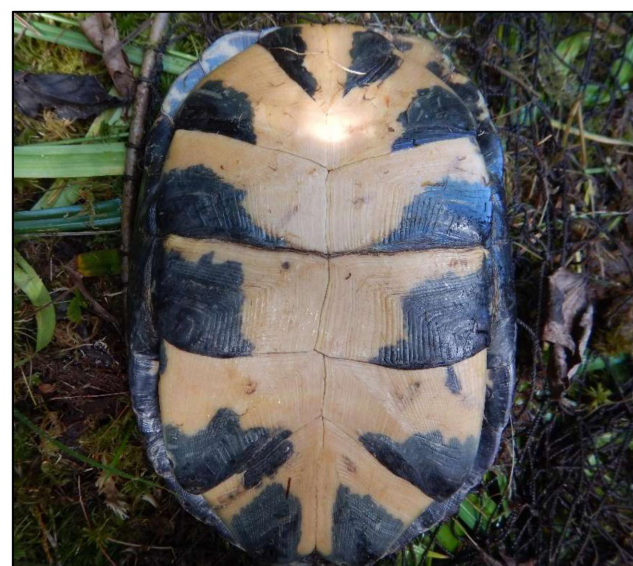
BLANDING'S TURTLE



Report Sightings: Contact Wildlife Biologist Josh Megyesy at (603) 271 – 1125 or the Wildlife Division at (603) 271 – 2461. Observation reports can be sent to RARP@wildlife.nh.gov. Photographs and exact locations are strongly encouraged.



- Specific Information:**
- Adults are 7 – 9 inches long.
 - Shell is highly domed with light speckles.
 - Distinct yellow throat and chin.
 - Uses variety of wetlands and moves extensively over land.
 - Turtles are frequently concealed by leaves and undergrowth and may not be easily visible.
 - Turtles are most active from April 15 – October 15.
 - During nesting season (May 15 – July 15) turtles are attracted to disturbed ground.



This species is protected under RSA 212-A and Fis 1000. Thank you for reporting any observations.

PLEASE DO NOT DISTURB OR HANDLE WILDLIFE



NEW HAMPSHIRE STATE THREATENED

EASTERN MEADOWLARK



Report Sightings: For environmental review projects, contact the Wildlife Division at (603) 271 – 2461 or as otherwise noted in permit documents. For non-urgent reports, submit observations to Ebird.org. Photographs and exact locations are strongly encouraged.



- Species Information:**
- 9 – 10 inches long with 14 – 16 inch wingspan, similar size as American Robin.
 - Mottled brown back with a bright yellow throat and breast.
 - Black "V" on chest, white outer tail feathers.
 - Found in large grasslands, such as hayfields and airports.
 - Most nesting is in the Connecticut and Merrimack valleys and near seacoast.
 - Nesting between May and August.
 - 2 – 7 eggs per nest, white with brown spots.
 - May nest more than once in a season.
 - Nests are built on ground with grass "roof" and are not always visible (see image).



This species is protected under RSA 209:8, RSA 209:10, and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME



NEW HAMPSHIRE STATE THREATENED

GRASSHOPPER SPARROW



Report Sightings: For environmental review projects, contact the Wildlife Division at (603) 271 – 2461 or as otherwise noted in permit documents. For non-urgent reports, submit observations to Ebird.org. Photographs and exact locations are strongly encouraged.



- Species Information:**
- Small 4 – 5 inches long, 8-inch wingspan.
 - Flat head, deep bill, and orange-yellow spot in front of eye.
 - Unstreaked, buffy belly and rusty spotting or streaking on back.
 - Song is a short insect-like buzz followed by several short, fainter notes.
 - Found in dry and sparse grasslands generally over 30 acres.
 - Located primarily along the Merrimack Valley and Seacoast.
 - Breeding May – August with 4 – 5 speckled eggs in a compact cup nest found on grass.



