

Bedford Design

ENGINEERS, SURVEYORS & LANDSCAPE ARCHITECTS

603-622-5533 • 592 Harvey Road Manchester, NH 03103 • www.BedfordDesign.com

August 6, 2025

Town of Londonderry Planning Board
268B Mammoth Road
Londonderry, NH 03053

**RE: Rockpoint Commons
Conditional Use Permit
225 Rockingham Road
Londonderry, NH 03053
Tax Map 15 Lot 126**

Dear Board:

On behalf of GENEX Construction Group, Bedford Design Consultants is pleased to submit a conditional use permit for Rockpoint Commons in Londonderry, NH. The project site consists of 6± acres of land located along the south side of Rockingham Road (NH Route 28) east of the intersection of Smith Lane, in Londonderry, NH. The proposed development will consist of the construction of three (3) multi-family buildings (40 total units) with associated parking and utilities.

The wetlands were mapped by Tom Sokoloski, CWS and a Site-Specific Soils mapping of the study area shows well drained Chatfield fine sandy loam (Group C), moderately well drained Scituate fine sandy loam (Group C), and Ridgebury fine sandy loam (Group D). See attached SSS Report.

There are no wetland impacts proposed for this project. Although the project requires 1,023 SF of new buffer impact. The small area of buffer impact will not affect the wetlands' ability to filter pollution, trap sediment and absorb nutrients. There are no rare species or plants per the NHB Data check for the project site and surrounding area.

The new residential multi-family buildings will be serviced by Town sewer and water which will be extended into the parcel from Rockingham Road. Access to the site will be provided by a new 22-foot wide paved driveway. The stormwater from the proposed driveway, building roofs, and parking areas will be directed to sediment forebays for pre-treatment prior to entering gravel wetland basins for attenuation and further treatment.

The flow summary table below shows compliance with Env-Wq 1507.06(b)(c) Peak Runoff Control Requirements.

Summary Table - Off-Site Flows toward wetland

Location	2-Yr Storm		10-Yr Storm		50-Yr Storm	
	Ex (cfs)	Dev (cfs)	Ex (cfs)	Dev (cfs)	Ex (cfs)	Dev (cfs)
Map 15 Lot 128 (128L)	1.76	1.11	4.11	3.77	8.22	7.88
Map 15 Lot 115 (115L)	0.70	0.55	1.84	1.33	3.89	2.72
Map 15 Lot 130 (130L)	0.44	0.29	1.13	0.66	2.38	1.31

We are looking forward to reviewing these plans with you and will be pleased to answer any questions that come up. Please feel to contact me at 603-622-5533 or at georgec@bedforddesign.com.

Sincerely,

Bedford Design Consultants, Inc.



George A. Chadwick, PE
Senior Project Manager

Cc: Owner/Applicant

2. Design and construction materials will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

The wetland adjacent to the wetland buffer impact will be protected via silt fence and the drainage outlet will be stabilized with rip rap.

3. There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact upon the wetlands. Nothing in this section shall limit the applicant from exploring alternatives with abutting property owners:

The minor buffer impact (1,023 SF) will not affect the wetlands ability to filter pollution, trap sediment and absorb runoff from the project.

4. Economic advantage is not the sole reason for the proposed location of the construction:

The proposed location is necessary in order to obtain the necessary elevation to outlet the closed drainage system.

5. Square Footage of Wetland Impacts: 0
6. Square footage of Buffer Impacts: 1,023 SF



New Hampshire Department of Environmental Services DataCheck Results Letter

To: Genex Construction Group, LLC
222 Central Street
Hudson, NH 03051

From: NHDES Ecological Reviews

Date: 7/23/2025 (This letter is valid through 7/23/2026)

Re: Review by NHDES Ecological Reviews of request dated 7/23/2025

Permit Types: Londonderry
Alteration of Terrain Permit

Project ID: DCT25-2169

Applicant: Genex Construction Group, LLC

Location: Londonderry
Tax Map: 15, Tax Lot: 126
Address: 225 Rockingham Road

Project Description: Construction of residential rental units in three buildings with associated parking and utilities.

The NHDES Ecological Review database has been checked for records of rare species and exemplary natural communities near the area mapped (see next page). The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. There are currently no recorded occurrences of sensitive species near this project area.

A negative result (no record in the database) does not mean that a sensitive species is not present. These data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to the NH Natural Heritage Bureau and/or the NH Fish and Game Department. However, many areas have never been surveyed or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

Based on the information submitted, no further consultation with the NH Fish and Game Department pursuant to Fis 1004 is required.

New Hampshire Department of Environmental Services
DataCheck Results Letter

MAP OF PROJECT BOUNDARIES FOR: DCT25-2169



TES ENVIRONMENTAL CONSULTANTS, L.L.C.

*Environmental Planning and Permitting
Soil and Wetlands Investigation*

**SITE-SPECIFIC
SOIL SURVEY REPORT**

performed at

Tax Map 15, Lot 126
225 Rockingham Road
Londonderry, New Hampshire

prepared for

MDP Development, LLC
9 Old Derry Road
Hudson, NH 03051

TES Project # 24-0041

1494 Route 3A, Unit 1
Bow, NH 03304
(603) 856-8925

tom@tesenviro.comcastbiz.net



July 1, 2025

Mr. Tony Marcotte, PE Realtor
Senior Project Manager
MDP Development, LLC
9 Old Derry Road
Hudson, NH 03051

RE: Site Specific Soil Map for Tax Map 15, Lot 126
225 Rockingham Road, Londonderry, New Hampshire

Dear Mr. Marcotte:

On December 12, 2024 I performed field work on the above-referenced property for a Site Specific Soil Survey as you requested. The soil mapping area consisted of the entire 6.00-acre parcel as shown on an existing conditions site plan provided by Bedford Design Consultants, LLC. The base map utilized for the soil mapping had a map scale of 1" = 40' and 2-foot contour intervals. This soil survey was prepared to support a New Hampshire Alteration of Terrain permit application for a planned residential condominium development on the site.

This Site Specific Soil Survey was completed utilizing SSSNNE Special Publication No. 3; Site Specific Soil Mapping Standards for New Hampshire and Vermont, Version 7.0, March 2021. The soil legend used for this soil map conforms to the New Hampshire State-Wide Numerical Soils Legend, Issue #10, January 2011 established and maintained by the Natural Resources Conservation Service.

