

# MACK'S APPLES FARM MARKET

## TAX MAP 6 - LOT 21

### 230 MAMMOTH ROAD

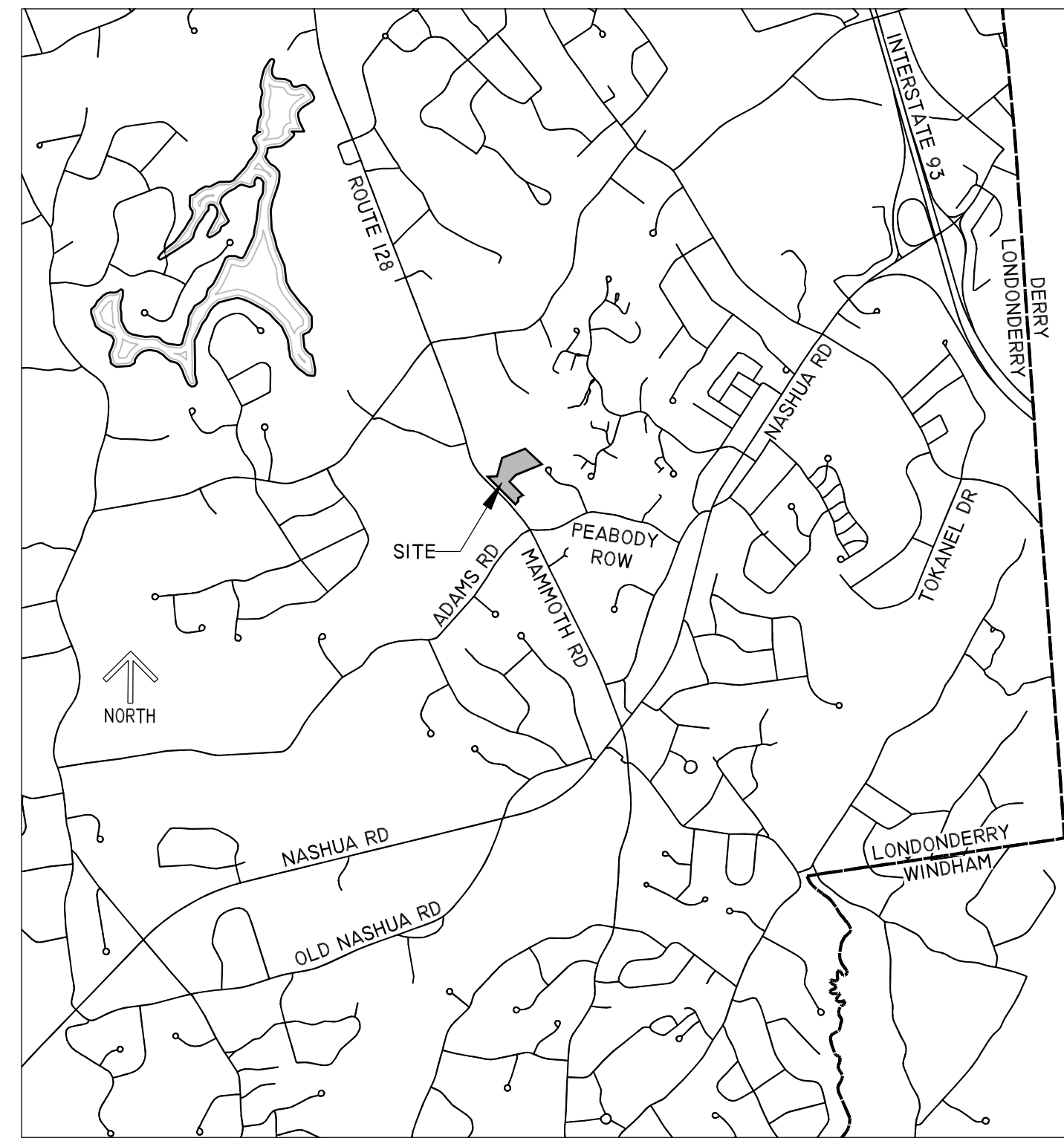
### LONDONDERRY, NH 03053

#### LIST OF DRAWINGS

DWG	SHT NO.	DESCRIPTION
C-1	1 OF 13	COVER SHEET
EB-1	2 OF 13	EXISTING BOUNDARY PLAN
EC-1	3 OF 13	EXISTING CONDITIONS PLAN
EC-2	4 OF 13	EXISTING CONDITIONS PLAN
SP-1	5 OF 13	PROPOSED SITE PLAN
SEP-1	6 OF 13	SEPTIC DESIGN AND UTILITY PLAN
SEP-2	7 OF 13	SEPTIC DESIGN PLAN
LPP-1	8 OF 13	LIGHTING PLAN
MD-1	9 OF 13	MISCELLANEOUS DETAIL SHEET
MD-2	10 OF 13	MISCELLANEOUS DETAIL SHEET
AI.00	11 OF 13	FLOOR PLAN OF PROPOSED RESTAURANT
A3.01	12 OF 13	ELEVATION PROPOSED RESTAURANT
A3.02	13 OF 13	ELEVATION PROPOSED RESTAURANT (REAR)

#### SYMBOLS LEGEND

	EXISTING PROPERTY LINE		PROPOSED 2 FOOT CONTOUR
	EXISTING ABUTTERS PROPERTY LINE		PROPOSED 10 FOOT CONTOUR
	EXISTING EASEMENT LINE		PROPOSED 1 FOOT CONTOUR
	EXISTING PROPERTY SETBACK LINE		PROPOSED SPOT GRADE
	EXISTING 2 FOOT CONTOUR		PROPOSED BUILDING
	EXISTING 10 FOOT CONTOUR		PROPOSED WATER LINE
	EXISTING SOIL DELINEATION LINE		PROPOSED SEPTIC-MAIN LINE
	EXISTING FENCE LINE		PROPOSED FORCE-MAIN LINE
	EXISTING STONE WALL		PROPOSED DRAIN LINE
	EXISTING TREE LINE		PROPOSED ROOF DRAIN
	EXISTING WATER LINE		PROPOSED UNDER DRAIN
	EXISTING SEWER LINE		PROPOSED GAS LINE
	EXISTING SEWER SERVICE W. CLEAN OUT		PROPOSED OVERHEAD ELECTRIC
	EXISTING DRAIN LINE		PROPOSED OVERHEAD ELECTRIC
	EXISTING GAS LINE		PROPOSED LIGHTING UNITS
	EXISTING ELECTRIC LINE		PROPOSED DRAIN MANHOLE
	EXISTING OVERHEAD ELECTRIC		PROPOSED CATCH BASIN
	EXISTING WETLAND BOUNDARY		PROPOSED DRAINAGE OUTLET STRUCTURE
	EXISTING BUILDING		PROPOSED SEWER MANHOLE
	EXISTING GRAVEL DRIVEWAY		PROPOSED WATER GATE VALVE
	EXISTING PICNIC TABLE		PROPOSED WELL
	EXISTING DRAIN MANHOLE		PROPOSED GAS GATE VALVE
	EXISTING CATCH BASIN		PROPOSED FES WITH RIP-RAP OUTLET PROTECTION
	EXISTING SEWER MANHOLE		STONE BOUND TO BE SET
	EXISTING WATER GATE VALVE		RE-BAR TO BE SET
	EXISTING FIRE HYDRANT		PROPOSED LIGHT POLE
	EXISTING WELL		PROPOSED DRAINAGE FLOW ARROWS
	EXISTING GAS GATE		PROPOSED PAVEMENT
	EXISTING TREE AND CALIPER		PROPOSED DREDGE AND FILL PERM. DISTURBANCE
	EXISTING LIGHT POLE		PROPOSED DREDGE AND FILL TEMP. DISTURBANCE
	EXISTING POWER POLE		
	TEMPORARY BENCH MARK (TBM)		
	TEST PIT LOCATION (TP)		
	STONE BOUND FOUND (SBF)		
	DRILL HOLE FOUND (DHF)		
	IRON PIPE FOUND (IPF)		
	RE-BAR FOUND (RBF)		
	PHOTO NUMBER AND DIRECTION		



VICINITY MAP  
SCALE 1" = 2500'

#### OWNER / APPLICANT:

MHO ACQUISITION LLC.  
230 MAMMOTH ROAD  
LONDONDERRY, NH 03053

#### PROFESSIONAL CONSULTANTS LIST

ENGINEER: BROWN ENGINEERING, LLC  
34 WHITTIER HIGHWAY  
MOULTONBOROUGH, NH 03254  
OFFICE PHONE - 603-744-1044

SURVEYOR: FRENCH LAND SERVICES INC.  
581 SCHOOL STREET  
RUMNEY, NH 03266  
OFFICE PHONE - 603786-9790

SOIL SCIENTIST & WETLAND SCIENTIST: POWELL ASSET MAPPING, LLC  
234 CRYSTAL LAKE ROAD  
GILMINTON IRON WORKS, NH 03837  
OFFICE PHONE - 603-364-0136

#### AGENCY APPROVALS

NH DOT DRIVEWAY PERMIT # 269-206  
NHDES SUBSURFACE SEWAGE DISPOSAL PERMIT # PENDING

#### INITIAL PLAN SET SUBMISSION DATE

DECEMBER 18, 2025

LATEST REVISION DATE:  
FEBRUARY 12/2026

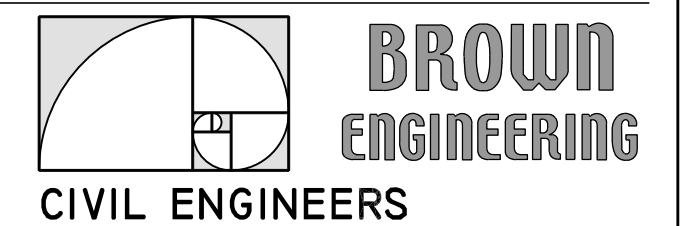
OWNERS CERTIFICATION

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD  
ON DATE: \_\_\_\_\_  
CERTIFIED BY: \_\_\_\_\_

NO.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KL B
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KL B

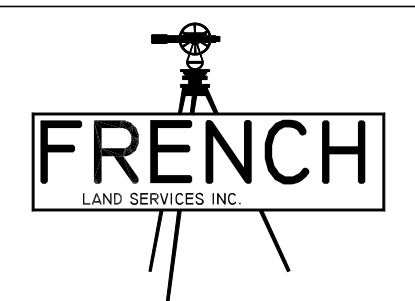
PREPARED BY:

**BROWN ENGINEERING LLC**  
34 WHITTIER HIGHWAY  
MOULTONBOROUGH, NH 03254  
TEL: (603) 744-1044  
WWW.BROWENGINEERINGLLC.COM



FRENCH LAND SERVICES INC.

581 SCHOOL STREET  
RUMNEY, N.H. 03266  
TEL: (603) 786-9790  
FRENCH@WORLDPATH.NET

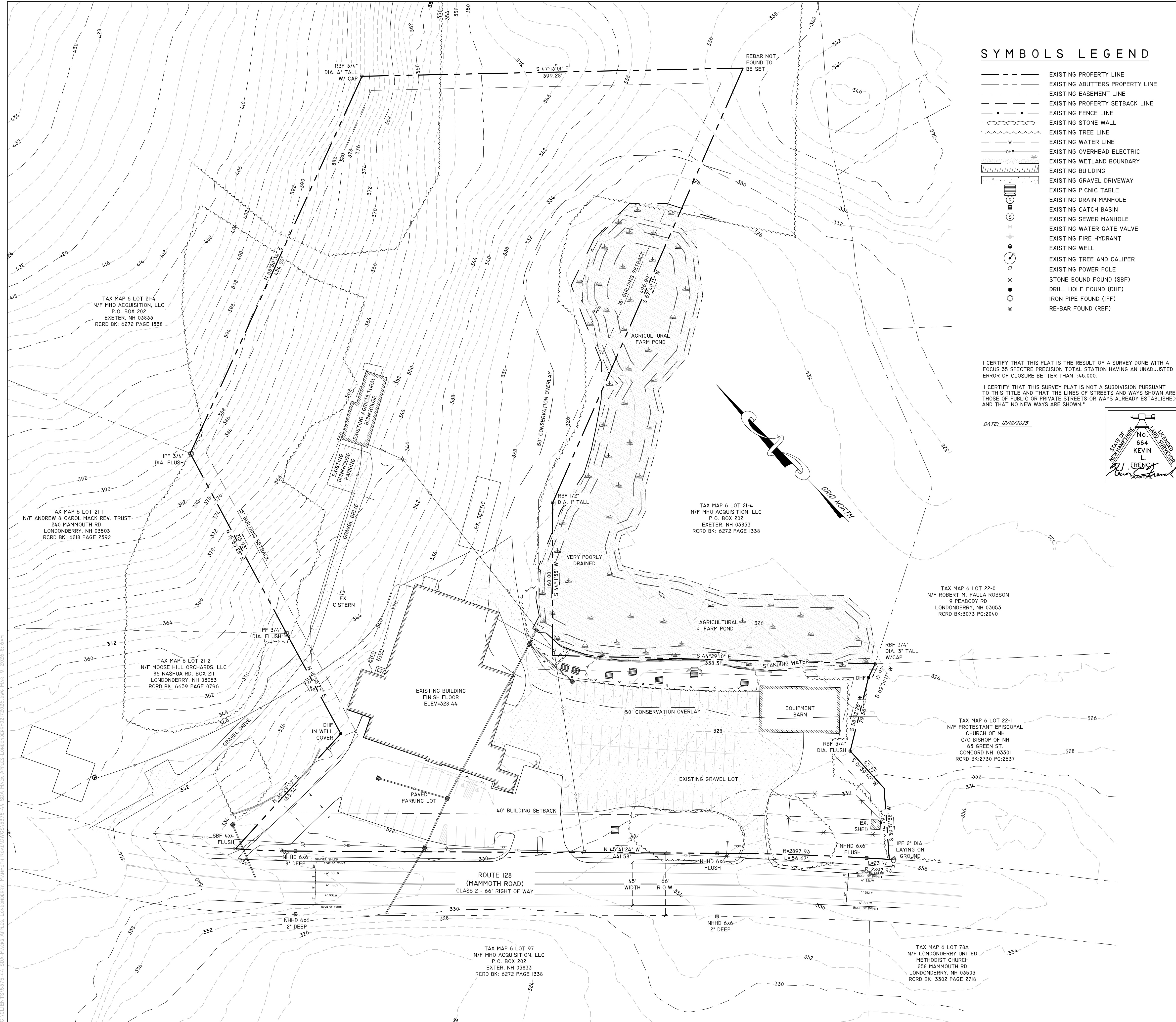


CONTACT DIG SAFE 72 HOURS  
PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. BROWN ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

#### NOTE:

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.