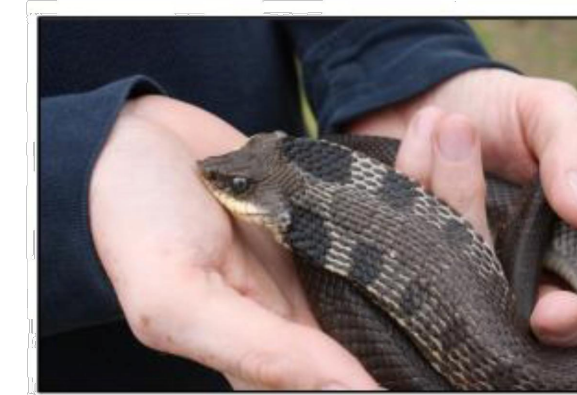
This species is protected under RSA 209:8, RSA 209:10, and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME

EASTERN HOGNOSE SNAKE

(New Hampshire state endangered species)

Egg laying occurs June 1 - July 15th.
Young emerge in August - September.



- Identifying traits**
- Black, gray or patterned appearance
 - Uprturned snout
 - Adults are 2-3 ft. long
 - May spread neck out or hiss
 - May play dead if they feel threatened.
 - Rarely bite – display is a defense strategy



- Habitat Use**
- Can be found in a variety of habitats throughout the season



Immediately report sightings to NH Fish & Game
Melissa Winters (603-479-1129) or
Brendan Clifford (603-944-0885)
Please report promptly, noting specific location and date.
Photographs strongly encouraged.



State Laws Pertaining to this Species
RSA 212-A:7, FIS 804.05, FIS 1401.03 (a)



NEW HAMPSHIRE STATE ENDANGERED

NEW ENGLAND COTTONTAIL



Report Sightings: For environmental review project, contact Wildlife Biologist Heidi Holman at (603) 616 – 3324, heidi.holman@wildlife.nh.gov, or the Wildlife Division at (603) 271 – 2461. Otherwise, observations can be sent to nhrabbitreports.org. Photographs and locations are strongly encouraged.

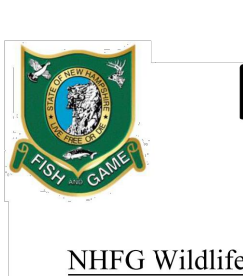


- Specific Information:**
- Adults are 15 – 17 inches in length.
 - Brown and gray coat that does not change color with seasons.
 - Black spot between the eyes is sometimes visible.
 - Often mistaken for Eastern Cottontails.
 - Found in shrublands and young-growth or early-successional forests.
 - Mating begins in March, with nests present throughout the summer.
 - Young are weaned around 28 days and continue growing throughout their first winter.
 - Do not hibernate and use habitat all year.



This species is protected under RSA 212-A and Fis 1000. Thank you for reporting any observations.

PLEASE DO NOT DISTURB OR HANDLE WILDLIFE



Northern Black Racer

(New Hampshire state-threatened species)

- NHFG Wildlife Biologist Contacts:
Melissa Winters 603-479-1129 and Brendan Clifford 603-944-0885
- Emerge from hibernacula in April, Basking April - August
 - Hatchlings emerge August - September, Return to hibernacula mid-September - mid-October
 - Found in a variety of habitats but prefer early successional and sandy (sand pit) sites.



- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned



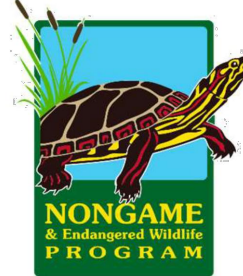
Northern black racers are protected by state laws. It is illegal to capture, harass or harm these species, including their nests. Handle ONLY if necessary to move out of harms way. Move to the nearest location in the direction they were moving and contact NHFG. Do not disturb nests. Fis 1401.03 (a) No person shall take or possess a black racer (Coluber constrictor)...or any egg or part thereof.

Report sightings in accordance with NHFG permit conditions. Contact NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) and Brendan Clifford 603-944-0885 (group text preferred) if a turtle is observed nesting or a nest site is suspected within the project area. Please report promptly, noting specific location, project site and date – Photographs strongly encouraged to be included with report.