Field work for this survey consisted of traversing the site and examining numerous soil profiles via hand-dug test pits and auger borings taken at intervals sufficient for the delineation of soil map units. On that same day, I delineated New Hampshire-jurisdictional wetlands across the site, finding one narrow wetland drainageway along the west-central property boundary. I also observed and describe the soil profiles within seven (7) soil test pits dug by backhoe across the site on April 24, 2025. Locational control for the soil mapping was accomplished using numerous site features including well-marked property boundaries, tree lines and individual trees, stone walls, a house and associated development features shown on the base plan.

The Soil Survey of Rockingham County, New Hampshire (USDA – Natural Resource Conservation Service) was reviewed (via Web Soil Survey) prior to site work for reference. This publication indicates that the large majority of the site has soil consisting of Chatfield-Hollis-Canton complex (140B and 140C), a mixture of soils that are shallow or moderately deep to bedrock (Hollis and Chatfield, respectively) and a well-drained, sandy soil formed in loose, sandy glacial till material (Canton). The northwestern corner of the parcel is depicted as having poorly drained soil formed in sandy glaciofluvial deposits (547B - Walpole). Soils observed during the field investigation, however, showed that most of the site had soils formed in dense sandy glacial till deposits, and the southern ¼ or so of the site was found to have moderately

deep bedrock (20-40 inches below the surface). The sole site wetland was located within the area depicted by NRCS mapping as having poorly-drained soil formed in glaciofluvial deposits, although field observations indicate that this soil too had formed in dense glacial till deposits. Relatively small areas of disturbed soils are located around a house in the northern end of the site. Overall, the NRCS soil mapping was generally pretty close to actual site soils, except for the difference in glacial till composition.

The following report includes a Site Specific Soil Map Key with accompanying Hydrologic Soil Groups as well as soil map unit descriptions. The general soil conditions on the site are generally consistent, with dense glacial till parent material present in the northern majority of the site and shallow bedrock in the southern portion of the site. The landform on the site could be described as a drumlin. Mature forests occupy most of the parcel excepting the lawn and landscaped areas around the house at the north end of the site.

If you have any questions regarding the soils on this site and the accompanying report, please contact our office.

Very truly yours,



Thomas E. Sokoloski
Certified NH Soil Scientist No. 063



SITE SPECIFIC SOIL MAP UNIT KEY

<u>Symbol*</u>	<u>Map Unit</u>	<u>Slope Class</u>	<u>Drainage Class</u>	<u>HISS Symbol</u>	<u>Hydro. Soil Index**</u>
89B	Chatfield fine sandy loam	0-8%	Well	227BH	C
89C	Chatfield fine sandy loam	8-15%	Well	227CH	C
89D	Chatfield fine sandy loam	15-25%	Well	227DH	C
400B/dcccc	Udorthents, sandy	0-8%	Moderately well	363BH	C
400B/hcccc	Udorthents, sandy	0-8%	Undeterminable	763BH	C
448B	Scituate fine sandy loam	0-8%	Moderately well	323BH	C
448C	Scituate fine sandy loam	8-15%	Moderately well	323CH	C
448D	Scituate fine sandy loam	15-25%	Moderately well	323DH	C
656B	Ridgebury fine sandy loam	0-8%	Poorly	523BH	D

* Refer to accompanying report for 5-unit supplemental symbol explanation.

** SSSNNE recently recommended using Hydrologic Soil Index instead of NRCS Hydrologic Soil Group.

This detailed Site-Specific Soil Map, prepared on December 12, 2024 by Thomas E. Sokoloski, Certified Soil Scientist #063 of TES Environmental Consultants, L.L.C. in Bow, New Hampshire, conforms to the standards of SSSNNE Publication No. 3, Version 7.0, "Site-Specific Soil Mapping Standards for New Hampshire and Vermont", March 2021. This map has been prepared to comply with soil mapping requirements of RSA 485 A: 17 and NHDES Env-Wq 1500, Alteration of Terrain. See accompanying report for methodology, map symbol legend, and interpretations. Use of the map symbol denominators for disturbed or altered soils, where given, is at the discretion of the Certified Soil Scientist.

This map product is within the technical standards of the National Cooperative Soil Survey. It is a special purpose product, intended for use in support of a New Hampshire Alteration Terrain permit application. It was produced by a certified Soil Scientist, and is not a product of the USDA Natural Resources Conservation Service. There is a narrative report that accompanies this map.

Supplemental Symbols

The five components of the Disturbed Soil Mapping Unit Supplement are as follows:

Symbol 1: Drainage Class

- a-Excessively Well Drained
- b-Somewhat Excessively Drained
- c-Well Drained
- d-Moderately Well Drained
- e-Somewhat Poorly Drained
- f-Poorly Drained
- g-Very Poorly Drained
- h-Not Determined

Symbol 2 -: Parent Material (of naturally formed soil only, if present)

- a-No natural soil within 60"
- b-Glaciofluvial Deposits (outwash/terraces of sand or sand and gravel)
- c-Glacial Till Material (active ice)
- d-Glaciolacustrine very fine sand and silt deposits (glacial lakes)
- e-Loamy/sandy over silt/clay deposits
- f-Marine Silt and clay deposits (ocean waters)
- g-Alluvial Deposits (floodplains)
- h-Organic Materials-Fresh water Bogs, etc
- i- Organic Materials-Tidal Marsh

Symbol 3: Restrictive/Impervious Layers

- a-None
- b-Bouldery surface with more than 15% of the surface covered with boulders
- c-Mineral restrictive layer(s) are present in the soil profile less than 40 inches below the soil surface such as hardpan, platy structure or clayey texture with consistence of at least firm, i.e. more than 20 newtons. For other examples of soil characteristics that qualify for restrictive layer, see "Soil Manual for Site evaluations in NH" 2nd Ed., page 3-17, figure 2-14
- d-Bedrock in the soil profile 0-20 inches
- e-Bedrock in the soil profile 20-60 inches
- f-Areas where depth to bedrock is so variable that a single soil type cannot be applied, will be mapped as a complex of soil types
- g-Subject to Flooding
- h -man-made impervious surface including pavement, concrete, or built-up surfaces (i.e. buildings) with no morphological restrictive layer within control section

Symbol 4 Estimated Ksat* (most restrictive layer excluding symbol 3h above).

- a- High
- b-Moderate
- c-Low
- d-Not determined

*See "Guidelines for Ksat Class Placement" in Chapter 3 of the Soil Survey Manual, USDA

Symbol 5: Hydrologic Soil Group*

- a-Group A
- b-Group B
- c-Group C
- d-Group D
- e-Not determined

*excluding man-made impervious/restrictive layers

SITE SPECIFIC SOIL MAP UNIT DESCRIPTIONS

Map Unit Symbol: 89

Map Unit Name: Chatfield fine sandy loam

Landscape Settings: Hilltops and higher slopes of glacial till uplands

Surface Features: Boulders, stones, possible exposed bedrock

Drainage Class: Well

Parent Material: Glacial till deposits with bedrock between 20 to 40 inches from surface

Complex: Yes () No (X)

Nature of Dissimilar Inclusions, Locations and Estimated Percent:

Areas having bedrock deeper than 40 inches or less than 20 inches possible at unpredictable locations; estimated less than 20% of map unit.