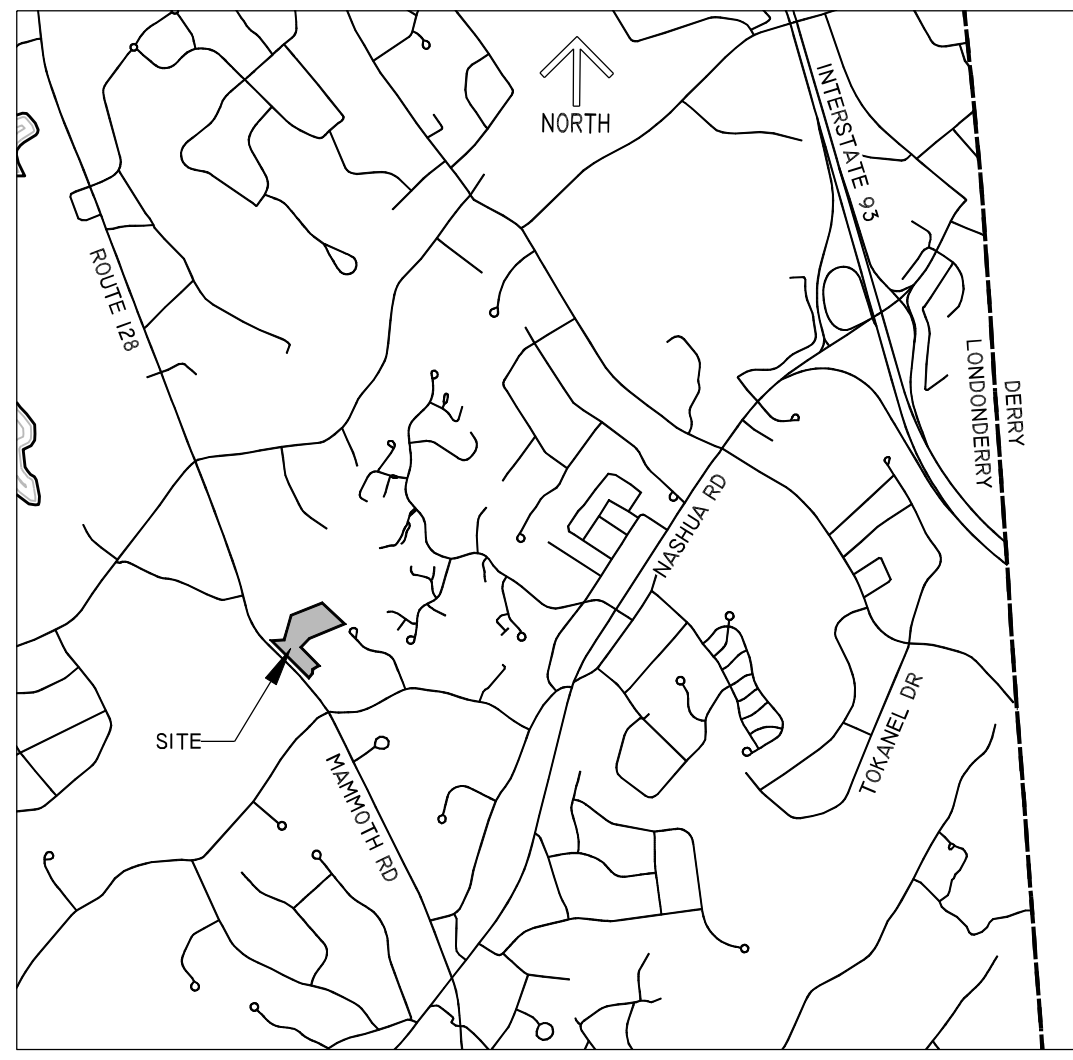
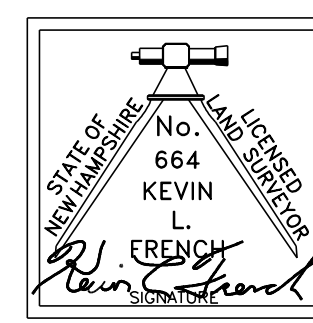
**SYMBOLS LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ABUTTERS PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY SETBACK LINE
- EXISTING FENCE LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING WETLAND BOUNDARY
- EXISTING BUILDING
- EXISTING GRAVEL DRIVEWAY
- EXISTING PICNIC TABLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING TREE AND CALIPER
- EXISTING POWER POLE
- STONE BOUND FOUND (SBF)
- DRILL HOLE FOUND (DHF)
- IRON PIPE FOUND (IPF)
- RE-BAR FOUND (RBF)

I CERTIFY THAT THIS PLAN IS THE RESULT OF A SURVEY DONE WITH A FOCUS 36 SPECTRE PRECISION TOTAL STATION HAVING AN UNADJUSTED ERROR OF CLOSURE BETTER THAN 1/45,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

DATE: 12/18/2025



VICINITY MAP  
SCALE 1" = 2500'

**GENERAL NOTES:**

- THE PROPERTY IS DESIGNATED TAX MAP 6 LOT 21. THE PROPERTY IS 8.0± ACRES IN SIZE. THE OWNER OF RECORD IS: MHO ACQUISITION LLC, 230 MAMMOTH ROAD, LONDONDERRY, NH 03053, BOOK 6272 PAGE 1338 ROCKINGHAM COUNTY.
- THE PROPERTY IS ZONED AGRICULTURAL RESIDENTIAL (AR-I).
- EXISTING USE IS AGRICULTURAL AND PROPOSED USE IS AGRICULTURAL.
- TOWN OF LONDONDERRY BUILDING SETBACKS:  
40' FRONT  
15' SIDE YARD  
15' REAR  
35' BUILDING HEIGHT
- TOPOGRAPHY SHOWN IN PLAN IS A MIXTURE OF ON GROUND TOPO BY BROWN ENGINEERING LLC, AND LIDAR FROM FLIGHTS PROVIDED BY EARTH SYSTEMS RESEARCH CENTER, INSTITUTE FOR THE STUDY OF EARTH OCEANS AND SPACE, & UNIVERSITY OF NEW HAMPSHIRE. DATUM IS BASED ON NAD 1983.
- NO PORTION OF THE SUBJECT PARCEL IS IN THE FLOODPLAIN PER FEMA PANEL # 3301C0526E.
- ABUTTING PARCELS PROPERTY LINES ARE BASED ON TAX MAP INFORMATION AND ARE APPROXIMATE.
- BOUNDARY INFORMATION DEPICTED IS FROM FIELD LOCATION OF MONUMENTS AND DEPENDENT UPON A PLAN ENTITLED "TAX MAP 6 LOT 21 SUBDIVISION PLAN PREPARED FOR MOOSE HILL ORCHARDS, INC. LAND OF MOOSE HILL ORCHARDS, INC. 230 MAMMOTH RD., LONDONDERRY, NH SCALE: 1"= 50' DATE: OCTOBER 2, 1998 SHEETS 1 THROUGH 5 REVISED 5/8/99, 2/8/99 BY BEDFORD DESIGN CONSULTANTS \* RECORDED IN RCRD PLAN #0-27284.
- BEARINGS ESTABLISHED USING GPS OBSERVATIONS PERFORMED MAY 2025.

**PLANS OF REFERENCE:**

- PLAN ENTITLED "TAX MAP 6 LOT 21 SUBDIVISION PLAN PREPARED FOR MOOSE HILL ORCHARDS, INC. LAND OF MOOSE HILL ORCHARDS, INC. 230 MAMMOTH RD., LONDONDERRY, NH SCALE: 1"= 50' DATE: OCTOBER 2, 1998 SHEETS 1 THRU 5 REVISED 5/8/99, 2/8/99 BY BEDFORD DESIGN CONSULTANTS \* RECORDED IN RCRD PLAN #0-27284.

**FRENCH LAND SERVICES INC.**

581 SCHOOL STREET  
RUMNEY, N.H. 03266  
TEL: (603) 786-9790  
FRENCHLS@WORLDPATH.NET

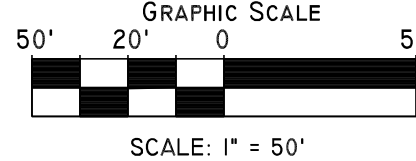
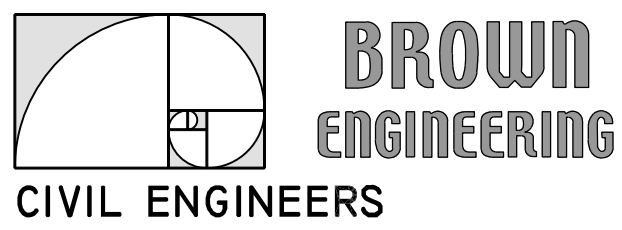


**MACK'S APPLES FARM MARKET  
EXISTING BOUNDARY PLAN**

TAX MAP 6 LOT 21  
230 MAMMOTH ROAD, LONDONDERRY, NH 03053

PREPARED FOR:  
MHO ACQUISITION LLC,  
230 MAMMOTH ROAD  
LONDONDERRY, NH 03053  
BOOK 6272 PAGE 1338

PREPARED BY:  
BROWN ENGINEERING LLC  
34 WHITTIER HIGHWAY  
MULTONBOROUGH, NH 03254  
TEL: (603) 744-1044  
WWW.BROWNEENGINEERINGLLC.COM



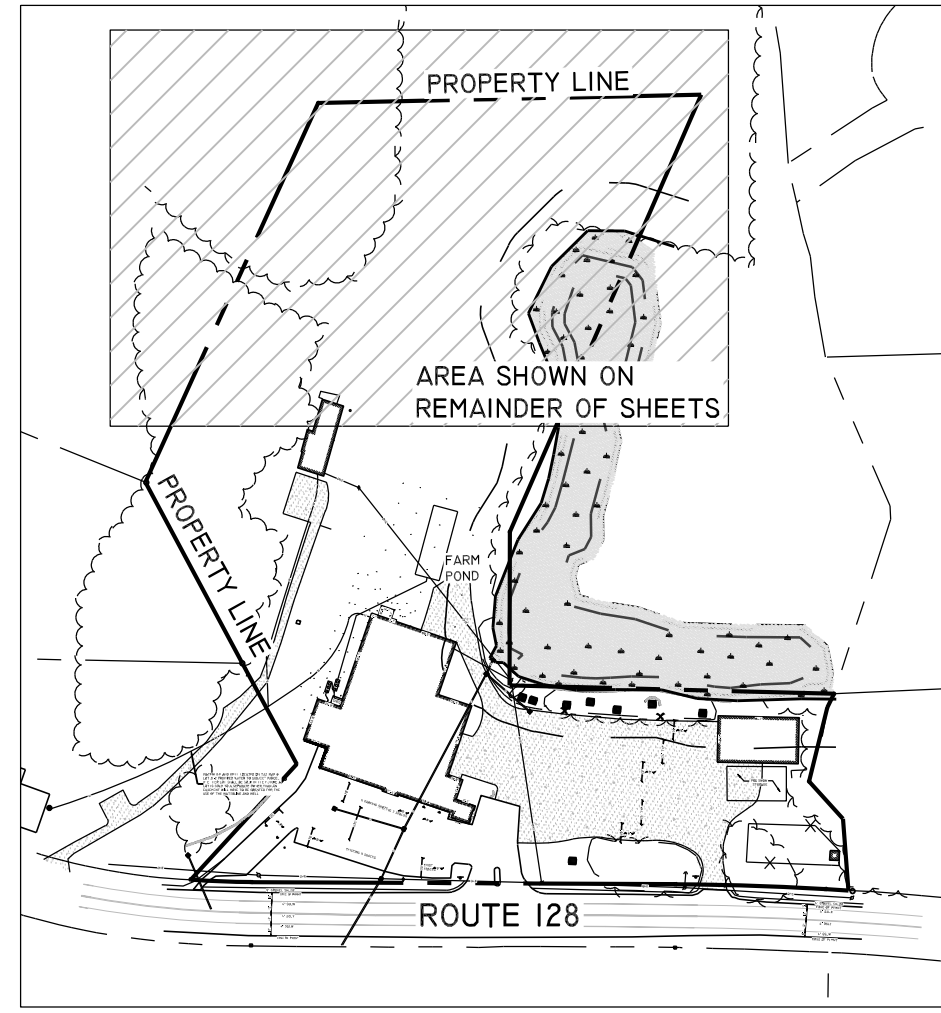
REV.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLB
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLB

DATE: 12-18-2025  
JOB NO: 5375-44

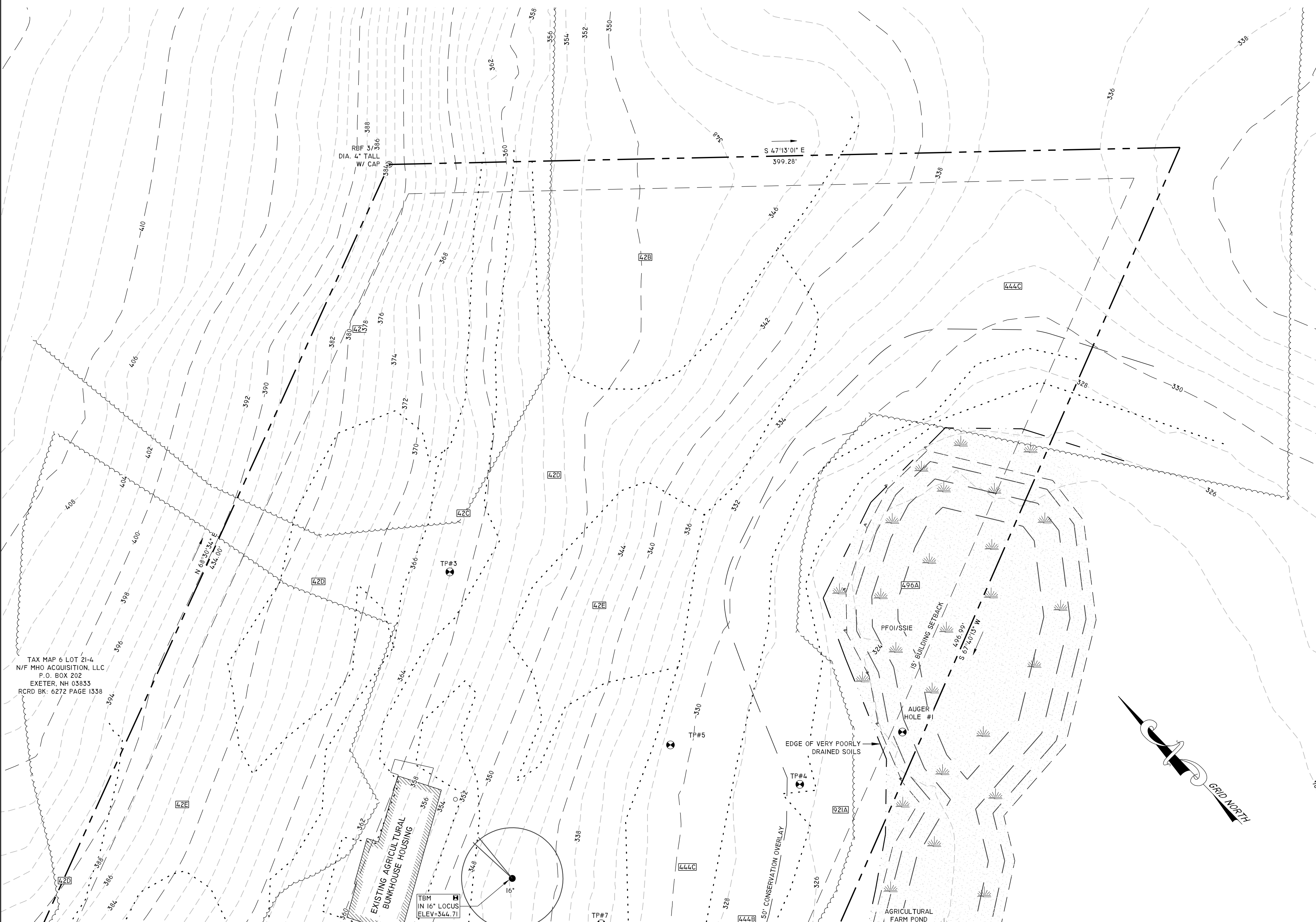


**SYMBOLS LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ABUTTERS PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY SETBACK LINE
- 498 EXISTING 2 FOOT CONTOUR
- 500 EXISTING 10 FOOT CONTOUR
- EXISTING SOIL DELINEATION LINE
- EXISTING FENCE LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- W EXISTING WATER LINE
- S EXISTING SEWER LINE
- EXISTING SEWER SERVICE W.CLEAN OUT
- EXISTING DRAIN LINE
- EXISTING GAS LINE
- E EXISTING ELECTRIC LINE
- ONE EXISTING OVERHEAD ELECTRIC
- EXISTING WETLAND BOUNDARY
- EXISTING BUILDING
- EXISTING GRAVEL DRIVEWAY
- EXISTING PICNIC TABLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING GAS GATE
- EXISTING TREE AND CALIPER
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- TEMPORARY BENCH MARK (TBM)
- TEST PIT LOCATION (TP)
- STONE BOUND FOUND (SBF)
- DRILL HOLE FOUND (DHF)
- IRON PIPE FOUND (IPF)
- RE-BAR FOUND (RBF)
- PHOTO NUMBER AND DIRECTION



AREA MAP  
SCALE 1" = 200'