NEW HAMPSHIRE STATE THREATENED

SPOTTED TURTLE



Report Sightings: Contact Wildlife Biologist Josh Megyesy at (603) 271 – 1125 or the Wildlife Division at (603) 271 – 2461. Observation reports can be sent to RARP@wildlife.nh.gov. Photographs and exact locations are strongly encouraged.



- Specific Information:**
- Adults are 3 – 5 inches long
 - Shell is black or brown, fairly flat, and with yellow spots.
 - Uses variety of wetlands and moves extensively over land.
 - Turtles are frequently concealed by leaves and undergrowth and may not be easily visible.
 - Turtles are most active from April 15 – October 15.
 - During nesting season (May 15 – July 15) turtles are attracted to disturbed ground.



This species is protected under RSA 212-A and Fis 1000. Thank you for reporting any observations.

PLEASE DO NOT DISTURB OR HANDLE WILDLIFE

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TAX MAP 28 LOTS 9, 10, &10-4

DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103

OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT
BENTON FAMILY REALTY, LLC
1000 W. WASHINGTON ST, MANCHESTER, NH 03103

NOVEMBER 18, 2025

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
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LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

SITE AND SOIL PREPARATION

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.

SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

PARK SEED MIX (NHDOT TYPE 15) MIN. 120 LBS/ACRE:
 33% CREEPING RED FESCUE (MIN. 40 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 50 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 25 LBS/ACRE)
 4% REDTOP (MIN. 5 LBS/ACRE)

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
 100% ANNUAL RYE

SLOPE SEED (WF) (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 95 LBS/ACRE):

38% CREEPING RED FESCUE (MIN. 35 LBS/ACRE)
 32% PERENNIAL RYEGRASS (MIN. 30 LBS/ACRE)
 5% REDTOP (MIN. 5 LBS/ACRE)
 5% ALSIKE CLOVER (MIN. 5 LBS/ACRE)
 5% BIRDSFOOT TREFLOIL (MIN. 5 LBS/ACRE)
 3% LANCE-LEAF COREOPSIS (MIN. 4 LBS/ACRE)
 3% OXEYE DAISY (MIN. 3 LBS/ACRE)
 3% BLACKEYED SUSAN (MIN. 4 LBS/ACRE)
 3% WILD LUPINE (MIN. 4 LBS/ACRE)

SLOPE SEED (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 80 LBS/ACRE):

44% CREEPING RED FESCUE (MIN. 35 LBS/ACRE)
 38% PERENNIAL RYEGRASS (MIN. 30 LBS/ACRE)
 6% REDTOP (MIN. 5 LBS/ACRE)
 6% ALSIKE CLOVER (MIN. 5 LBS/ACRE)
 6% BIRDSFOOT TREFLOIL (MIN. 5 LBS/ACRE)

PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

LAWN

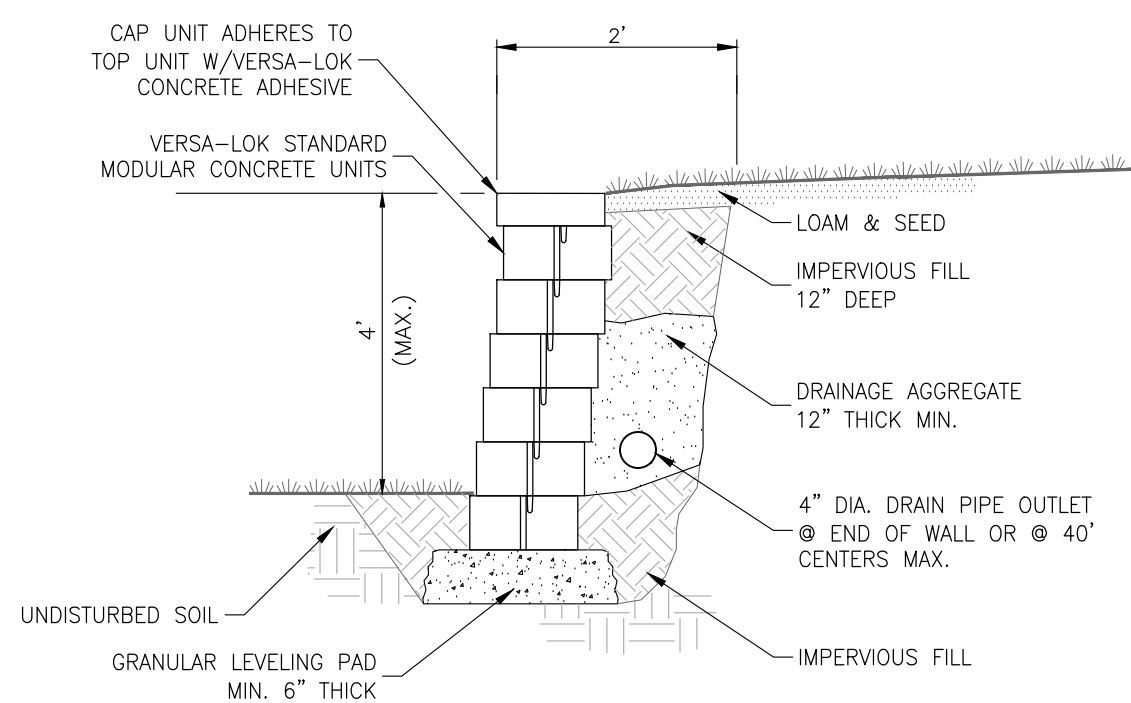
- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
 - SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
- LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 lb/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