Additional Notes: Typical observed soil profile description:

<u>Depth</u>	<u>Horizon</u>	<u>Color</u>	<u>Texture</u>	<u>Structure</u>	<u>Consistency</u>	<u>Redox</u>	<u>Notes</u>
0-7"	A	10YR 2/2	Fine sandy loam	Granular	Very friable	None	Little/no duff
7-19"	Bw	10YR 5/6	Sandy loam	Blocky	Friable	None	
19-23"	C	2.5Y 5/2	Sandy loam	Blocky	Friable	None	

Bedrock

Tax Map 15, Lot 126. Southern portion of parcel. 5% coarse fragments. SHWT not observed.

Thomas E. Sokoloski December 2024

SITE SPECIFIC SOIL MAP UNIT DESCRIPTIONS

Map Unit Symbol: 400B/dcccc

Map Unit Name: Udorthents, sandy

Landscape Settings: Altered (excavated, regraded or filled) soils

Surface Features: Sand and gravel fill material

Drainage Class: Moderately well

Parent Material: Sand and gravel material (fill) over sandy glacial till outwash with mineral restrictive features (hardpan)

Complex: Yes () No (X)

Nature of Dissimilar Inclusions, Locations and Estimated Percent:

None.

Additional Notes: Typical observed soil profile description:

<u>Depth</u>	<u>Horizon</u>	<u>Color</u>	<u>Texture</u>	<u>Structure</u>	<u>Consistency</u>	<u>Redox</u>	<u>Notes</u>
0-6"	F	2.5Y 6/4	Grav. loamy sand	Single grain	Firm (compacted)	None	
6-24"	Bw	10YR 5/6	Sandy loam	Blocky	Friable	None	
24-40"	Cd	2.5YR 6/3	Sandy loam	Massive	Firm	7.5YR 4/6@36"	

Tax Map 15, Lot 126. Northern portion of parcel. 5% coarse fragments. SHWT 36".

Thomas E. Sokoloski December 2024

SITE SPECIFIC SOIL MAP UNIT DESCRIPTIONS

Map Unit Symbol: 400B/hcccc
Map Unit Name: Udorthents, sandy
Landscape Settings: Developed land
Surface Features: Impervious surfaces, - pavement, buildings
Drainage Class: Undeterminable (assumed to be moderately well drained as are adjacent soils)
Parent Material: Sandy glacial till deposits with mineral restrictive features (hardpan)
Complex: Yes () No (X)

Nature of Dissimilar Inclusions, Locations and Estimated Percent:

None.

Additional Notes: Typical observed soil profile description:

<u>Depth</u>	<u>Horizon</u>	<u>Color</u>	<u>Texture</u>	<u>Structure</u>	<u>Consistency</u>	<u>Redox</u>	<u>Notes</u>
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Not observed due to buildings or impervious pavement.

Tax Map 15, Lot 126. Northern portion of parcel. 5% coarse fragments. SHWT assumed to be similar to surrounding undisturbed soils (15-40").

Thomas E. Sokoloski December 2024

SITE SPECIFIC SOIL MAP UNIT DESCRIPTIONS

Map Unit Symbol: 448
Map Unit Name: Scituate fine sandy loam
Landscape Settings: Lower slopes of glacial till uplands
Surface Features: None
Drainage Class: Moderately well
Parent Material: Sandy glacial till deposits with mineral restrictive features (hardpan)
Complex: Yes () No (X)

Nature of Dissimilar Inclusions, Locations and Estimated Percent:

Small areas of disturbed soils, in vicinity of existing house, less than 5% of soil map unit.

Additional Notes: Typical observed soil profile description:

<u>Depth</u>	<u>Horizon</u>	<u>Color</u>	<u>Texture</u>	<u>Structure</u>	<u>Consistency</u>	<u>Redox</u>	<u>Notes</u>
0-6"	A	10YR 3/2	Fine sandy loam	Granular	Very friable	None	
6-29"	Bw	10YR 5/6	Sandy loam	Blocky	Friable	None	
29-40"	Cd	2.5Y 6/3	Sandy loam	Massive	Firm		7.5YR 5/6 @29"

Tax Map 15, Lot 126. Northern 3/4 of parcel. 5% coarse fragments. SHWT 15-40".

Thomas E. Sokoloski December 2024

SITE SPECIFIC SOIL MAP UNIT DESCRIPTIONS

Map Unit Symbol: 656

Map Unit Name: Ridgebury fine sandy loam

Landscape Settings: Low-lying areas on glacial till landscapes; wetlands

Surface Features: None

Drainage Class: Poorly

Parent Material: Sandy glacial till deposits with mineral restrictive features (hardpan)

Complex: Yes () No (X)

Nature of Dissimilar Inclusions, Locations and Estimated Percent:

None.

Additional Notes: Typical observed soil profile description:

<u>Depth</u>	<u>Horizon</u>	<u>Color</u>	<u>Texture</u>	<u>Structure</u>	<u>Consistency</u>	<u>Redox</u>	<u>Notes</u>
0-2"	Oe	10YR 2/1	--	--	--	--	Mucky peat
2-8"	A	10YR 2/1	Sandy loam	* Blocky	Friable	None	
8-14"	Bg	2.5Y 5/2	Sandy loam	Blocky	Friable	10YR 5/6	
14-28"	Cg	2.5Y 6/2	Loamy sand	Massive	Firm	10YR 5/8	


Tax Map 15, Lot 126. Northwestern portion of site, along western property line. 5% coarse fragments. SHWT within 12" of surface or above surface.

Thomas E. Sokoloski December 2024

TES

TES ENVIRONMENTAL CONSULTANTS, L.L.C.


TEST PIT LOG SHEET

Date: 4/24/2025			Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski			Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 1	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES	
A	0-6"	2.5Y 3/3	Sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.	
Bw	6-29"	10YR 5/6	Sandy loam	Blocky	Friable	None	Many fine, medium and coarse roots.	
Cd	29-86"	2.5Y 6/3	Gravelly loamy sand	Massive	Firm	Common, medium, prominent 7.5YR 5/8 concentrations @30"	Common fine roots.	
ESHWT: 30" ROOTS: 36" OBSERVED WATER: 76" LEDGE: N/O RESTRICTIVE LAYER: 29"				NOTES: < 5% stones and boulders to 18" diameter throughout.		 <p>CSS STAMP</p>		

TES

TES ENVIRONMENTAL CONSULTANTS, L.L.C.