- |   |  |
|---|--|
| <p><b>TEST PIT #1</b></p> <ul style="list-style-type: none"> <li>0'-6" DARK GRAYISH BROWN - 10YR 4/2 GRAVELLY SAND, 15% FINE GRAVEL, LOOSE FINE ROOTS</li> <li>6'-26" LIGHT OLIVE BROWN - 2.5Y 5/3 SANDY LOAM, SUBANGULAR BLOCKY STRUCTURE, 10% COBBLES, FINE ROOTS</li> <li>26'-34" LIGHT YELLOWISH BROWN - 2.5Y 6/3 SANDY LOAM, FRIABLE, 10% COBBLES</li> <li>34'-49" BROWN - 10YR 5/3 GRAVELLY SAND, LOOSE, 10% COBBLES</li> <li>49'-60" LIGHT YELLOWISH BROWN - 2.5Y 6/3 GRAVELLY SAND, LOOSE, 15% FINE GRAVEL, 10% COBBLES</li> </ul> <p>ESHWT = 26"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE</p> <p><b>TEST PIT #3</b></p> <ul style="list-style-type: none"> <li>0'-13" DARK GRAYISH BROWN - 10YR 3/2 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS</li> <li>13'-16" DARK BROWN - 10YR 3/3 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS</li> <li>16'-27" BROWN - 10YR 4/3 LOAMY SAND, MEDIUM SUBANGULAR BLOCKY, FRIABLE, FINE ROOTS, 5% COBBLES</li> <li>27'-45" LIGHT YELLOWISH BROWN - 2.5Y 6/3 LOAMY SAND, MASSIVE, FRIABLE</li> <li>45'-60" LIGHT OLIVE BROWN - 2.5Y 5/4 LOAMY SAND, MEDIUM SUBANGULAR BLOCKY, FRIABLE</li> </ul> <p>ESHWT = 49"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE</p> <p><b>TEST PIT #5</b></p> <ul style="list-style-type: none"> <li>0'-9" VERY DARK GRAYISH BROWN - 10YR 3/2 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS</li> <li>9'-13" DARK BROWN - 7.5YR 3/4 SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE, 3% COARSE GRAVEL</li> <li>13'-27" LIGHT OLIVE BROWN - 2.5Y 5/3 SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE</li> <li>27'-60" LIGHT OLIVE BROWN - 2.5Y 5/4 GRAVEL SAND, LOOSE, 15% COARSE GRAVEL</li> </ul> <p>ESHWT = 34"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE</p> | <p><b>TEST PIT #2</b></p> <ul style="list-style-type: none"> <li>0'-10" VERY DARK BROWN - 10YR 2/2 TRANSPORTED CRUSHED GRAVEL</li> <li>10'-25" DARK GRAYISH BROWN - 2.5Y 4/2 LOAMY SAND, FRIABLE,</li> <li>25'-36" VERY DARK GRAY - 2.5Y 3/1 LOAMY SAND, FRIABLE</li> </ul> <p>ESHWT = 25"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE</p> <p><b>TEST PIT #4</b></p> <ul style="list-style-type: none"> <li>0'-12" BLACK - 10YR 2/1 COBBLY FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, 20% COBBLES</li> <li>12'-18" VERY DARK GRAY - 10YR 3/1 SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE, FEW FINE ROOTS</li> <li>18'-35" GRAYISH BROWN - 10YR 5/2 GRAVELLY FINE SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE, 15% COARSE GRAVEL</li> <li>35'-51" LIGHT OLIVE BROWN - 2.5Y 5/3 GRAVELLY MEDIUM SAND, LOOSE, 15% COARSE GRAVEL</li> <li>51'-60" DARK YELLOWISH BROWN - 10YR 3/6 GRAVELLY SAND, MASSIVE, FRIABLE, 15% FINE GRAVEL</li> </ul> <p>ESHWT = 18"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE</p> <p><b>TEST PIT #6</b></p> <ul style="list-style-type: none"> <li>0'-10" DARK GRAYISH BROWN - 10YR 4/2 LOAM, LOOSE, MANY FINE AND MEDIUM ROOTS</li> <li>10'-42" BROWN - 7.5YR 5/4 FINE SANDY LOAM, FRIABLE</li> <li>42'-90" LIGHT BROWNISH GRAY - 7.5Y 5/4 FINE SANDY LOAM FRIABLE</li> </ul> <p>ESHWT = 42"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE<br/>PERC RATE = 6 MIN./INCH @ 12"</p> <p><b>TEST PIT #7</b></p> <ul style="list-style-type: none"> <li>0'-8" DARK GRAYISH BROWN - 10YR 3/2 LOAM, LOOSE, MANY FINE ROOTS</li> <li>8'-12" REDDISH BROWN - 2.5YR 4/4 FINE SANDY LOAM, LOOSE</li> <li>12'-36" BROWN - 7.5Y 5/4 FINE SANDY LOAM, LOOSE, NO ROOTS</li> <li>36'-42" BROWNISH YELLOW - 10YR 6/6 SAND, GRANULER</li> <li>42'-90" STRONG BROWN - 7.5YR 5/6 SILTY SAND AND GRAVEL FRIABLE</li> </ul> <p>ESHWT = 36"<br/>NO OBSERVED WATER<br/>NO OBSERVED LEDGE<br/>PERC RATE = 6 MIN./INCH @ 12"</p> |
|---|--|

OWNERS SIGNATURE BLOCK

ON DATE: \_\_\_\_\_

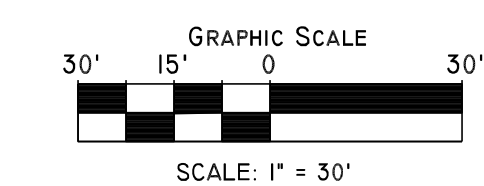
OWNER SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

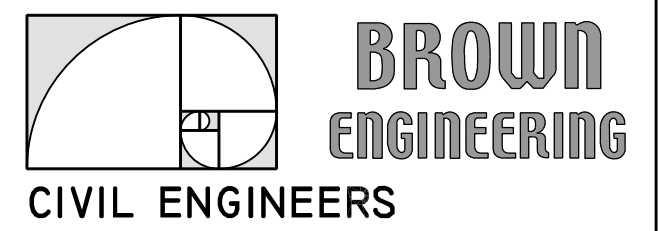
**MACK'S APPLES FARM MARKET**  
**EXISTING CONDITIONS PLAN**  
TAX MAP 6 LOT 21  
230 MAMMOTH ROAD, LONDONDERRY, NH 03053

PREPARED FOR:  
MHO ACQUISITION LLC.  
230 MAMMOTH ROAD  
LONDONDERRY, NH 03053  
BOOK 6272 PAGE 1338

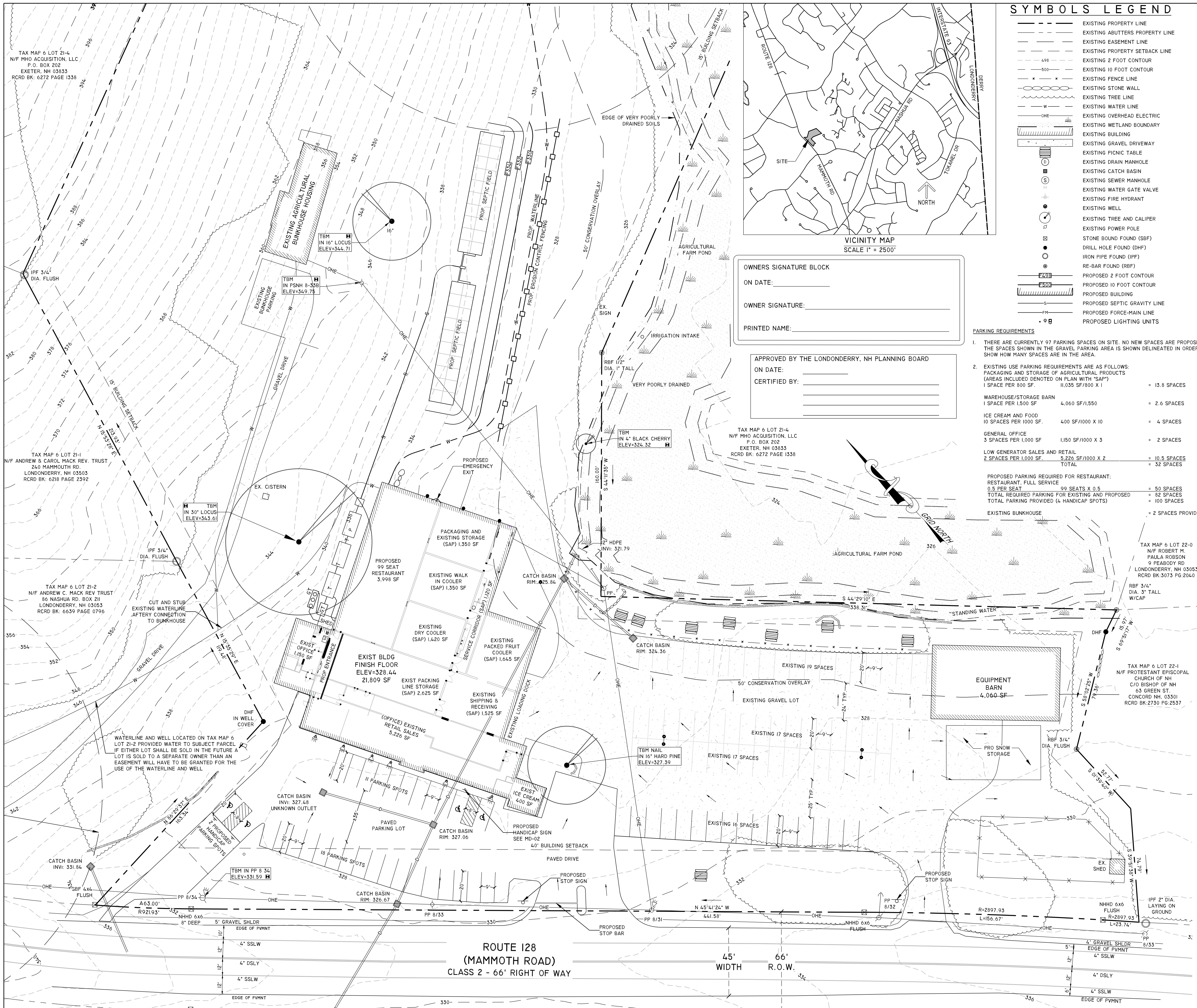
PREPARED BY:  
**BROWN ENGINEERING LLC**  
34 WHITTIER HIGHWAY  
MOULTONBOROUGH, NH 03254  
TEL: (603) 744-1044  
WWW.BROWNEENGINEERINGLLC.COM



REV.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLB
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLB



DATE: 12-18-2025  
JOB NO: 5375-44



**SYMBOLS LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ABUTTERS PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY SETBACK LINE
- 4/8 EXISTING 2 FOOT CONTOUR
- 5/00 EXISTING 10 FOOT CONTOUR
- EXISTING FENCE LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- EXISTING WATER LINE
- EXISTING WETLAND BOUNDARY
- EXISTING BUILDING
- EXISTING GRAVEL DRIVEWAY
- EXISTING PICNIC TABLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING TREE AND CALIPER
- EXISTING POWER POLE
- EXISTING TREE AND CALIPER
- DRILL HOLE FOUND (DHF)
- IRON PIPE FOUND (IPF)
- RE-BAR FOUND (RBF)
- PROPOSED 2 FOOT CONTOUR
- PROPOSED 10 FOOT CONTOUR
- PROPOSED BUILDING
- PROPOSED SEPTIC GRAVITY LINE
- FM PROPOSED FORCE-MAIN LINE
- PROPOSED LIGHTING UNITS

**OWNERS SIGNATURE BLOCK**  
 ON DATE: \_\_\_\_\_  
 OWNER SIGNATURE: \_\_\_\_\_  
 PRINTED NAME: \_\_\_\_\_

**APPROVED BY THE LONDONDERRY, NH PLANNING BOARD**  
 ON DATE: \_\_\_\_\_  
 CERTIFIED BY: \_\_\_\_\_

**PARKING REQUIREMENTS**

- THERE ARE CURRENTLY 97 PARKING SPACES ON SITE. NO NEW SPACES ARE PROPOSED. THE SPACES SHOWN IN THE GRAVEL PARKING AREA IS SHOWN DELINEATED IN ORDER TO SHOW HOW MANY SPACES ARE IN THE AREA.
  - EXISTING USE PARKING REQUIREMENTS ARE AS FOLLOWS:
    - WAREHOUSE/STORAGE BARN  
1 SPACE PER 1,500 SF. 4,060 SF/1,550 = 2.6 SPACES
    - ICE CREAM AND FOOD  
10 SPACES PER 1000 SF. 400 SF/1000 X 10 = 4 SPACES
    - GENERAL OFFICE  
3 SPACES PER 1,000 SF. 1,150 SF/1000 X 3 = 2 SPACES
    - LOW GENERATOR SALES AND RETAIL  
2 SPACES PER 1,000 SF. 5,226 SF/1000 X 2 = 10.5 SPACES
    - TOTAL = 32 SPACES
- PROPOSED PARKING REQUIRED FOR RESTAURANT:  
 RESTAURANT, FULL SERVICE 99 SEATS X 0.5 = 50 SPACES  
 0.5 PER SEAT 99 SEATS X 0.5 = 50 SPACES  
 TOTAL REQUIRED PARKING FOR EXISTING AND PROPOSED = 82 SPACES  
 TOTAL PARKING PROVIDED (4 HANDICAP SPOTS) = 100 SPACES
- EXISTING BUNKHOUSE = 2 SPACES PROVIDED

**GENERAL NOTES:**

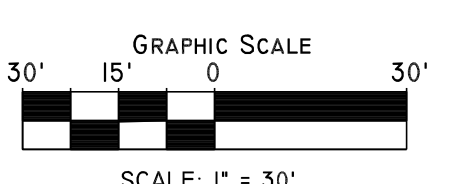
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING AND PROPOSED CONDITIONS OF THE SITE.
- THE PROPERTY IS DESIGNATED TAX MAP 6 LOT 21.
- THE AREA OF THE EXISTING PROPERTY IS 350,562 SF, 8.0± ACRES
- THE PROPOSED AND EXISTING BUILDING COVERAGE IS 0.08%±28160 SF (92,809 SF=55% OF LOT IS THE MAXIMUM BUILDING AREA ALLOWED)
- THE TOTAL GREEN AREA ON THE LOT POST CONSTRUCTION WILL BE 243,427 SF=69.44% (140,225 SF=40% OF THE LOT WHICH IS REQUIRED TO BE GREEN AREA)
- THE ZONING DESIGNATION FOR THE PROPERTY IS AGRICULTURAL-RESIDENTIAL (AR-1).
- THE MINIMUM LOT AREA REQUIRED ± ACRES (SEE ZONING BELOW)
  - MIN. FRONTAGE = 50'
  - MIN. BUILDING SEPERATION = 60'
  - MIN. CONSERVATION OVERLAY = 50'
  - MIN. FRONT SETBACK = 40'
  - MIN. SIDE SETBACK = 15'
  - MIN. REAR SETBACK = 15'
  - MIN. WETLAND BUFFER = 50'
  - MIN. STREAM BUFFER = 100'
- ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON MAY 5, 2025 FROM DATA COLLECTED BY THIS OFFICE ON MAY 5, 2025. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
- THE EXISTING USE FOR THE SITE IS AGRITOURISM. THE PROPOSED USE OF THE LOT IS TO CONTINUE TO BE AGRITOURISM.
- THE PROPOSED WORK ASSOCIATED WITH THIS PLAN DOES NOT INCLUDE THE ADDITION OF ANY ADDITIONAL PIERVIOUS AREAS OR CHANGE IN DIRECTION OF FLOW. THE PROPOSED WORK WILL NOT ALTER THE EXISTING DRAINAGE AND THERE WILL BE NO ADVERSE IMPACT TO ADJUTING PROPERTIES.
- SEPTIC WILL BE PROVIDED ON THE LOT. NHDES SUBSURFACE APPROVAL FOR THE REVISED SEPTIC IS PENDING
- WATER TO BE PROVIDED BY A WELL LOCATED ON TAX MAP 6 LOT 21 AND TAX MAP 6 LOT 21-2 ARE CURRENTLY OWNED BY THE SAME OWNER. IF IN THE FUTURE A LOT IS SOLD TO A SEPARATE OWNER THAN AN EASEMENT WILL HAVE TO BE GRANTED FOR THE USE OF THE WATERLINE AND WELL.
- NO PORTION OF THE SUBJECT PARCEL IS IN THE FLOODPLAIN PER FEMA PANEL #330105C0526E
- ALL PLANS WILL BE ON FILE AT THE TOWN OF LONDONDERRY.
- ALL MONUMENTS HAVE BEEN SET IN ACCORDANCE WITH THESE REGULATIONS. ANY MONUMENTS THAT ARE NOT SET PRIOR TO APPROVAL BY THE PLANNING BOARD AS A PART OF THE CONDITIONS OF APPROVAL AND MARKED ON THE PLANS AS "TO BE SET".
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF LONDONDERRY SITE PLAN REGULATIONS, AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WAIVERS REQUESTED PER RSA 674:32-C, II:
  - V.10 LIMITS OF WETLANDS & CO DISTRICT BOUNDARY (SECTION 3.11 & 5.06 AND SUB REGULATION SECTION 3.02-C)
  - VI. GRADING DRAINAGE PLAN (SECTION 3.07)
  - VII. LANDSCAPE PLAN (SECTION 3.10)
  - XI.2 STORMWATER MANAGEMENT REPORT (SECTION 3.07)
  - 309.K PARKING DESIGN & CONSTRUCTION STANDARDS (PLEASE NOTE THAT THE APPLICANT WILL BE PROCEEDING UNDER SECTION W TO ALLOW THE EXISTING GRAVEL PARKING AREA TO REMAIN AS IS) OR IN THE ALTERNATIVE REQUESTING FOR THE PARKING AREA TO REMAIN AS IS, AND K) AND AS SHOWN ON THE SUBMITTED PLAN.
  - 3.14 TRAFFIC ANALYSIS
  - 3.08.C.2 SIDEWALKS
  - 3.08.B.3 DRIVEWAYS
  - 4.12.C.19. VIII TREES DIAMETERS
  - 4.14.C.27 TREE PROTECTION AND
  - GENERAL WAIVER RSA 21:34-A & RSA 674:32 B & C