MEADOW

- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

TREES AND SHRUBS:

- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
- TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
- THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
- LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

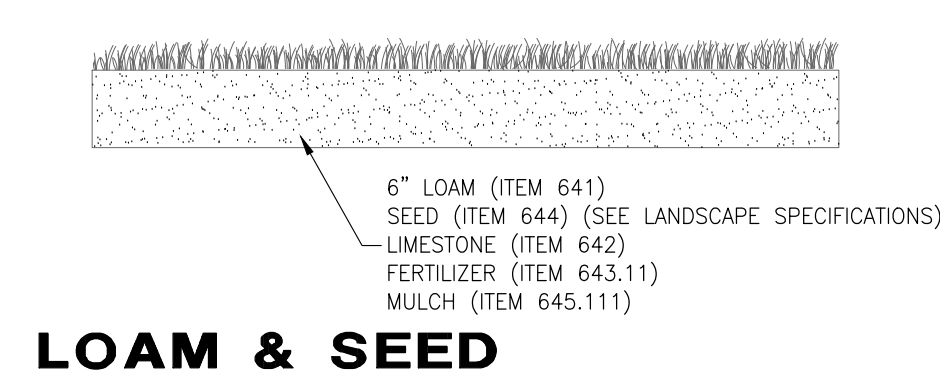


RETAINING WALLS HIGHER THAN 3 FT ARE CONSIDERED STRUCTURES AND REQUIRES A BUILDING PERMIT. OWNER SHALL SUBMIT DESIGN PLANS STAMPED BY A NH LICENSED PROFESSIONAL ENGINEER TO LONDONDERRY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