TEST PIT LOG SHEET

Date: 4/24/2025			Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski			Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 2	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES	
A	0-14"	10YR 3/2	Fine sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.	
Bw	14-34"	10YR 5/4	Sandy loam	Blocky	Friable	None	Many fine, medium and coarse roots.	
Cd	34-74"	2.5Y 6/3	Gravelly loamy sand	Massive	Firm	Common, medium, prominent 7.5YR 5/6 concentrations @37"	Few fine roots.	
<p>ESHWT: 37"</p> <p>ROOTS: 40"</p> <p>OBSERVED WATER: 65"</p> <p>LEDGE: N/O</p> <p>RESTRICTIVE LAYER: 34"</p>				<p>NOTES: 5% stones and boulders to 12" diameter, increasing with depth.</p>		 <p>CSS STAMP</p>		

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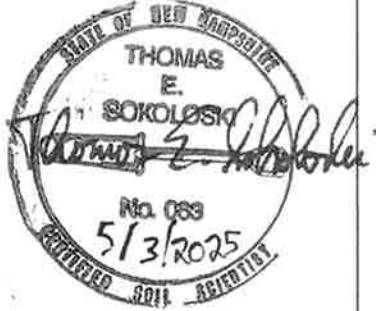
TEST PIT LOG SHEET

Date: 4/24/2025		Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski		Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 3	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
A	0-14"	10YR 2/2	Fine sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.
Bw	14-30"	2.5Y 5/6	Sandy loam	Blocky	Friable	None	Common fine and medium roots.
Cd	30-74"	2.5Y 5/4	Gravelly loamy sand	Massive	Firm	Common, medium, prominent 7.5YR 4/6 concentrations @33"	Few fine roots.
ESHWT: 33" ROOTS: 38" OBSERVED WATER: 62" LEDGE: N/O RESTRICTIVE LAYER: 30"				NOTES: 5% stones to 12" diameter.		 <p>CSS STAMP</p>	

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TEST PIT LOG SHEET

Date: 4/24/2025			Project No: 24-0041			Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski			Project Name: MDP/Rockingham Road/Londonderry			Test Pit No: 4	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
A	0-4"	10YR 2/2	Fine sandy loam	Granular	Very friable	None	Many fine and medium roots.
Bw	4-20"	10YR 5/6	Sandy loam	Blocky	Friable	None	Common fine and medium roots.
C	20-22"	2.5Y 5/2	Sandy loam	Blocky	Friable	None	Common fine roots.
Bed rock							
ESHWT: N/O ROOTS: 22" OBSERVED WATER: N/O LEDGE: 22" RESTRICTIVE LAYER: N/O				NOTES: 5% stones to 12" diameter. Bedrock surface broken easily by excavator.		 <p>CSS STAMP</p>	

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TES ENVIRONMENTAL CONSULTANTS, L.L.C.


TEST PIT LOG SHEET

Date: 4/24/2025		Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski		Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 5	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES
A	0-7"	10YR 2/2	Fine sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.
Bw	7-19"	10YR 5/6	Sandy loam	Blocky	Friable	None	Common fine, medium and coarse roots.
C	19-23"	2.5Y 5/2	Sandy loam	Blocky	Friable	None	Common fine and medium roots.
Bed rock							
ESHWT: N/O ROOTS: 23" OBSERVED WATER: N/O LEDGE: 23" RESTRICTIVE LAYER: N/O				NOTES: 5% stones to 12" diameter. Bedrock surface broken easily by excavator.		 <p>CSS STAMP</p>	

TES

TES ENVIRONMENTAL CONSULTANTS, L.L.C.


TEST PIT LOG SHEET

Date: 4/24/2025			Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokolowski			Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 6	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES	
A	0-8"	10YR 2/2	Fine sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.	
Bw	8-21"	10YR 5/6	Sandy loam	Blocky	Friable	None	Many fine and medium roots.	
Cd	21-56"	2.5Y 6/2	Gravelly loamy sand	Massive	Firm	None	Few fine roots.	
ESHWT: N/O ROOTS: 34" OBSERVED WATER: N/O LEDGE: N/O RESTRICTIVE LAYER: 21"				NOTES: <5% stones to 12" diameter.		 CSS STAMP		

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TES ENVIRONMENTAL CONSULTANTS, L.L.C.