DATE	REQUESTER	VARIANCE/SPECIAL EXCEPTIONS	RESPONSE
11/20/1973-5	MOOSE HILL ORCHARD INC.	VARIANCE FOR NON-ACCESSORY SIGN.	GRANTED PENDING TOWN MEETING
10/18/1977-3	MOOSE HILL ORCHARD INC.	VARIANCE TO ERECT SIGN, 72 SQ. FT. ON EXISTING WALL OF RETAIL MARKET	DENIED
08/15/1989-5	MOOSE HILL ORCHARD INC.	VARIANCE TO OPERATE RETAIL ICE CREAM STAND TO SELL ICE CREAM RELATED PRODUCTS AND STEAMED HOT DOGS, WHICH IS A COMMERCIAL USE IN AR-1 ZONE.	DENIED
04/16/1991-3	MOOSE HILL ORCHARD INC.	SPECIAL EXCEPTION TO PERMIT RETAIL SALE OF NON-FARM GROWN PRODUCT AS PRESENTED	GRANTED W/ RESTRICTIONS: SALE OF ICE CREAM ONLY
08/18/2021-3	KYLE CHRISTENSEN	REQUEST FOR A SPECIAL EXCEPTION PURSUANT TO LZO 5.13 FOR FARM RETAIL SALE OF CONSUMABLE NON-FARM PRODUCTS, HOT DOGS, AND TO EXTEND THE SELLING OF ICE CREAM TO THE END OF OCTOBER	GRANTED W/ CONDITIONS
04/20/2024-1	MOOSE HILL ORCHARD, LLC/ KYLE CHRISTENSEN	REQUEST FOR SPECIAL EXCEPTION PURSUANT TO LZO 5.13 FOR THE FARM SALE OF CONSUMABLE NON-FARM PRODUCTS	GRANTED W/ CONDITIONS

**MACK'S APPLES FARM MARKET  
 PROPOSED SITE PLAN  
 TAX MAP 6 LOT 21  
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053**

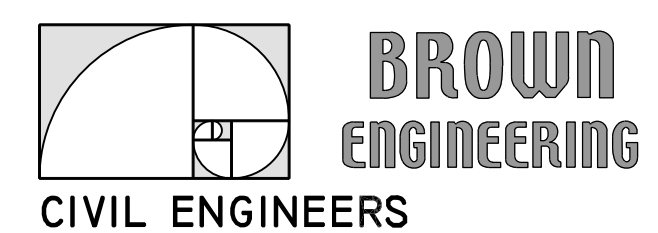
PREPARED FOR:  
 MHO ACQUISITION LLC.  
 230 MAMMOTH ROAD  
 LONDONDERRY, NH 03053  
 BOOK 6272 PAGE 1338

PREPARED BY:  
**BROWN ENGINEERING LLC**  
 34 WHITTIER HIGHWAY  
 MOULTONBOROUGH, NH 03254  
 TEL: (603) 744-1044  
 WWW.BROWNEENGINEERINGLLC.COM

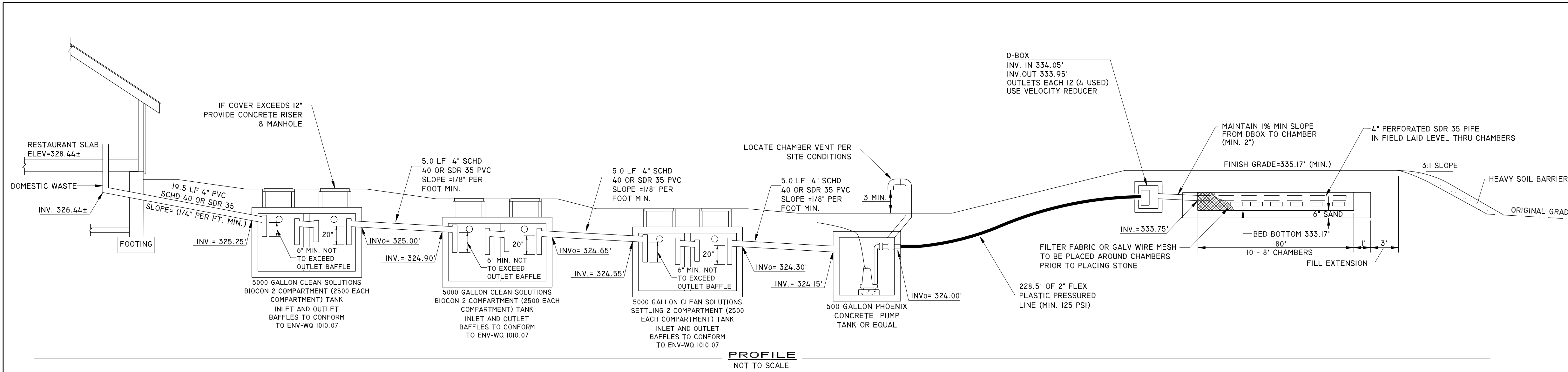


REV	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KL8
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KL8

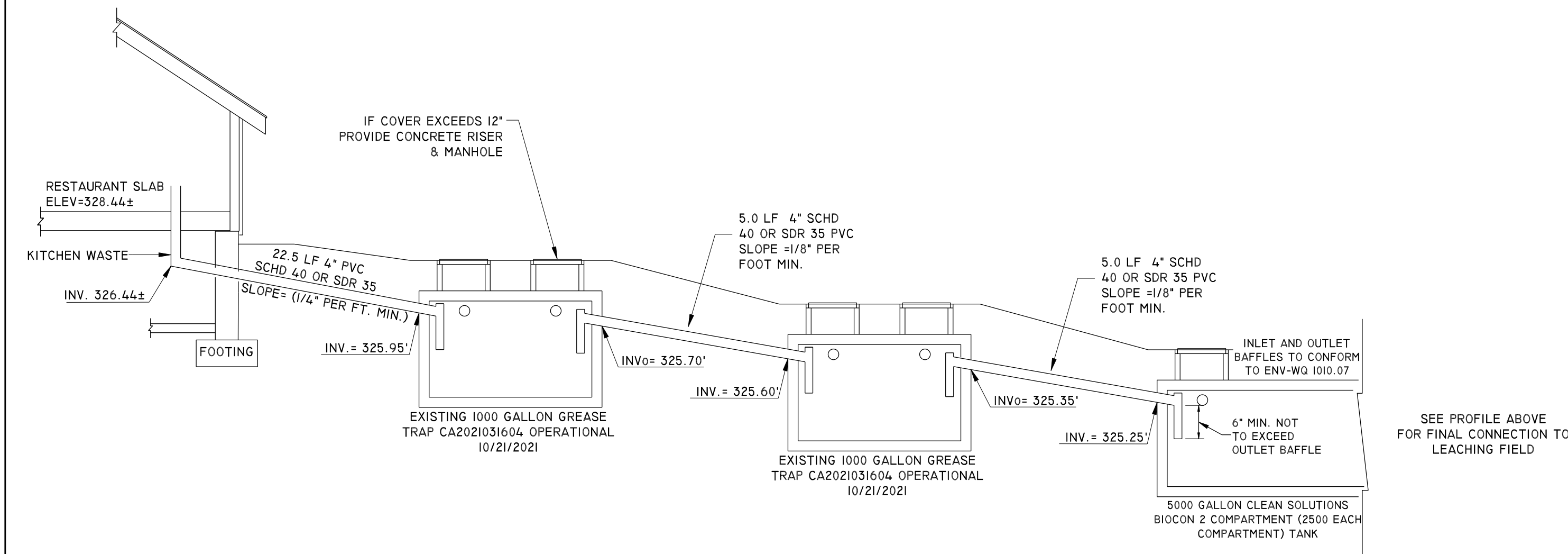
DATE: 12-18-2025  
 JOB NO: 5375-44





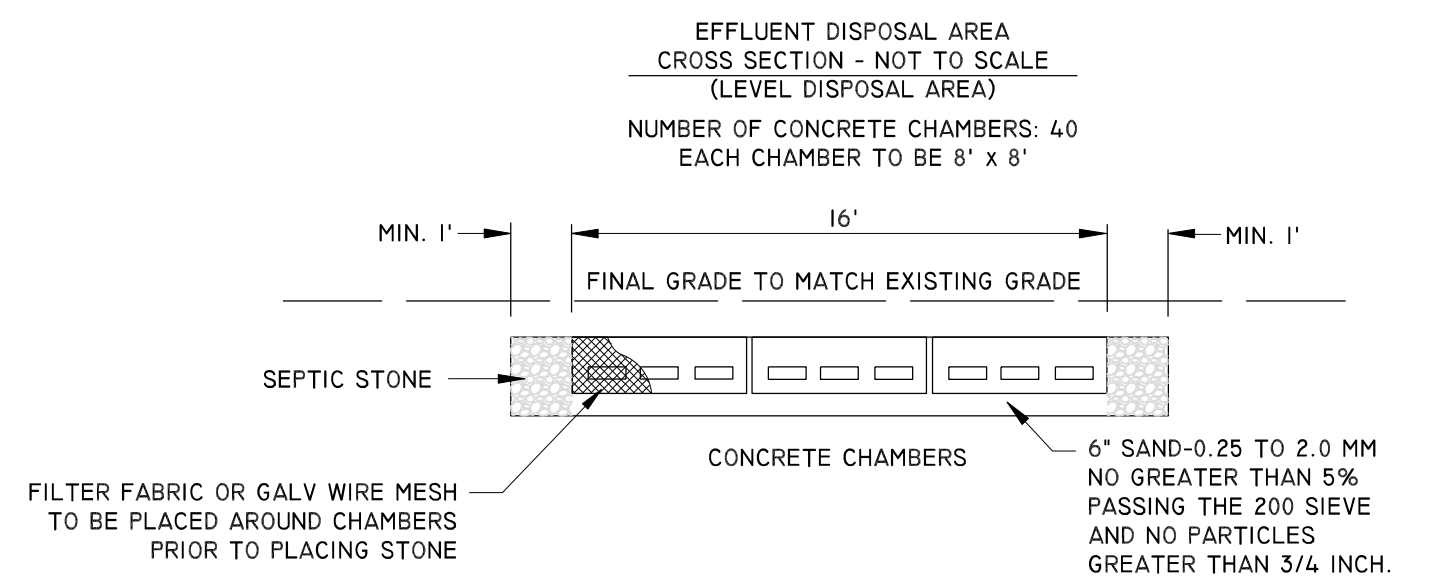
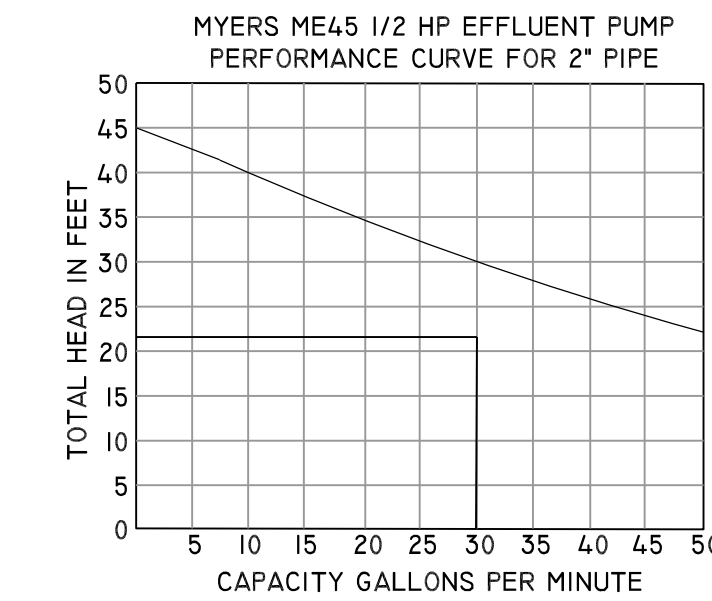


PROFILE  
NOT TO SCALE



PROFILE  
NOT TO SCALE

**PUMP CALCULATIONS FOR PUMP IN TANK ATTACHED TO MAIN HOUSE:**  
 USE MYERS EFFLUENT PUMP ME45 1/2 HP.  
 ELEVATION DIFF. PUMP OFF TO D-BOX = 15.48'  
 FRICTION LOSS FOR 2" PLASTIC = ±6.75'  
 TOTAL HEAD = ±22.23'  
 PUMP ON = 321.91'  
 PUMP OFF = 320.38'  
 HIGH WATER ALARM = 321.96'  
 400 GALLONS/DOSE 12 TIMES/DAY=4792.5 GPD



TYPICAL CROSS SECTION  
NOT TO SCALE

**NOTES**

- THIS IS NOT A PROPERTY LINE SURVEY. NO CERTIFICATION OR OPINION AS TO THE ACCURACY OF PROPERTY LINES IS EITHER EXPRESSED OR IMPLIED. DATA SHOWN HEREON IS BASED UPON IMMEDIATE PUBLIC RECORDS AND MAY NOT BE ACCURATE. ALL PROPERTY LINES ARE TO BE VERIFIED BY THE CONTRACTOR OR OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR TRAVEL TO OCCUR ACROSS THE PROPOSED LEACH FIELD AREA AT ANY TIME EXCEPT DURING THE CONSTRUCTION OF THE LEACH FIELD.
- THERE ARE NO OPEN WATER OR HYDRIC "A" SOILS WITHIN 75' OF THIS PROPOSED SYSTEM OR ITS COMPONENTS, AND THERE ARE NO HYDRIC "B" SOILS WITHIN 50' OF THIS PROPOSED SYSTEM OR ITS COMPONENTS.
- FIELD IS TO BE REBUILT IN PLACE IF REPLACEMENT BECOMES NECESSARY.
- ALL EFFLUENT CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH ENV-WQ 1017.01
- ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH WATERTIGHT, FLEXIBLE JOINT CONNECTOR.
- CAUTION TO BE EXERCISED DURING FILL PLACEMENT/SITE PREPARATION TO AVOID COMPACTION OR SHEARING OF THE INFILTRATIVE SURFACE.
- MAINTAIN 8-12 INCHES OF FILL BETWEEN EQUIPMENT TRACKS AND PREPARED SURFACE.
- FILL MATERIAL SHALL BE A MEDIUM TO COARSE TEXTURED SAND, AS DEFINED BY THE USDA, SCS CLASSIFICATION, WITH AN EFFECTIVE SIZE OF 0.25 TO 2.0 MM.
- SOILS DATA AT THE LEACH FIELD: 140D-CHATFIELD-HOLLIS-CANTON COMPLEX
- SUBDIVISION APPR. NO.: 5+ ACRES
- PREVIOUS CONSTRUCTION APPR.: CA2021091604 (OPERATIONAL 10/21/2021 CA187012)
- DEED REFERENCE: BK. 6272 PG. 1338 REGISTRY OF DEEDS: ROCKINGHAM  
OWNER: MHO ACQUISITION LLC, 230 MAMMOTH ROAD, LONDONDERRY, NH 03053
- WATER IS SUPPLIED BY ON-SITE WELL
- REMOVE ANY RESTRICTIVE LAYERS FOUND DURING CONSTRUCTION TO THE ESHWT.
- REMOVE TREES WITHIN 10' OF THE LEACH FIELD.
- THE SEPTIC SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE A GARBAGE DISPOSAL OR A WATER FILTRATION SYSTEM.
- ANY DISCREPANCIES OF DESIGN INFORMATION FOUND DURING CONSTRUCTION SHALL BE REPORTED.
- THE PROPOSED SYSTEM IS NOT WITHIN 100' OF ANY KNOWN BURIAL SITES OR CEMETERIES.
- ANY WETLAND SOILS SHOWN WERE DELINEATED IN ACCORDANCE WITH ENV-104.06. WETLANDS WERE DELINEATED BY THE SEPTIC DESIGNER KENT L. BROWN SUBSURFACE LICENSE NO. 1246.
- PER ENV-WQ 1003.03 ELEVATIONS AND BENCHMARKS SHOWN ON THE PLAN WERE ESTABLISHED USING GPS READINGS AND REPRESENT THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- ALL CONTOUR LINES SHOWN ON THIS PLAN COME FROM A COMBINATION OF ON GROUND TOPO PERFORMED BY BROWN ENGINEERING LLC AND LIDAR INFORMATION PROVIDED BY EARTH SYSTEMS RESEARCH CENTER A PART OF UNIVERSITY OF NEW HAMPSHIRE.