UNREINFORCED RETAINING WALL

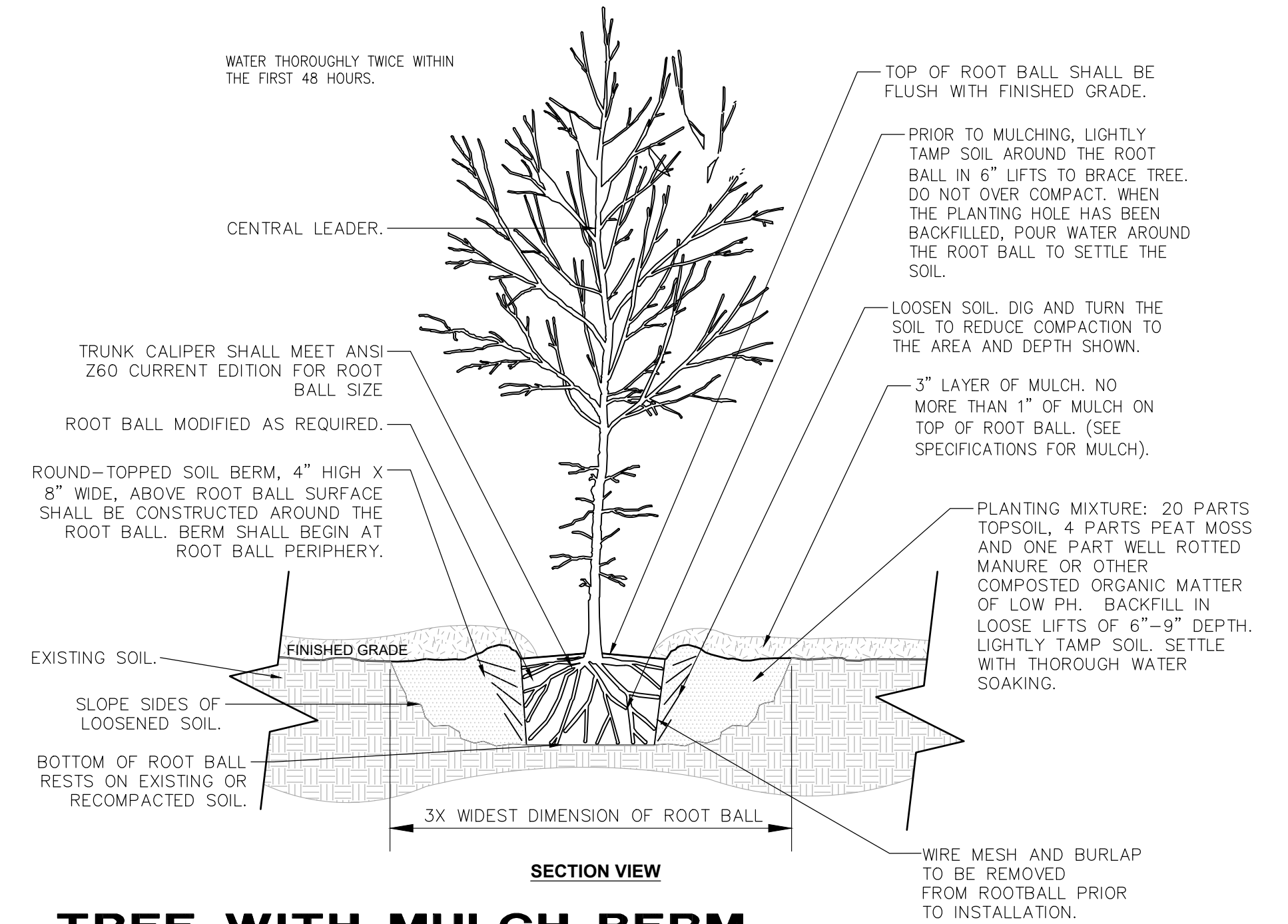
VERSA-LOK (OR EQUAL)