TEST PIT LOG SHEET

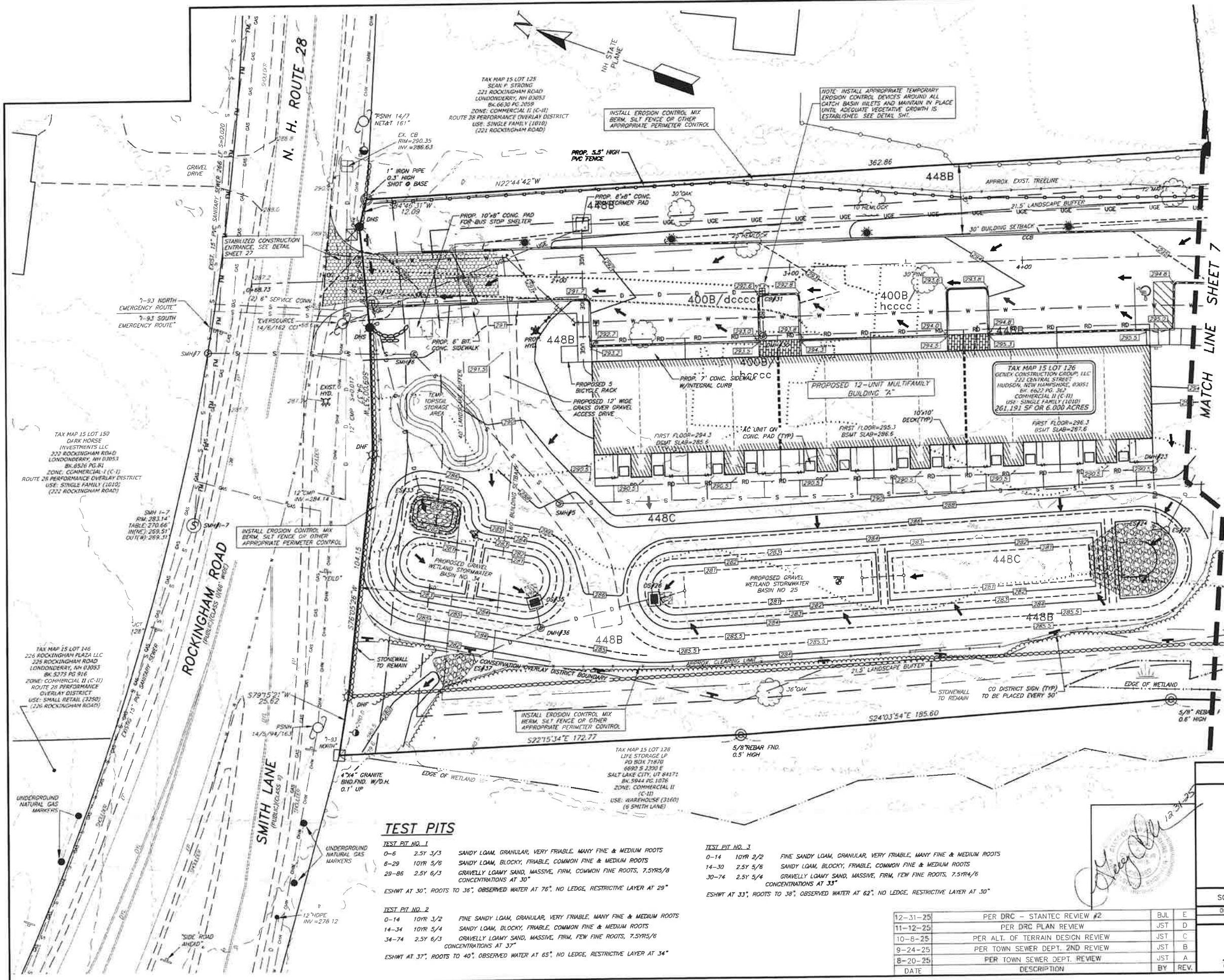
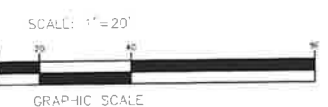
Date: 4/24/2025			Project No: 24-0041				Lot: Map 15/Lot 126	
CSS: Thomas E. Sokoloski			Project Name: MDP/Rockingham Road/Londonderry				Test Pit No: 7	
HOR	DEPTH	COLOR	TEXTURE	STRUCTURE	CONSISTENCY	REDOX FEATURES	NOTES	
A	0-8"	10YR 3/3	Fine sandy loam	Granular	Very friable	None	Many fine, medium and coarse roots.	
Bw	8-33"	2.5Y 5/6	Sandy loam	Blocky	Friable	None	Many fine and medium roots.	
Cd	33-60"	2.5Y 6/3	Loamy sand	Massive	Firm	None	Few fine roots.	
ESHWT: N/O ROOTS: 42" OBSERVED WATER: N/O LEDGE: N/O RESTRICTIVE LAYER: 33"				NOTES: 5% stones to 8" diameter throughout.		 <p>CSS STAMP</p>		

REFER TO SHEET 7
FOR GRADING NOTES



LEGEND

- 290 — PROPOSED CONTOUR
- 290 - EXISTING CONTOUR
- 430.3 PROPOSED SPOT GRADE
- 282.6x EXISTING SPOT GRADE
- 2+00 STATION NUMBERING FOR DRIVEWAY PROFILE
- ← DRAINAGE FLOW ARROW
- ⊕ TEST PIT
- PROPOSED SILT FENCE
- PROPOSED RIP RAP
- GAS — PROPOSED GAS LINE
- GAS — EXISTING GAS LINE
- W — PROPOSED WATER LINE
- EXISTING WATER LINE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- E — EXISTING UNDERGROUND ELECTRIC
- OHW — EXISTING OVERHEAD UTILITIES
- D — PROPOSED DRAIN LINE
- D — EXISTING DRAIN LINE
- RD — PROPOSED ROOF DRAIN
- S — PROPOSED SEWER LINE
- S — EXISTING SEWER LINE
- ⊕ EXISTING WATER SHUTOFF
- ⊕ PROPOSED WATER SHUTOFF
- ⊕ EXISTING HYDRANT
- ⊕ PROPOSED HYDRANT
- ⊕ EXISTING CATCH BASIN
- ⊕ PROPOSED CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY WIRE
- ⊕ EXISTING LIGHT POLE
- ⊕ PROPOSED LIGHT POLE
- EXISTING STOCKADE FENCE
- PROPOSED PVC FENCE
- EXISTING CHAINLINK FENCE
- EXISTING GUARDRAIL
- EDGE OF JURISDICTIONAL WETLANDS
- WETLAND SYMBOL
- WETLAND BUFFER
- PROPOSED TREE LINE
- EXISTING TREE LINE
- ZONE LINE
- SHEET MATCHLINE



TEST PITS

- TEST PIT NO. 1**
 0-6 2.5Y 3/3 SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 6-29 10YR 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 29-86 2.5Y 6/3 GRAVELLY LOAMY SAND, MASSIVE, FIRM, COMMON FINE ROOTS, 7.5YR5/8 CONCENTRATIONS AT 30"
 ESHWT AT 30", ROOTS TO 36", OBSERVED WATER AT 76", NO LEDGE, RESTRICTIVE LAYER AT 29"
- TEST PIT NO. 2**
 0-14 10YR 3/2 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 14-34 10YR 5/4 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 34-74 2.5Y 6/3 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR5/6 CONCENTRATIONS AT 37"
 ESHWT AT 37", ROOTS TO 40", OBSERVED WATER AT 65", NO LEDGE, RESTRICTIVE LAYER AT 34"
- TEST PIT NO. 3**
 0-14 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 14-30 2.5Y 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 30-74 2.5Y 5/4 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS, 7.5YR4/6 CONCENTRATIONS AT 33"
 ESHWT AT 33", ROOTS TO 39", OBSERVED WATER AT 62", NO LEDGE, RESTRICTIVE LAYER AT 30"

DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BUL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER ALI. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126
GRADING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
 PREPARED FOR/OWNER:
 GENEX CONSTRUCTION GROUP, LLC
 222 CENTRAL STREET
 HUDSON, N.H. 03051
 BOOK 6622 PAGE 362