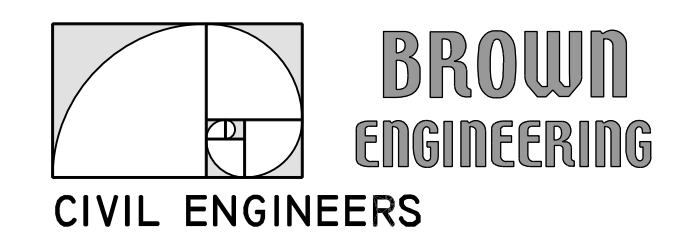
**DESIGN INTENT:**  
 THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT 335.17' ELEVATION, WHICH IS APPROXIMATELY 0.83 FEET BELOW ORIGINAL HIGH GROUND ON THE HIGH CONTOUR OF THE DESIGNED EDS (336.0').

THIS DOCUMENT HAS BEEN PREPARED TO ASSIST IN THE CONSTRUCTION OF A SUBSURFACE SANITARY WASTE DISPOSAL SYSTEM ONLY. THE LICENSED DESIGNER ASSUMES NO LIABILITY TO ANY PERSONS USING THIS DOCUMENT FOR PURPOSES OTHER THAN THE CONSTRUCTION OF A SUBSURFACE SANITARY WASTE DISPOSAL SYSTEM.  
 THIS OFFICE ASSUMES NO LIABILITY FOR ANY ALTERATIONS TO THIS DESIGN DURING CONSTRUCTION, OR SYSTEMS NOT INSTALLED PROPERLY. THE LICENSED DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE DEPICTED ON THIS PLAN.

**MACK'S APPLES FARM MARKET  
 SANITARY SYSTEM DESIGN PLAN**  
 TAX MAP 6 LOT 21  
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

PREPARED FOR:  
 MHO ACQUISITION LLC,  
 230 MAMMOTH ROAD  
 LONDONDERRY, NH 03053  
 BOOK 6272 PAGE 1338

PREPARED BY:  
**BROWN ENGINEERING LLC**  
 34 WHITTIER HIGHWAY  
 MOULTONBOROUGH, NH 03254  
 TEL: (603) 744-1044  
 WWW.BROWNEENGINEERINGLLC.COM



DATE: 1-14-2026  
 JOB NO: 5375-44

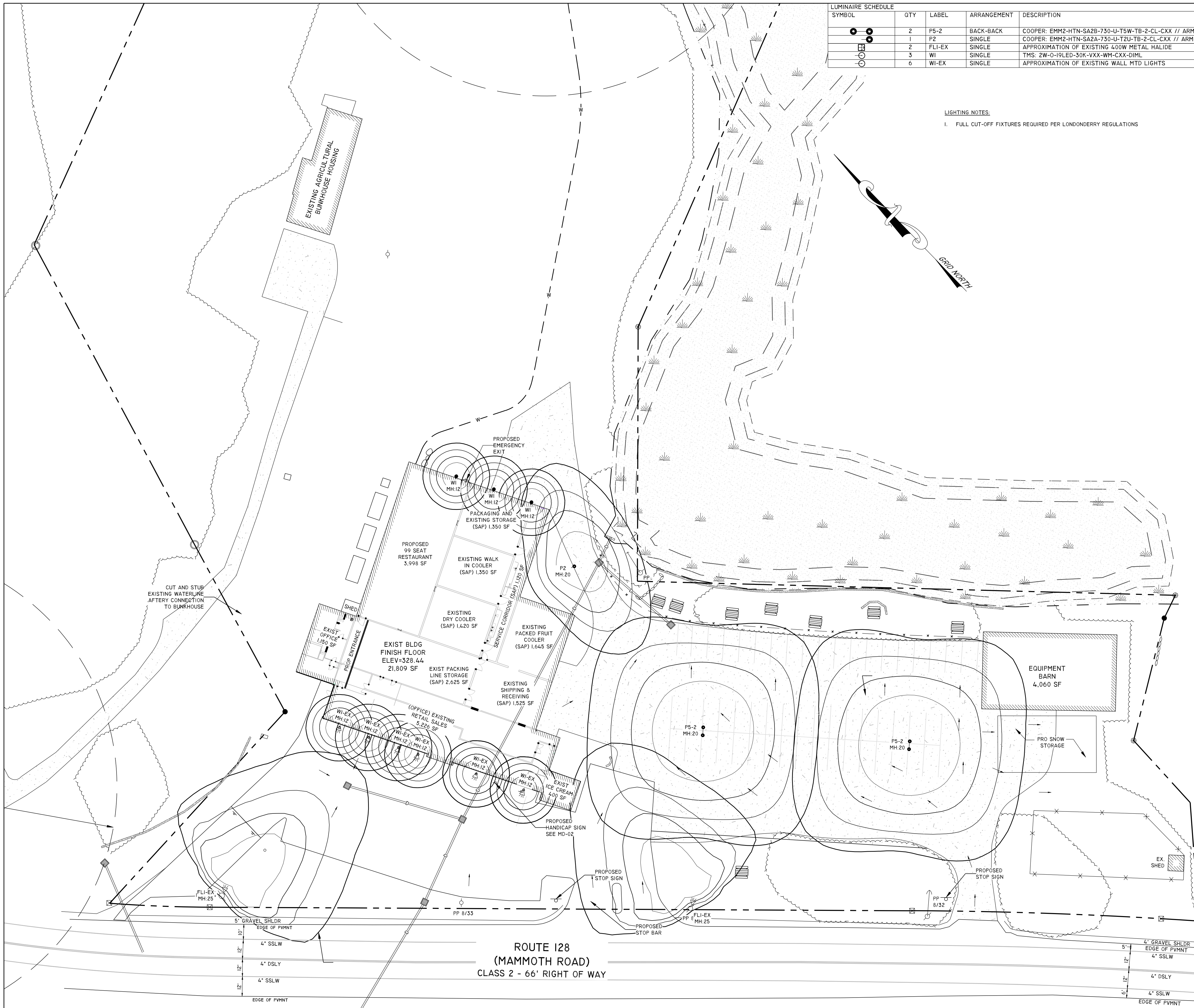
REV.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLB
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLB

G:\CLIENTS\5375-44\_SDA-MACKS APPLES\_LONDONDERRY\_MAMMOTH ROAD\DWGS\5375-44\_SDA\_MACKS APPLES\_LONDONDERRY\02172026\_SWS\_MAR 19, 2026-8(1).DWG

LUMINAIRE SCHEDULE SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	TAG	LLF	LUMINAIRE LUMENS
●	2	P5-2	BACK-BACK	COOPER: EMM2-HTN-SA28-730-U-T5W-TB-2-CL-CXX // ARM: VA6107-CXX	MOUNTED 20' AFG ON 3' CONCRETE BASE AND 17' COOPER POLE: RSS-17' SPECIAL LENGTH-4-7-AB-CXX	0.900	12508
○	1	P2	SINGLE	COOPER: EMM2-HTN-SA2A-730-U-T2U-TB-2-CL-CXX // ARM: VA6105-CXX	MOUNTED 20' AFG ON 3' CONCRETE BASE AND 17' COOPER POLE: RSS-17' SPECIAL LENGTH-4-7-AB-CXX	0.900	8880
□	2	FLI-EX	SINGLE	APPROXIMATION OF EXISTING 400W METAL HALIDE	APPROXIMATED MOUNTING HEIGHT AT 25' AFG	0.600	30500
○	3	WI	SINGLE	TMS: 2W-0-19LED-30K-VXX-WM-CXX-DIML	WALL MTD 12' AFG	0.900	1803
○	6	WI-EX	SINGLE	APPROXIMATION OF EXISTING WALL MTD LIGHTS	APPROXIMATED MOUNTING HEIGHT AT 12' AFG	0.900	1803

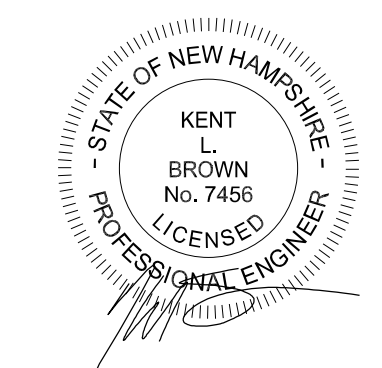
**LIGHTING NOTES:**  
 1. FULL CUT-OFF FIXTURES REQUIRED PER LONDONDERRY REGULATIONS

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ENTIRE AREA	ILLUMINANCE	FC	0.29	5.4	0.0	N.A.	N.A.
SIDE PARKING SPACES	ILLUMINANCE	FC	1.48	4.0	0.3	4.93	13.33



**SYMBOLS LEGEND**

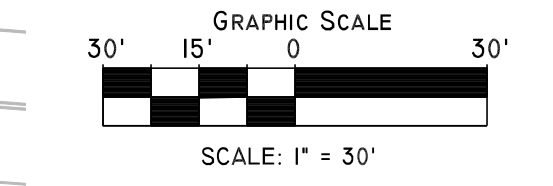
- EXISTING PROPERTY LINE
- - - EXISTING ABUTTERS PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING PROPERTY SETBACK LINE
- x - x - EXISTING FENCE LINE
- - - EXISTING STONE WALL
- - - EXISTING TREE LINE
- - - EXISTING WETLAND BOUNDARY
- ▭ EXISTING BUILDING
- ▭ EXISTING GRAVEL DRIVEWAY
- ▭ EXISTING PICNIC TABLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING TREE AND CALIPER
- EXISTING POWER POLE
- STONE BOUND FOUND (SBF)
- DRILL HOLE FOUND (DHF)
- IRON PIPE FOUND (IPF)
- RE-BAR FOUND (RBF)
- PROPOSED LIGHTING UNITS



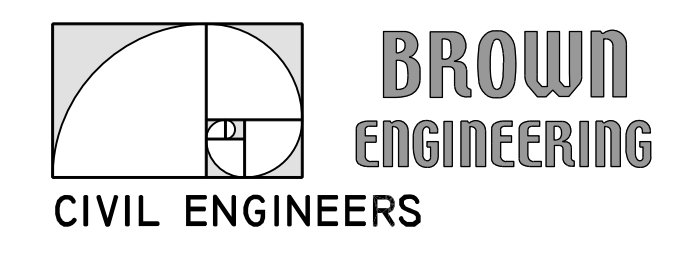
**MACK'S APPLES FARM MARKET  
 LIGHTING PLAN  
 TAX MAP 6 LOT 21  
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053**

MHO ACQUISITION LLC.  
 230 MAMMOTH ROAD  
 LONDONDERRY, NH 03053  
 BOOK 6272 PAGE 1338

PREPARED BY:  
**BROWN ENGINEERING LLC**  
 34 WHITTIER HIGHWAY  
 MOULTONBOROUGH, NH 03254  
 TEL: (603) 744-1044  
 WWW.BROWNEENGINEERINGLLC.COM



REV	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLB
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLB



DATE: 2-24-2026  
 JOB NO: 5375-44

G:\CLIENTS\5375-44\_SDA-MACKS APPLES, LONDONDERRY, MAMMOTH ROAD\DWG\5375-44\_SDA\_MACK APPLES-LONDONDERRY\20260206.DWG PLOT 19, 2/26/26 8:04AM

# CALVIN™ WALL

Use this page and title it "Wall Mounted Lights"

PROJECT: \_\_\_\_\_  
 TYPE: \_\_\_\_\_  
 QUANTITY: \_\_\_\_\_



PN: 2W

<b>APPLICATION</b>	<ul style="list-style-type: none"> <li>WALL MOUNT</li> <li>INDOOR OR OUTDOOR RATED</li> </ul>
<b>DIMENSION</b>	• 36" (41CM)
<b>ILLUMINATION</b>	<ul style="list-style-type: none"> <li>DIRECT</li> <li>LED 90CRI</li> <li>INCANDESCENT MEDIUM BASE SOCKET</li> <li>753- 1602 LUMENS</li> </ul>
<b>ELECTRICAL</b>	<ul style="list-style-type: none"> <li>120V, 277V, AND 347V</li> <li>10KA SURGE SUPPRESSION STANDARD</li> </ul>
<b>DIFFUSERS</b>	<ul style="list-style-type: none"> <li>CLEAR OR FROSTED, ELONGATED, GLASS GLOBE</li> <li>CLEAR, FLAT LENS</li> </ul>
<b>DRIVER</b>	<ul style="list-style-type: none"> <li>WALL MOUNT (INTEGRAL)</li> <li>REMOTE MOUNT (INDOOR OR OUTDOOR)</li> </ul>
<b>MOUNTING</b>	• WALL, MOUNTED TO A 4" (10CM) J-BOX
<b>CONSTRUCTION</b>	• ALUMINUM
<b>FINISHES</b>	<ul style="list-style-type: none"> <li>AVAILABLE ANODIZED, BRUSHED, AND IN SEVERAL TMS POWDER COATED FINISHES</li> <li>CUSTOM RAL FINISHES AVAILABLE</li> </ul>
<b>DIMMING</b>	• 0-10V STANDARD DIMMING
<b>WEIGHT</b>	• 7.5 LBS MAXIMUM

**DIRECT**




Project	Catalog #	Type
Prepared by	Notes	Date

## Cooper Poles

### Round Straight Steel - RSS

#### Anchor Base Installation

**Product Certifications & Features**



**Base Cover**

- 2-piece metal cover, painted to match pole
- Optional ABS cover, 3 basic finishes
- Corrosion resistant hardware

**Handhole**

- Handhole Assembly, 3"x5" for 6" shaft, 2"x4" for 4" shaft, 1.6" x 3.5" for 3" shaft, 1.4" minimum above base
- Grounding provision included
- Extra handhole locations available
- Metal handhole cover, painted to match pole
- Optional ABS Handhole cover, 3 basic finishes
- Corrosion resistant hardware
- Optional vandal resistant mechanism

**Finish**

- Highly durable TGIC polyester powder paint
- ASTM D3359 5B classification
- Optional hot-dipped galvanized pre-treat
- 10+ colors, custom finishes available

**Domestic Preferences**

BABA option supports both the USA Buy America (BAA) and Infrastructure Investment and Jobs Act (IIJA) domestic preference procurement requirements.