NOT TO SCALE



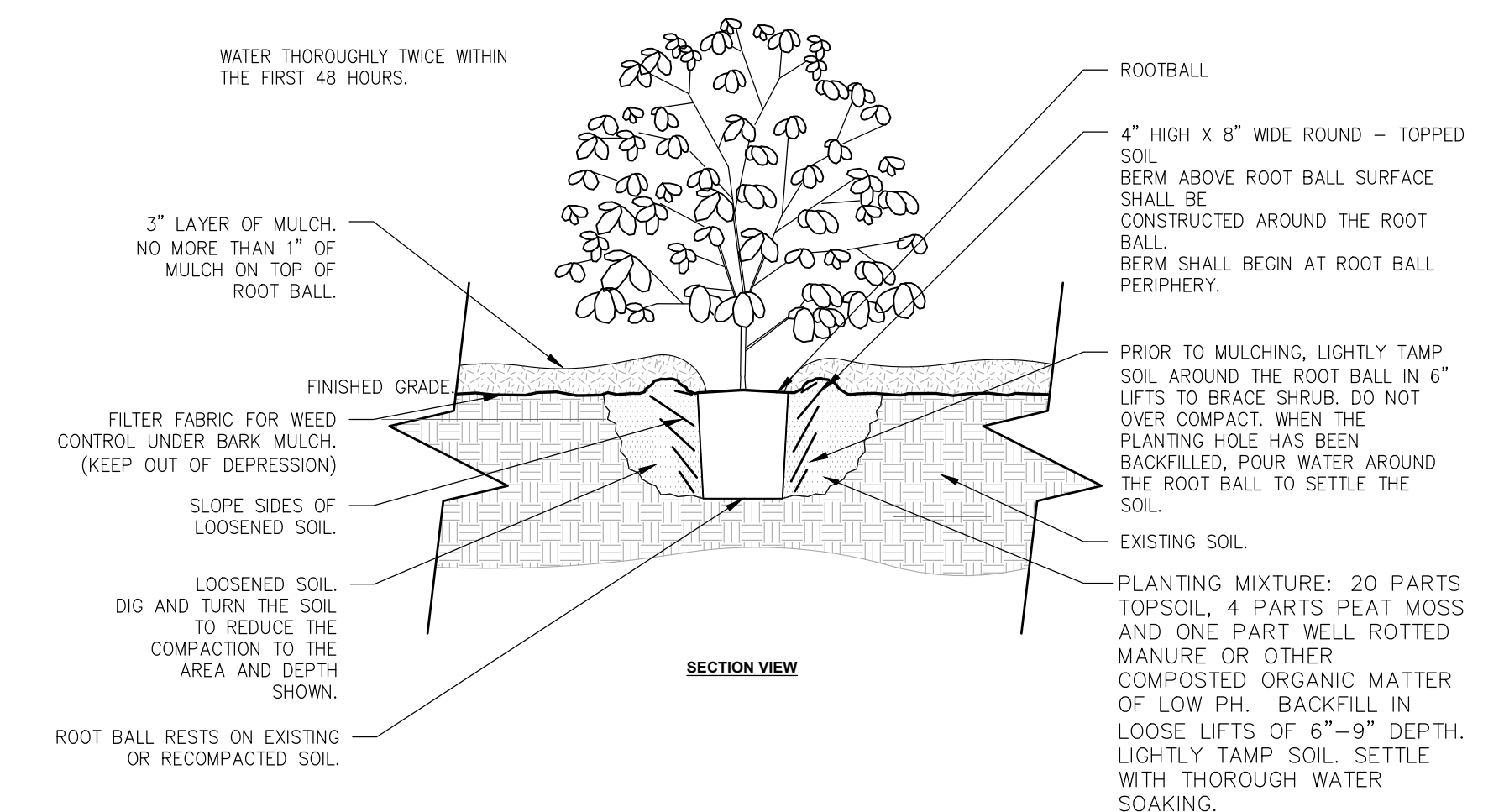
LOAM & SEED

NOT TO SCALE



TREE WITH MULCH BERM

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)

1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103

OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC

1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT

BENTON FAMILY REALTY, LLC

1000 W. WAY, MANCHESTER, NH 03103

NOVEMBER 18, 2025

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 48 Constitution Drive, Bedford, N.H. 03110