SCALE: 1" = 20' JUNE 12, 2025 SHEET 6 OF 33

DESIGN:	DRAWN:	CHECKED:	FB	PG
JST	JST	CAC	692	28

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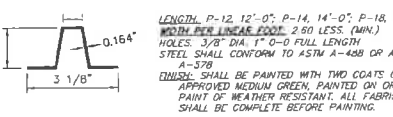
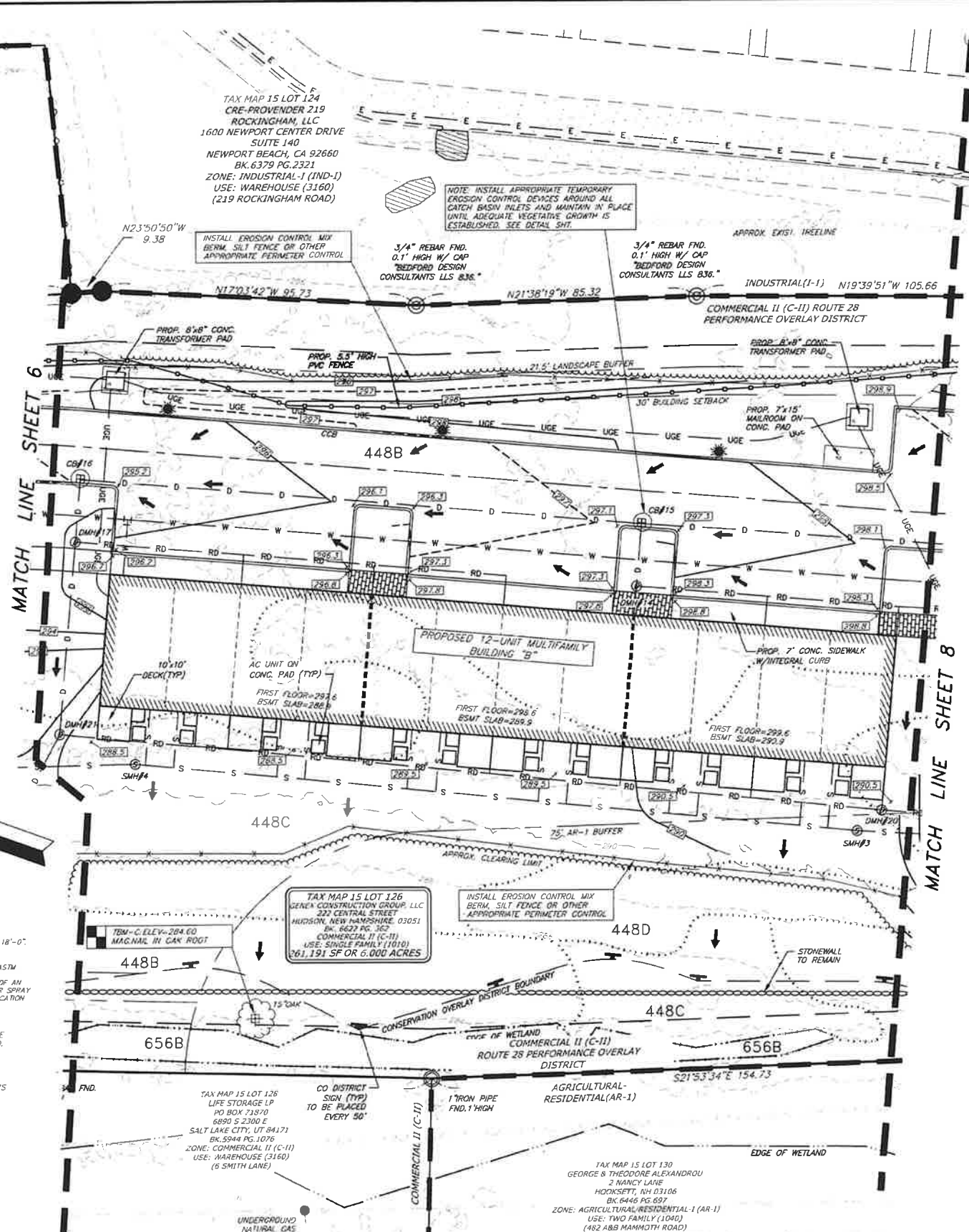


VICINITY MAP
SCALE: 1"=2500'

- GRADING NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ASSOCIATED WITH THE PROPOSED SITE PLAN.
 - ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
 - ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURERS INSTALLATION INSTRUCTIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-800-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND/OR PROTECTION OF ALL UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES DURING UTILITIES WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS CONSTRUCTION WORK AT ALL TIMES.
 - THE CONTRACTOR SHALL THOROUGHLY SECURE ALL EXCAVATIONS ON A DAILY BASIS AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - CONTRACTOR SHALL VERIFY T.B.M. ELEVATION PRIOR TO THE START OF CONSTRUCTION.
 - ALL PROPOSED AND EXISTING CATCH BASINS WHICH MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHALL BE OUTFITTED WITH INLET PROTECTION.
 - THE CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON-SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLAN SET THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE N.H.D.E.S. STANDARDS. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY/TOWN.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THIS PLAN SET, PREPARED BY BEDFORD DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE METHODS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REQUIREMENTS.
 - ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO N.H.D.E.S., LOCAL CITY/TOWN POLICE DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE. DRIVEWAYS SHALL BE GRADED AWAY FROM GARAGES TO PREVENT SURFACE RUNOFF FROM ENTERING THE GARAGE. ALL FRONT, SIDE AND REAR LAWN AREAS SHALL BE GRADED TO DIRECT SURFACE RUNOFF AWAY FROM THE PROPOSED BUILDINGS.
 - CONTRACTOR TO PROMOTE FINISHED PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING AND GARAGE ENTRANCES.
 - THE PROPERTY OWNERS OR ASSIGNED QUALIFIED PROFESSIONAL WILL CONDUCT THE OPERATION AND MAINTENANCE PROGRAM SET FORTH IN THE LONG TERM MAINTENANCE PLAN INSPECTION & MAINTENANCE (LTM) MANUAL FOR STORMWATER BEST MANAGEMENT PRACTICES (BMP) COMMENSURATE WITH THE DRAINAGE WILL ENSURE THAT INSPECTIONS AND RECORD KEEPING ARE TIMELY AND ACCURATE, AND THAT CLEANING AND MAINTENANCE ARE PERFORMED AT LEAST ON A BI-ANNUAL BASIS. INSPECTION & MAINTENANCE LOG FORMS SHALL INCLUDE THE DATE AND TIME OF THE LAST SIGNIFICANT STORM EVENT IN EXCESS OF 2.5" OF RAIN IN A 24-HOUR PERIOD, PHYSICAL CONDITIONS OF THE STRUCTURES, DEPTH OF SEDIMENT IN STRUCTURES, EVIDENCE OF OVERTOPPING OR DEBRIS BLOCKAGE, AND MAINTENANCE REQUIRED OF EACH STRUCTURE. RECORDS OF MAINTENANCE AND INSPECTION & MAINTENANCE LOG SHEETS SHALL BE KEPT BY THE OWNER INDICATING ALL WORK AND INSPECTIONS. THESE REPORTS WILL BE SENT TO THE LONDONDERRY ENGINEERING OFFICE ON A YEARLY BASIS. ALL STORMWATER MANAGEMENT STRUCTURES WILL BE INSPECTED TWO TIMES PER YEAR, WITH CLEANING TYPICALLY OCCURRING IN APRIL AND OCTOBER AND POSSIBLY MORE OFTEN AS SITE CONDITIONS WARRANT. CONCURRENT WITH INSPECTION AND CLEANING, ALL LITTER SHALL BE PICKED UP AND REMOVED FROM THE PARKING AREAS, LAWN, LANDSCAPED AND WOODED AREAS.