**Quick Facts**

- Weldable grade carbon steel
- One-year limited warranty
- Fully galvanized anchor bolts & template included

**Interactive Menu**

- Ordering Information page 2
- Base Plate Details page 3
- Mounting Type Details page 4
- Options Details page 5
- Certification & Additional Details page 7
- EPA Data page 8
- Considerations page 14

**COOPER**  
Lighting Solutions

PSS3309625 page 1  
October 20, 2022 4:17 PM

Project	Catalog #	Type
Prepared by	Notes	Date



## Invue Epic

### Decorative Pendant Luminaire

**Product Certifications & Features**



**Interactive Menu**

- Ordering Information page 2
- Accessory & Mounting Details page 3
- Installation Overview page 9
- Energy and Performance Data page 10
- Optical Distributions page 12

**Product Specifications**

**OPTICAL**

- Choice of eight patented, high efficiency AccuLED Opti™ technology options and five wastestream optics
- Optics are IP66 enclosure rated
- 9 Correlated Color Temperature (CCT) options:
  - 30 CRI, 2200K, 2700K, 3000K, 4000K, 3500K, 5000K
  - 40 CRI, 3000K, 4000K
  - Amber for wildlife-friendly and observatory applications
- Optional field-installable shields for superior spill light control (discrete LEDs only)
  - Single-piece snap-on square shields
  - Multiple-piece configurable vertical perimeter shielding

**CONTROLS**

- Optional ANSI C136.10 7-pin receptacle for photocells or Networked Lighting Control (NLC) modules
- Optional Field Adjustable Dimming Control Module (FADC)
  - Enables manual adjustment of power consumption and lumen output. Factory preset to highest output level for option selected
  - Allows a single fixture SKU to cover multiple field applications with manual adjustment at installation
- Optional 4-pin Zhaga Block 18 receptacle for integration of onboard sensors with DALI- and 0-10V-enabled drivers

**ELECTRICAL**

- 120-277V, 347-480V, 347V, and 480V, 50/60Hz
- Standard 0-10V dimming
- 10kV and 20kV surge protection options in series and parallel versions
- Standard 3-position terminal block
- Stable for operation in -40°C to 40°C ambient environments

**PHYSICAL CHARACTERISTICS**

- Cast aluminum top housing attaches to cast aluminum mounting arm hub with four fasteners
- One-piece silicone gasket between casting and power wires seals out moisture and contaminants
- Continuous silicone gaskets are used to seal the lens and mechanical structures
- Tail fixture configurations feature a field-serviceable corner section which can flip to allow easy access to surge module, PCR, and FADC
- Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form
- Optional neon-mount bushup arm for post top installs

**COMPLIANCE**

- IDA Certified 3000K and warmer only
- UL Listed Location rated
- BAA domestic preference option meets BAA requirements. See DOMESTIC PREFERENCES website or consult the CUS Domestic Preferences team for more information
- Products that meet BABA through Exemption (BABA-E). This exemption allows any product to satisfy BABA requirements regardless of domestic content manufacturing for projects funded by FHWA through Oct 1st 2025
- Products that meet BABA through BAA Exemption (BABA-F). FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specifications and options meet BABA Domestic Preference Requirements, submit this catalog number to Cooper Lighting Question team for validation by our Engineering and Manufacturing teams
- Please refer to the DOMESTIC PREFERENCES website or consult the CUS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements

**WARRANTY**

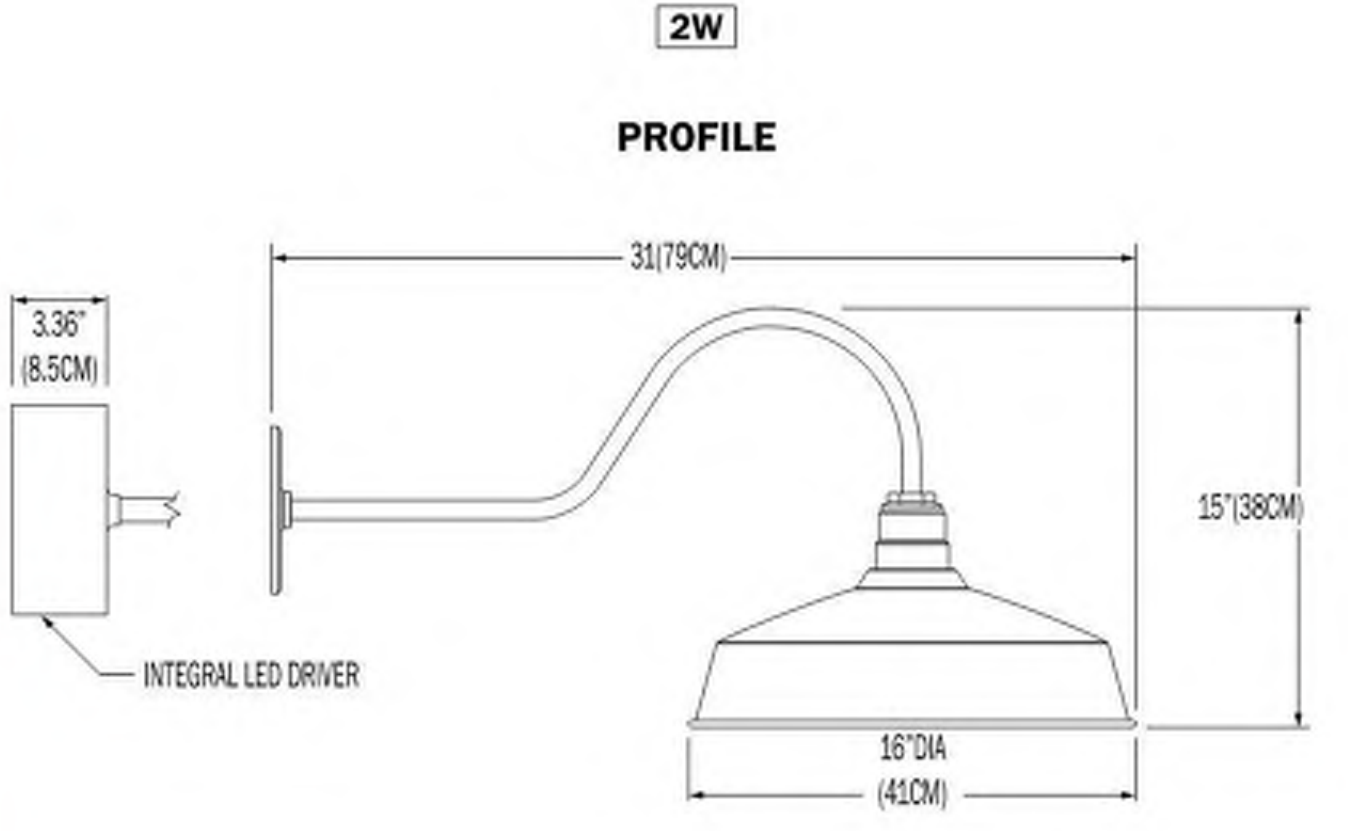
- Five-year limited warranty. Consult website for details. [www.cooperlighting.com/3epic](http://www.cooperlighting.com/3epic)

**COOPER**  
Lighting Solutions

PSS1634624 page 1  
October 20, 2022 4:17 PM


## WALL MOUNTED LIGHT DETAIL

NOT TO SCALE



**CHARRON**  
REFLEX LIGHTING

FOR MORE INFORMATION ON LIGHTING OR LIGHTING DETAILS PLEASE REACH OUT TO CONTACT: MOBRIEN@REFLEXLIGHTING.COM



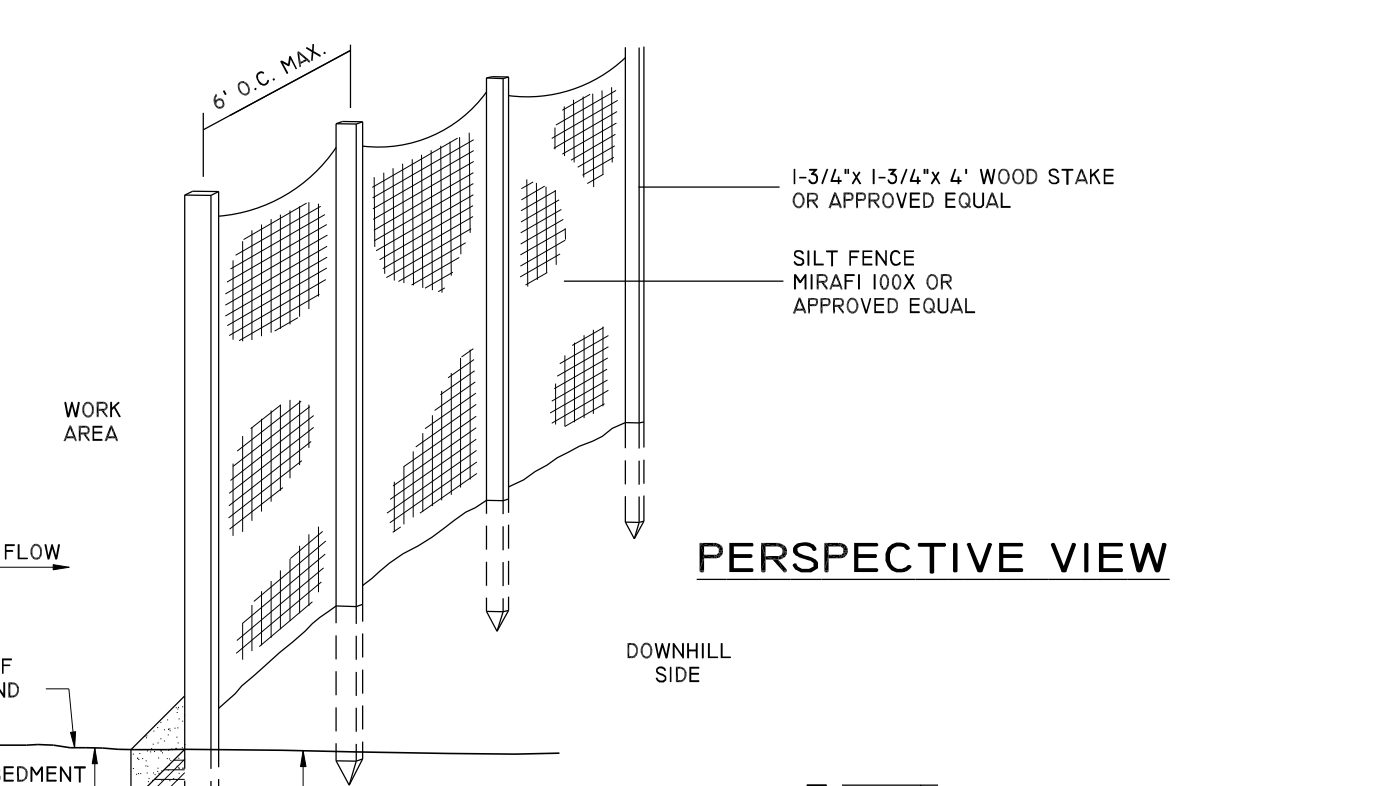
## LIGHT POLE DETAIL

NOT TO SCALE

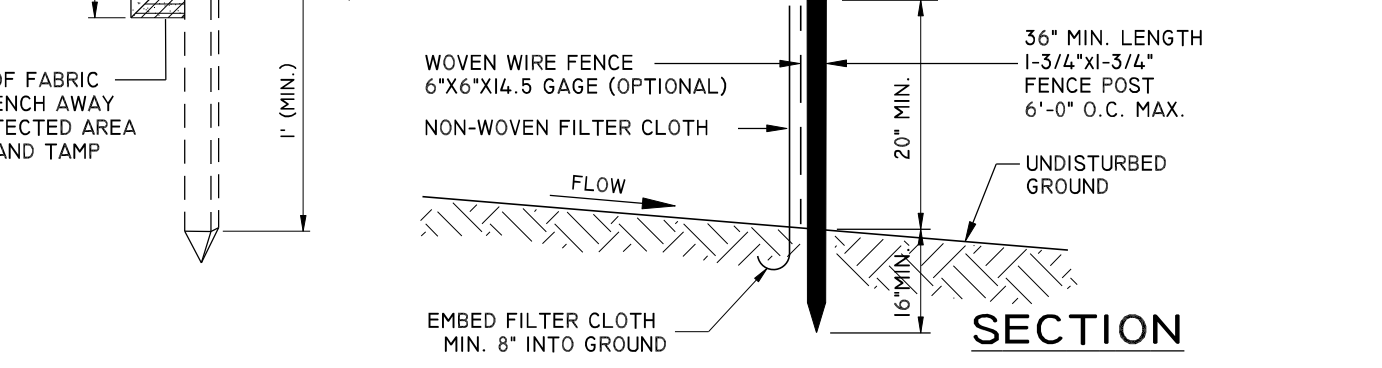
### MAINTENANCE

- SILT FENCES ARE TO BE INSPECTED IMMEDIATELY AFTER EVERY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**PERSPECTIVE VIEW**



**SECTION**

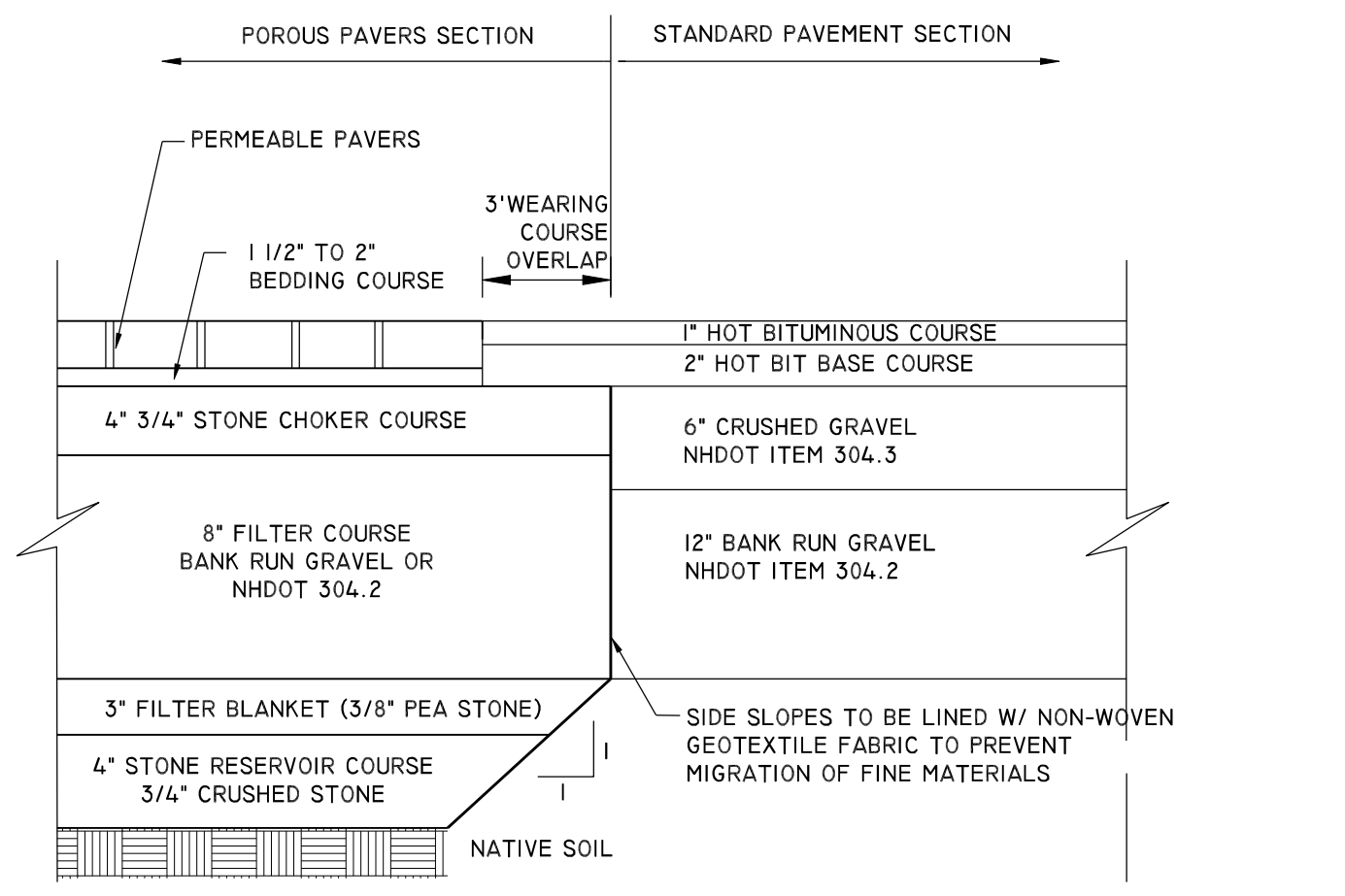


**SILT FENCE DETAIL**

NOT TO SCALE

## POLE LIGHT DETAIL

NOT TO SCALE



**PERMEABLE PAVERS DETAIL**

NOT TO SCALE

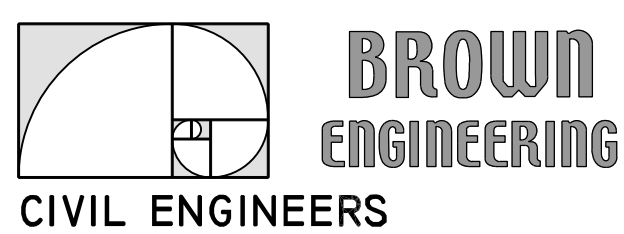
## MACK'S APPLES FARM MARKET

### MISCELLANEOUS DETAIL SHEET

TAX MAP 6 LOT 21  
230 MAMMOTH ROAD, LONDONDERRY, NH 03053

MHO ACQUISITION LLC.  
230 MAMMOTH ROAD  
LONDONDERRY, NH 03053  
BOOK 6272 PAGE 1338

PREPARED BY:  
**BROWN ENGINEERING LLC**  
34 WHITTIER HIGHWAY  
MOULTONBOROUGH, NH 03254  
TEL: (603) 744-1044  
WWW.BROWNEENGINEERINGLLC.COM