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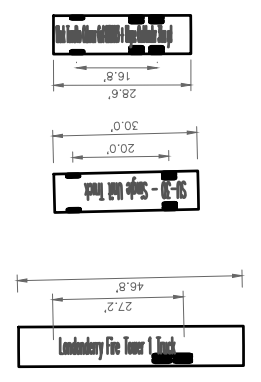
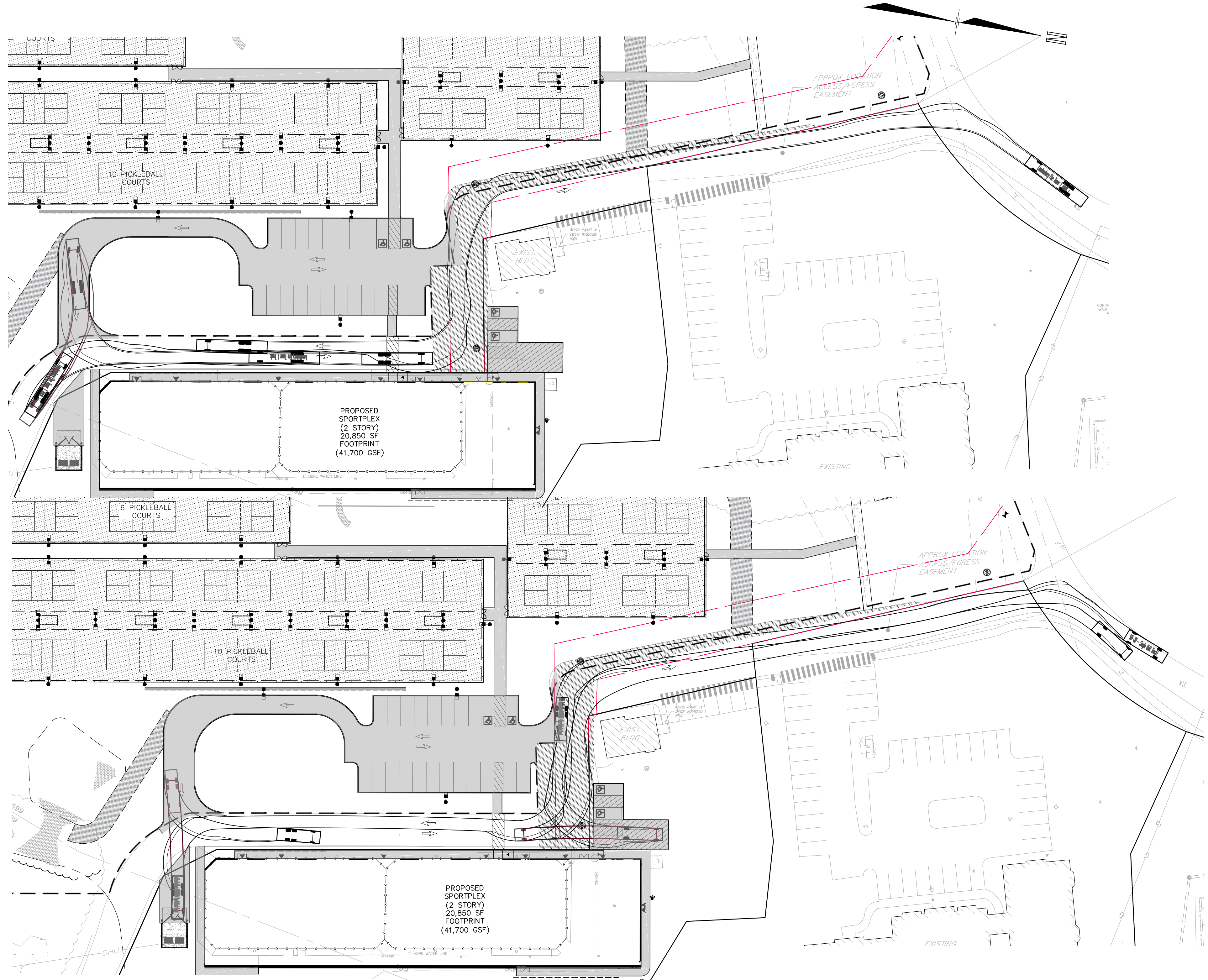
| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|------------------|----|-----|
| 1 | 2/17/2026 | DESIGN REVIEW 01 | JH | RED |

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| 17562.06 | DR JSH CK RED | CADFILE | 17562-06 COVER-DETAILS | C-22 |
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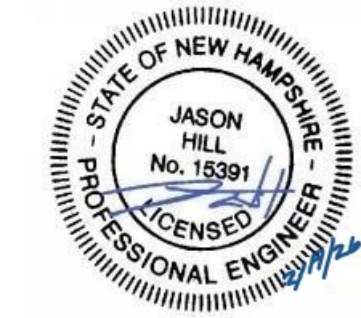


Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com



HORIZONTAL SCALE 1"=40'
 40 20 0 40



TAX MAP 28 LOTS 9, 10, &10-4
TURNING MOVEMENTS
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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| FILE# 17562.06 | DR JSH CK RED | CADFILE | 17562-06 SITE | C-T1 |
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