LEGEND

- | | | |
|--------|--|------------------------|
| 290 | PROPOSED CONTOUR | EXISTING WATER SHUTOFF |
| 290 | EXISTING CONTOUR | PROPOSED WATER SHUTOFF |
| 430.3 | PROPOSED SPOT GRADE | EXISTING HYDRANT |
| 282.6x | EXISTING SPOT GRADE | PROPOSED HYDRANT |
| 2+00 | STATION NUMBERING FOR DRIVEWAY PROFILE | EXISTING CATCH BASIN |
| ← | DRAINAGE FLOW ARROW | PROPOSED CATCH BASIN |
| ↖ | TEST PIT | SEWER MANHOLE |
| — | PROPOSED SILT FENCE | DRAIN MANHOLE |
| — | PROPOSED RIP RAP | EXISTING UTILITY POLE |
| — | PROPOSED GAS LINE | EXISTING GUY WIRE |
| — | EXISTING GAS LINE | EXISTING LIGHT POLE |
| — | PROPOSED WATER LINE | PROPOSED LIGHT POLE |
| — | EXISTING WATER LINE | WETLAND SYMBOL |
| — | PROPOSED UNDERGROUND ELECTRIC | WETLAND BUFFER |
| — | EXISTING UNDERGROUND ELECTRIC | PROPOSED TREE LINE |
| — | EXISTING OVERHEAD UTILITIES | EXISTING TREE LINE |
| — | PROPOSED DRAIN LINE | — |
| — | EXISTING DRAIN LINE | — |
| — | PROPOSED ROOF DRAIN | — |
| — | PROPOSED SEWER LINE | — |
| — | EXISTING SEWER LINE | — |
| — | EXISTING STOCKADE FENCE | — |
| — | PROPOSED PVC FENCE | — |
| — | EXISTING CHAINLINK FENCE | — |
| — | EXISTING GUARDRAIL | — |
| — | EDGE OF JURISDICTIONAL WETLANDS | — |



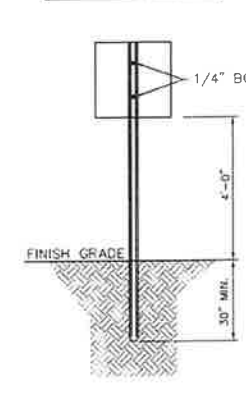
LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-18, 18'-0".
WIDTH PER LINEAR FOOT, 2.00 LESS (MIN.)
HOLES: 3/8" DIA. 1" O-D FULL LENGTH
STEEL SHALL CONFORM TO ASTM A-488 OR ASTM A-378
EMWAL SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, PAINTED ON OR SPRAY PAINT OF WEATHER RESISTANT. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- POST NOTES:**
- POSTS SHALL BE PLUMB, ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET ON DRIVEN.
 - WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE INSTALLED WITH SUITABLE MATERIAL IN LAYERS NOT TO EXCEED 6" DEEP THOROUGHLY COMPACTED. CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 - WHEN POSTS ARE DRIVEN A SUITABLE DRIVING GAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST BATTERED HEADS WILL NOT BE ACCEPTED.
 - POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 - SIGNS SHALL BE ERECTED IN CONCORDANCE WITH THE GUIDELINES OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
 - WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
 - DIMENSIONS SHOWN ARE NOMINAL.
 - ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



CONSERVATION AREA
SIGN DETAIL
NOT TO SCALE

PROTECTED CONSERVATION AREA
DO NOT DISTURB SOILS OR VEGETATION
VIOLATORS WILL BE PROSECUTED
FOR INFORMATION OR TO REPORT A VIOLATION CALL THE CODE ENFORCEMENT OFFICER AT 432-1100 EXT 125



FINISH GRADE
30' MIN.

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DATE	DESCRIPTION	BY	REV.
12-31-25	PER DRC - STANTEC REVIEW #2	BUL	E
11-12-25	PER DRC PLAN REVIEW	JST	D
10-8-25	PER A.L.T. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A



TAX MAP 15 LOT 126
GRADING PLAN
ROCKPOINT COMMONS
225 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/OWNER:
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, N.H. 03051
BOOK 6622 PAGE 362