DATE: 12-10-2025  
JOB NO: 5375-44

REV.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLB
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLB

MD-I  
9 OF 13

## CONSTRUCTION SEQUENCE:

- CUT AND CLEAR TREES WITHIN LIMIT OF WORK (PROPOSED TREE LINE), UNLESS OTHERWISE NOTED. ALL STUMPS, BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS SHOWN AND DETAILED IN THIS PLAN SET.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES (DETENTION BASINS, TREATMENT SWALES, GRASS SWALES AND STONE LINED RIP-RAP SWALES) PRIOR TO ANY EARTH MOVING OPERATION.
- ALL SWALES AND DITCH LINES SHALL BE PROTECTED FROM EROSION. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL STORM DRAINAGE SYSTEMS SUCH AS DETENTION/RETENTION BASINS, TREATMENT SWALES AND LEVEL SPREADERS SHALL BE PROTECTED FROM EROSION. ALL STORM DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM.
- NO CATCH BASIN FRAME AND GRATE SHALL BE INSTALLED PRIOR TO PAVING (IF APPLICABLE). ALL DRAINAGE STRUCTURES ARE TO BE "PLATED" AND CUT OUT FOLLOWING PAVING OPERATIONS, ONLY IF ALL DOWNSTREAM DRAINAGE ELEMENTS ARE STABLE, INCLUDING, BUT NOT LIMITED TO OUTLET PROTECTION, ALL SLOPE GRADING, VEGETATED OR RIP-RAP SWALES, DETENTION BASIN AND TREATMENT SWALES.
- IF FRAME AND GRATES ARE INSTALLED, SPECIFIC SOIL EROSION MEASURES MUST BE INSTALLED SUCH AS GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER OR BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER.
- CONSTRUCT TEMPORARY CULVERTS, DIVERSION DITCHES/SWALES OR BERMS AS REQUIRED TO MINIMIZE THE EROSION AFFECTS OF STORMWATER RUNOFF DURING ALL CONSTRUCTION ACTIVITIES.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND DEBRIS SHALL BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
- ALL MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND IF NECESSARY, SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO PREVENT OR CONTAIN SOIL EROSION.
- ALL MATERIAL SUITABLE FOR FILL OR SELECT MATERIAL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO CONTAIN SOIL EROSION.
- REMOVE ALL IMPROPER ROADWAY/SITE FOUNDATION MATERIAL WITHIN 18" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL ACCEPTABLE TO THE STATE/TOWN SPECIFICATIONS. ALL SUITABLE FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM D-1556) REQUIREMENTS.
- CONSTRUCT ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO DRAIN, DATA, CABLE AND POWER.
- ROUGH GRADE ROADWAY/SITE WITHIN LIMIT OF WORK AND COMMENCE CONSTRUCTION OF ROADWAY.
- COMPLETE ROADWAY SLOPE GRADING/EMBANKMENT CONSTRUCTION. ALL SLOPES SHALL BE STABILIZED AND SEEDED IMMEDIATELY AFTER GRADING. THE CONTRACTOR SHALL STABILIZE SLOPES WITH APPROPRIATE SEEDING PROGRAM OR JUTE MAT, WHEREVER SPECIFIED.
- APPLY TOPSOIL TO ROADWAY SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED AS TO BE FREE FROM ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED, AND MULCHED. THE CONTRACTOR SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- PERFORM FINAL PAVING OPERATIONS (IF APPLICABLE). INSTALL GUARDRAIL (IF APPLICABLE) AS SHOWN ON THE APPROVED PLANS.
- MAINTAIN, REPAIR, AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY FOR A MINIMUM PERIOD OF 12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.
- AFTER STABILIZATION (2 MONTHLY FOLLOWING SUBSTANTIAL COMPLETION), REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, PREFERABLY OFF SITE.
- FOLLOWING SUBSTANTIAL COMPLETION OF ALL ROADWAY ACTIVITIES AND ONCE STABLE CONDITIONS ARE ACHIEVED, CAREFULLY AND REGULARLY MONITOR CONSTRUCTION ACTIVITIES ON ALL INDIVIDUAL LOTS TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF ROADWAY EMBANKMENTS, STORMWATER SYSTEMS AND UTILITIES.
- LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

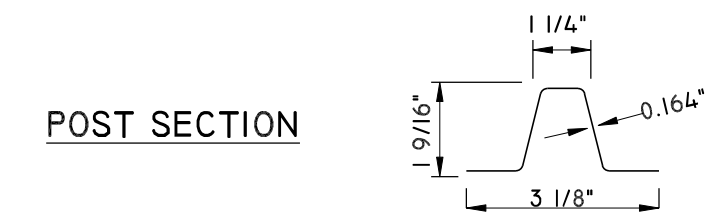
## SEEDING SPECIFICATIONS

MIXTURE	POUNDS/ACRE	POUNDS/1,000 SF
TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRD'SFOOT TREFLOIL	8	0.20
TOTAL	48	1.10

- SEEDING PREPARATION
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT FOUR INCHES TO PREPARE A SEEDED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE: 2 TONS PER ACRE OR 0.09 LBS. PER SQ. FT.
    - NITROGEN (N): 50 LBS. PER ACRE OR 1.1 LBS. PER 1000 SQ. FT.
    - PHOSPHATE (P<sub>2</sub>O<sub>5</sub>): 100 LBS. PER ACRE OR 2.2 LBS. PER 1000 SQ. FT.
    - POTASH (K<sub>2</sub>O): 100 LBS. PER ACRE OR 2.2 LBS. PER 1000 SQ. FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO TABLE 7-35 OF "STORMWATER MANAGEMENT AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", FOR APPROPRIATE SEED MIXTURES AND TABLE 7-36 FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRD'SFOOT TREFLOIL, AND FLATPEA), MUST BE INOCULATED WITH THEIR SPECIFIC INNOCULANT.
  - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
  - STRAW, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING TECHNIQUES FROM THE "BEST MANAGEMENT PRACTICE FOR MULCHING", AS SHOWN IN "STORMWATER MANAGEMENT AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".
- MAINTENANCE TO ESTABLISH A STAND
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

## NOTES:

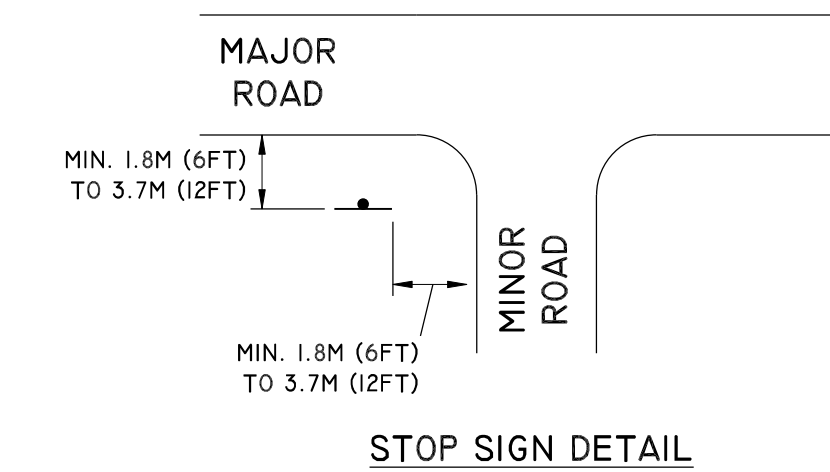
- POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OF DRIVEN.
- WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
- WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
- POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
- SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.
- DIMENSIONS SHOWN ARE NOMINAL.
- ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.
- STOP BAR SHALL BE PLACED 10' FROM THE EDGE OF PAVEMENT OF SCHOOL STREET AND SHALL BE 24" X 16".



POST SECTION

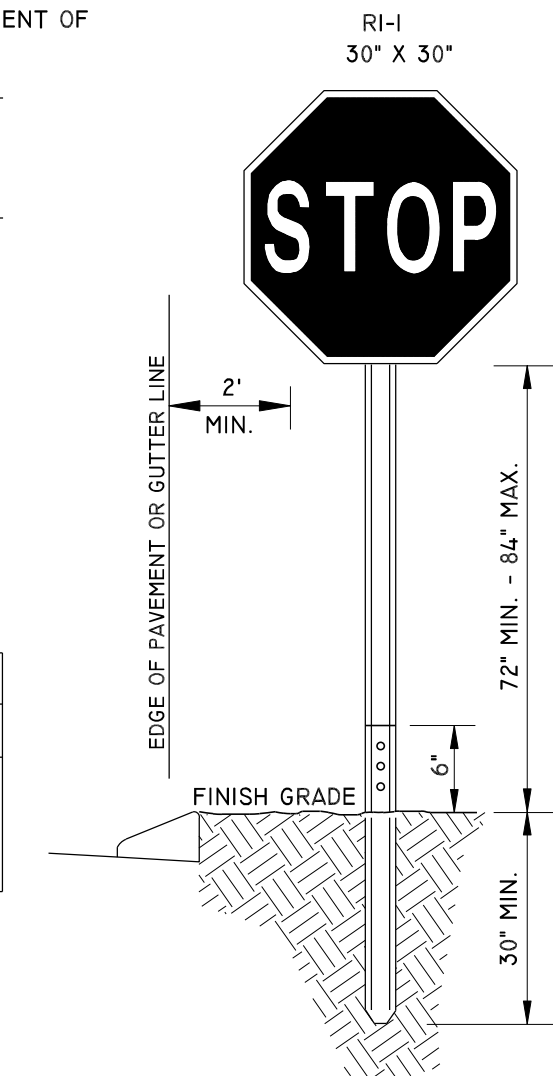
LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0";  
 WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)  
 HOLES: 3/8" DIA. 1' C-C FULL LENGTH  
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).

FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL ABRICATION SHALL BE COMPLETE BEFORE PAINTING.



STOP SIGN DETAIL

SIGN SUMMARY		
M.U.T.C.D. NUMBER	DESCRIPTION	SIZE/REMARKS
RI-1	STOP R/W	30' x 30' NEW SIGN WITH POST



TRAFFIC SIGN POST IN GRADE

NOT TO SCALE

## WINTER CONSTRUCTION NOTES

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.31 OR 304.2.

## EROSION CONTROL NOTES

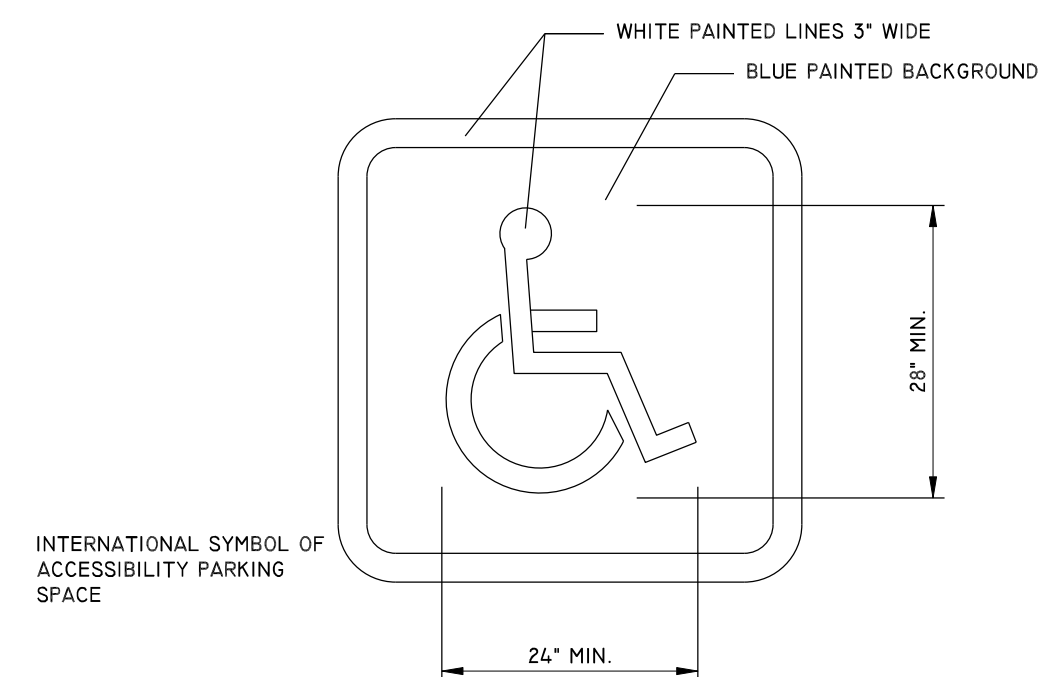
ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS (EPA, NHDES AND TOWN REGULATIONS). THE GENERAL NOTES AND DETAILS CONTAINED IN THIS PLAN SERVE AS A GUIDE ONLY.

- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. INSTALLATION OF STRAWBALE BARRIERS AND SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY SPECIFIC AREA. PREFABRICATED SILTATION FENCES AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- STRAWBALE BARRIERS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE. CUT AND FILL SLOPES SHALL BE LOAMED & SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE INSTALLED WITHIN 45 DAYS OF INITIAL CONSTRUCTION.

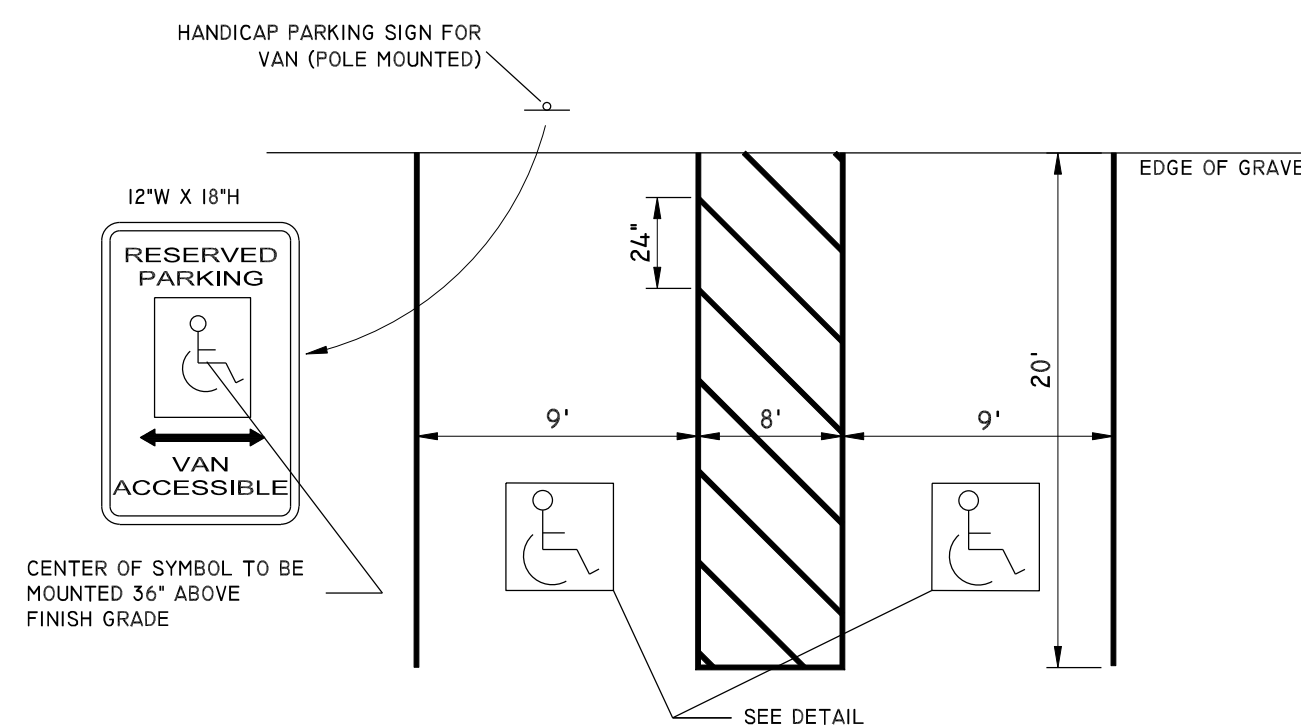
AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:  
 A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED  
 B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
 C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED  
 D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

TIME LIMIT: ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 SQ. FT. SEE SEEDING SPECIFICATIONS ON THIS SHEET
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- STRAW MULCH OR JUTE MATTING SHALL BE USED IF/WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS AREA NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- TO CONTROL DUST DURING CONSTRUCTION, WATER DISTRIBUTION SHALL BE USED.
- LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.
- EROSION CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OF RAINFALL.



INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE



HANDICAP PARKING STRIPING AND SIGN DETAIL

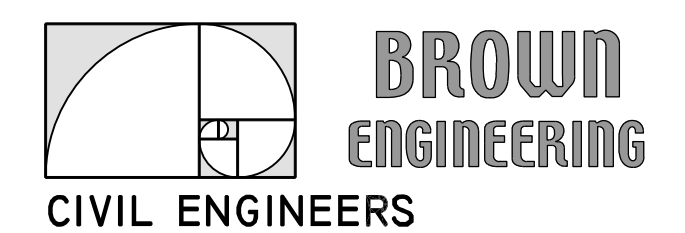
NOT TO SCALE

## MACK'S APPLES FARM MARKET MISCELLANEOUS DETAIL SHEET

TAX MAP 6 LOT 21  
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

MHO ACQUISITION LLC.  
 230 MAMMOTH ROAD  
 LONDONDERRY, NH 03053  
 BOOK 6272 PAGE 1338

PREPARED BY:  
**BROWN ENGINEERING LLC**  
 34 WHITTIER HIGHWAY  
 MOULTONBOROUGH, NH 03254  
 TEL: (603) 744-1044  
 WWW.BROWNEENGINEERINGLLC.COM



DATE: 12-10-2025  
 JOB NO: 5375-44

REV.	DATE	DESCRIPTION	BY
1	2/6/2026	ADD EXIST RTE 28 STRIPPING	KLK
2	3/19/2026	REVISIONS PER THIRD PARTY REVIEW	KLK

MD-2  
 10 OF 13



**Moose Hill Orchards**  
230 Mammoth Rd.  
Londonderry, NH 03053

DESIGN FIRM



Joe The Architect, LLC  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: +1(617) 764-3593 e: askjoe@joethearchitect.com  
www.joethearchitect.com

CONSULTANT



**BROWN ENGINEERING**  
34 Whittier Highway, Moultonborough, NH 03254

SEAL



CONSTRUCTION LEGEND	
SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH
	MILLWORK

**GENERAL NOTES - CONSTRUCTION**

- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED. SEE GENERAL CONSTRUCTION NOTES ON SHEET 001.
- SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.
- ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWS FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
- EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
- COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.
- PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FIXTURES, MILL WORK AT ALL REQUIRE LOCATIONS.
- ALL DIMENSIONS INDICATED WITH A ± REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
- SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.
- ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
- ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.
- PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.
- PROVIDE IN-WALL BLOCKING AS REQUIRED.
- PROVIDE IN-WALL BLOCKING FOR ALL FUTURE BUILT-IN CASEWORK WHERE INDICATED.
- PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.
- AT ALL AREAS OF MEPPF EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH/REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.
- SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.
- INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS, U.N.O.
- MEPPF ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEPPF DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
- EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.
- WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING. DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.
- PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH, LEVEL, FLUSH FINISH.
- ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.

**DESIGN/BUILD NOTES:**

- MEPPF ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEPPF DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
- ALL "MEPPF" WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

**PROJECT INFORMATION**  
**25077 MACK'S APPLES RESTAURANT**

230 Mammoth Rd.  
Londonderry, NH 03053

**FOR SITEPLAN APPROVAL**

3/18/2026 5:48:26 PM

WARNING: Joe The Architect, Inc. all drawings and written material herein constitute the original and unpublished work of the architect and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all dimensions on site prior to construction. Exposed dimensions take precedence over scaled dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards © 2025 All rights reserved.

ISSUE CHART

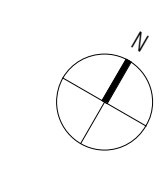
ISSUE	DATE
PROJECT NUMBER	25077
CHECKED	Checker
APPROVED	Approver
SCALE	As indicated
SHEET NAME	

**CONSTRUCTION FLOOR PLAN**

SHEET NUMBER

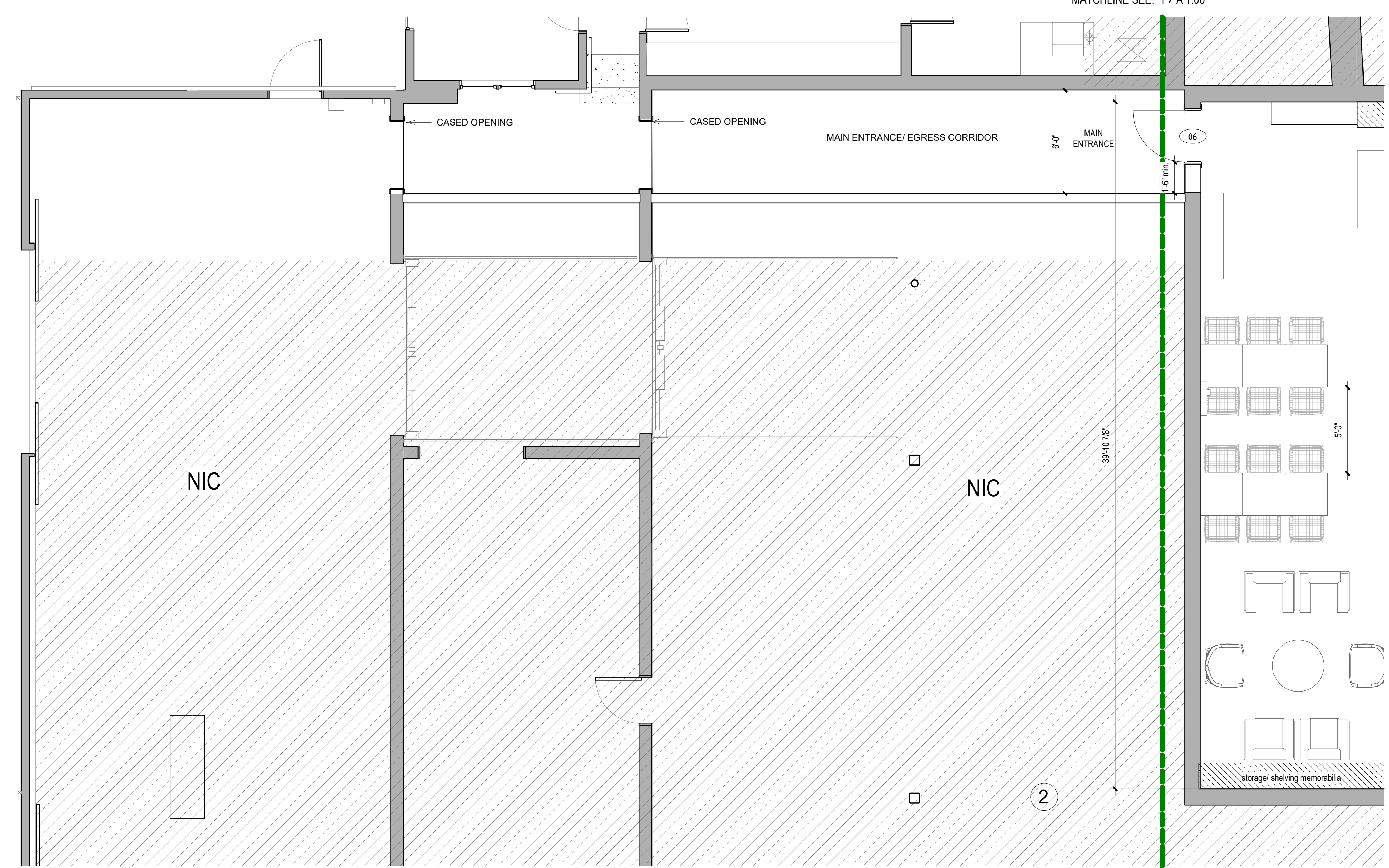
**A 1.00**

11 of 13



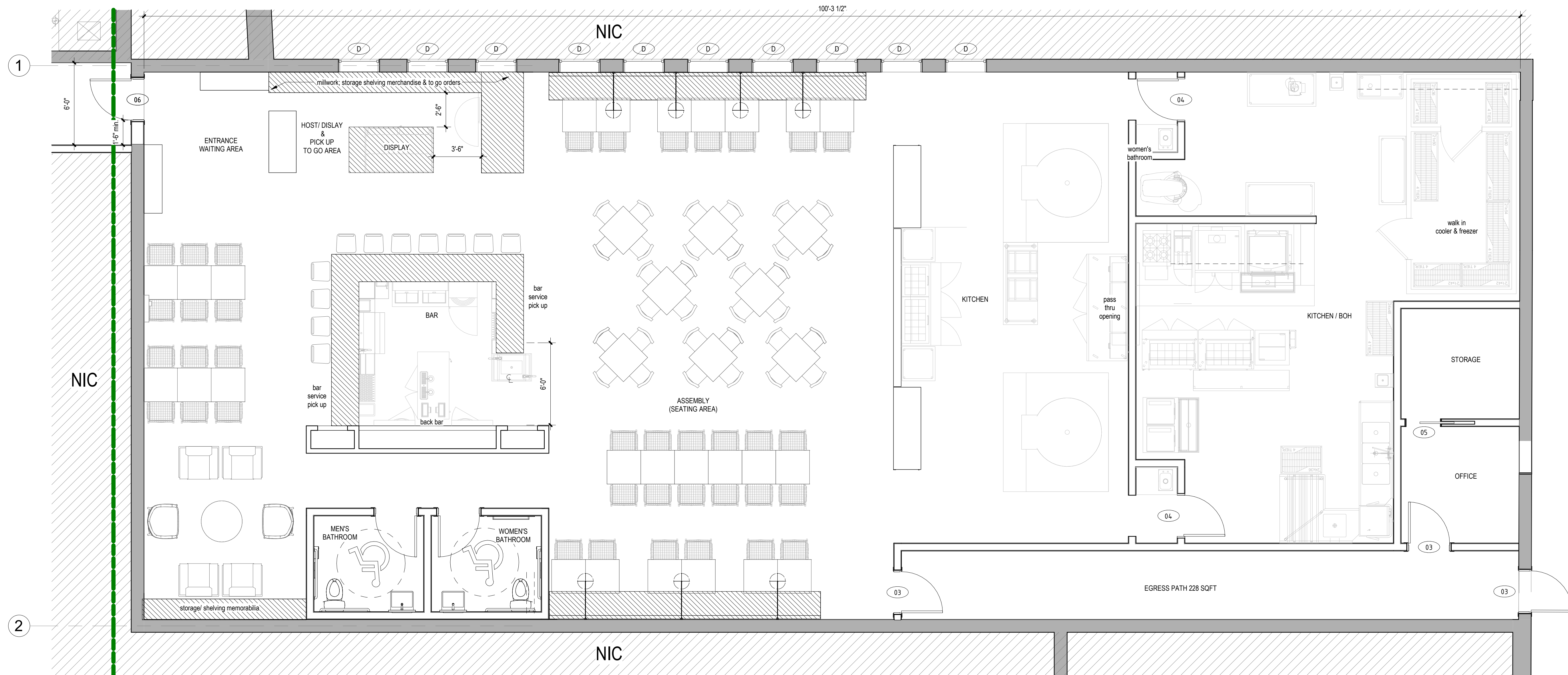
3/18/2026 5:48:26 PM

MATCHLINE SEE: 1 / A 1.00



2 FLOOR 01\_PLAN\_NEW CONSTRUCTION\_FRONT  
1/4" = 1'-0"

MATCHLINE SEE: 2 / A 1.00

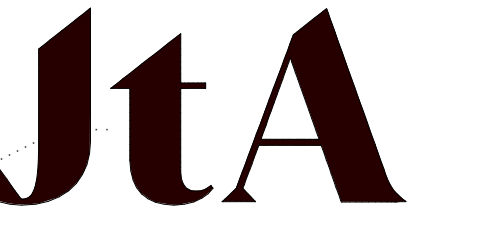


1 FLOOR 01\_PLAN\_NEW CONSTRUCTION  
1/4" = 1'-0"



**Moose Hill Orchards**  
230 Mammoth Rd.  
Londonderry, NH 03053

DESIGN FIRM



Joe The Architect, LLC  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: +1(617) 764-3593 or askjoe@joethearchitect.com  
www.joethearchitect.com

CONSULTANT



**BROWN ENGINEERING**  
34 Whittier Highway, Moultonborough, NH 03254

SEAL



1 EXTERIOR EAST ELEVATION, NC, COLORED  
A.3.01 12" = 1'-0"



2 EXTERIOR SOUTH ELEVATION, NC, COLORED  
A.3.01 12" = 1'-0"

**PROJECT INFORMATION**  
25077 MACK'S APPLES RESTAURANT

230 Mammoth Rd.  
Londonderry, NH 03053

**FOR APPROVAL**

3/19/2026 9:35:17 AM

**WARNING**  
Joe The Architect, Inc. all drawings and written material herein constitute the original and unpublished work of the architect, and the same, may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all dimensions on site prior to construction. If any discrepancy is noted, the contractor shall immediately notify the architect. Any discrepancies should be immediately referred to the architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The user of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and related building standards. © 2025 - All rights reserved.

**ISSUE CHART**

1	PERMIT SET	ISSUE	DATE
N	25077	PROJECT NUMBER	
	Checker	CHECKED	
	Approver	APPROVED	
	12" = 1'-0"	SCALE	
		SHEET NAME	

**EXTERIOR ELEVATIONS COLORED**

SHEET NUMBER

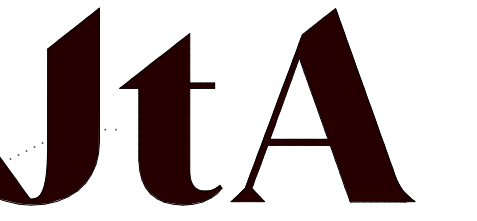
**A 3.01**

12 of 13



**Moose Hill Orchards**  
230 Mammoth Rd.  
Londonderry, NH 03053

DESIGN FIRM



Joe The Architect, LLC  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: +1(617) 764-3593 e: askjoe@joethearchitect.com  
www.joethearchitect.com

CONSULTANT



**BROWN ENGINEERING**  
34 Whittier Highway, Moultonborough, NH 03254

SEAL



2 EXTERIOR WEST ELEVATION\_NC\_COLORED  
A 3.02 / 12" = 1'-0"



1 EXTERIOR NORTH ELEVATION\_NC\_COLORED  
A 3.02 / 12" = 1'-0"

PROJECT INFORMATION

**25077 MACK'S APPLES RESTAURANT**

230 Mammoth Rd.  
Londonderry, NH 03053

**FOR SITEPLAN APPROVAL**

3/19/2026 9:35:43 AM

WARNING: Joe The Architect, Inc. all drawings and written material herein constitute the original and unpublished work of the architect and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all dimensions on site prior to construction. For your convenience, please refer to the project information sheet. Dimensions are shown in feet and inches. Any discrepancies should be immediately referred to the architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and related Electrical Standards © 2025 - All rights reserved.

ISSUE CHART

1	PERMIT SET
N	ISSUE   DATE
	25077 PROJECT NUMBER
	Checker CHECKED
	Approver APPROVED
	12" = 1'-0" SCALE
	SHEET NAME

**EXTERIOR ELEVATIONS COLORED**

SHEET NUMBER

**A 3.02**  
13 of 13