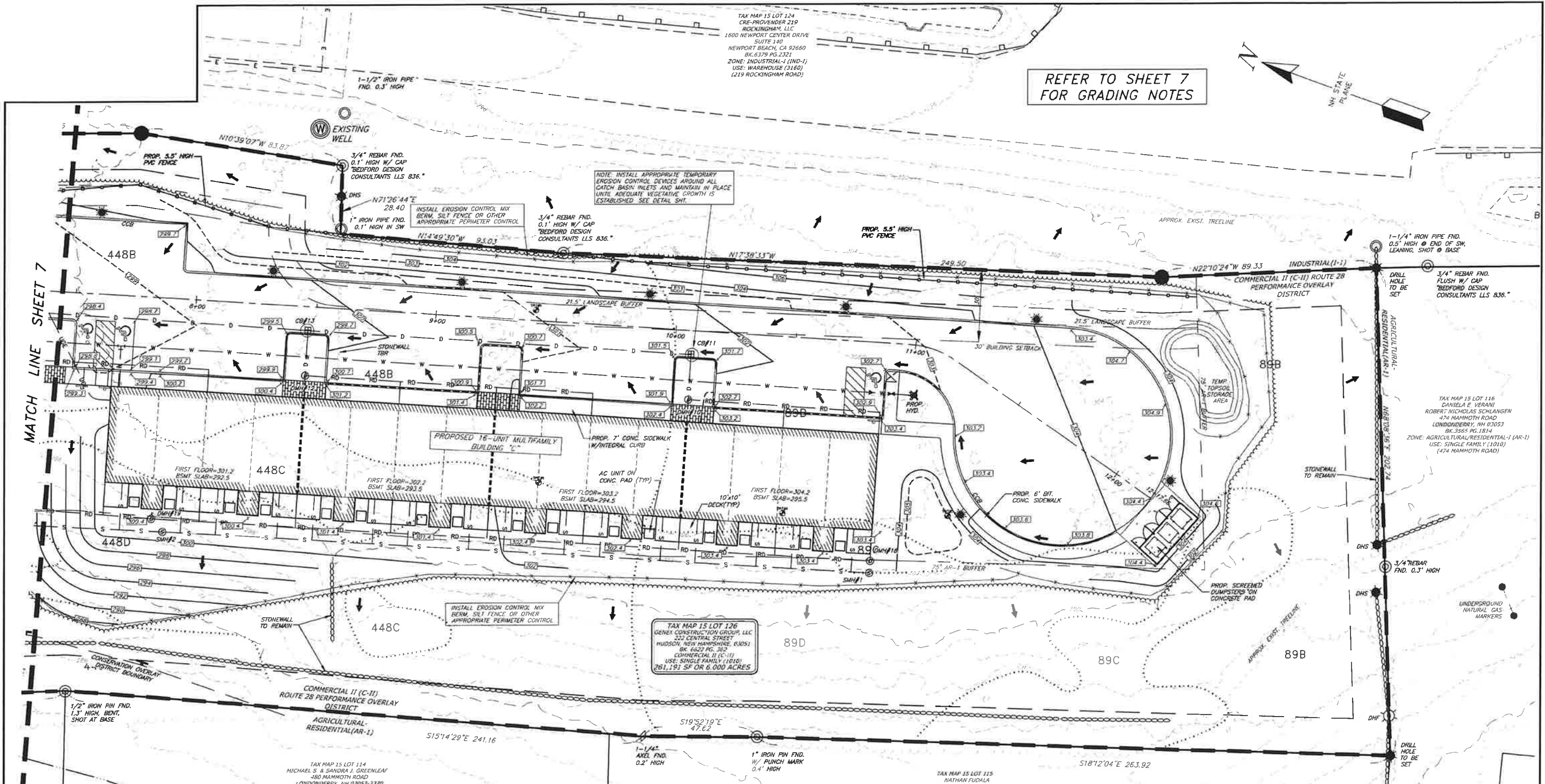
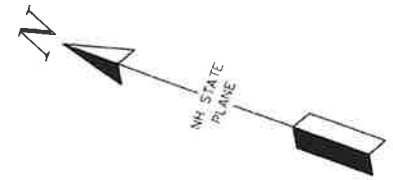
SCALE: 1" = 20'
JUNE 12, 2025
SHEET 7 OF 33

DESIGN: JST
DRAWN: JST
CHECKED: GAC
FBI: 692
PG: 28
503-22

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TAX MAP 15 LOT 124
CRE-PROVENDER 219
ROCKINGHAM, LLC
1600 NEWPORT CENTER DRIVE
SUITE 140
NEWPORT BEACH, CA 92660
BK. 6379 PG. 232
ZONE: INDUSTRIAL-1 (IND-1)
USE: WAREHOUSE (3160)
(219 ROCKINGHAM ROAD)

REFER TO SHEET 7
FOR GRADING NOTES



TAX MAP 15 LOT 126
GENEX CONSTRUCTION GROUP, LLC
222 CENTRAL STREET
HUDSON, NEW HAMPSHIRE 03051
BK. 6622 PG. 352
ZONE: COMMERCIAL II (C-II)
USE: SINGLE FAMILY (1010)
261,191 SF OR 6.000 ACRES

TAX MAP 15 LOT 116
DANIELA E. VERANI
ROBERT NICHOLAS SCHLANGEN
474 MAMMOTH ROAD
LONDONDERRY, NH 03053
BK. 595 PG. 1014
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(474 MAMMOTH ROAD)

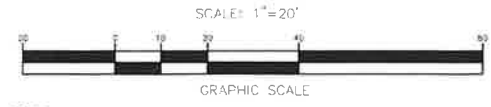
TAX MAP 15 LOT 114
MICHAEL S. & SANDRA J. GREENLEAF
480 MAMMOTH ROAD
LONDONDERRY, NH 03053-2370
BK. 5922 PG. 2941
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(480 MAMMOTH ROAD)

TAX MAP 15 LOT 115
NATHAN FUDALA
478 MAMMOTH ROAD
LONDONDERRY, NH 03053
BK. 6050 PG. 682
ZONE: AGRICULTURAL/RESIDENTIAL-1 (AR-1)
USE: SINGLE FAMILY (1010)
(478 MAMMOTH ROAD)

TEST PITS

- TEST PIT NO. 4**
- 0-4 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 - 4-20 10YR 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 - 20-22 2.5Y 5/2 SANDY LOAM, BLOCKY FRAGILE, COMMON FINE ROOTS
 - NO ESHMT AT 22', ROOTS TO 22', NO WATER AT 22', LEDGE AT 22', NO RESTRICTIVE LAYER
- TEST PIT NO. 5**
- 0-7 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 - 7-19 10YR 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 - 19-23 2.5Y 5/2 SANDY LOAM, BLOCKY FRAGILE, COMMON FINE ROOTS
 - NO ESHMT AT 23', ROOTS TO 23', NO WATER AT 23', LEDGE AT 23', NO RESTRICTIVE LAYER

- TEST PIT NO. 6**
- 0-8 10YR 2/2 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 - 8-21 10YR 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 - 21-56 2.5Y 6/2 GRAVELLY LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS
 - NO ESHMT AT 56', ROOTS TO 34', NO WATER AT 56', NO LEDGE AT 56', RESTRICTIVE LAYER AT 21'
- TEST PIT NO. 7**
- 0-8 10YR 3/3 FINE SANDY LOAM, GRANULAR, VERY FRAGILE, MANY FINE & MEDIUM ROOTS
 - 8-33 2.5Y 5/6 SANDY LOAM, BLOCKY, FRAGILE, COMMON FINE & MEDIUM ROOTS
 - 33-60 2.5Y 6/3 LOAMY SAND, MASSIVE, FIRM, FEW FINE ROOTS
 - NO ESHMT AT 60', ROOTS TO 42', NO WATER AT 60', NO LEDGE AT 60', RESTRICTIVE LAYER AT 33'



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10-8-25	PER ALT. OF TERRAIN DESIGN REVIEW	JST	C
9-24-25	PER TOWN SEWER DEPT. 2ND REVIEW	JST	B
8-20-25	PER TOWN SEWER DEPT. REVIEW	JST	A

TAX MAP 15 LOT 126
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SCALE: 1" = 20' JUNE 12, 2025 SHEET 8 OF 33

DESIGN:	DRAWN:	CHECKED:	FB:	PG:	
JST	JST	GAC	692	28	503-22

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