

**Londonderry Heritage/Historic
District Commission Meeting**
MAY 26, 2022 - 7:00 P.M.
MOOSE HILL CONFERENCE ROOM

MINUTES

- I. Chairman Kryz Kenney called the meeting to order at 7:00 pm. The following Commissioners were present: David Colglazier, John Mahon, Art Rugg, and Kristin Endyke. Absent: Sue Joudrey and Jim Butler. The Chair appointer Alternate Commissioner Laura Schenkman in Sue Joudrey's place. Staff Associate Planner: Laura Gandia.
- II. Approval of minutes from prior meeting: A. Rugg made a motion to approve the minutes of the March 24, 2022 meeting; D. Colglazier seconded the motion. The motion passed, 6-0.
- III. Design/Formal Review Applications:

- A. Application for design review of a site plan for the construction of a 7,200 SF warehouse and wholesale building with exterior racking and associated site improvements, Three Enterprise Drive, Map 15 Lot 62-3, Zoned C-It, 3 Enterprise Drive, LLC [Owner & Applicant] — continued from the March meeting. Jason Lopez of Keach-Nordstrom Associates presented with Paul Carey of Northeast Nursery in attendance and assisting. Modifications to this proposed building since the March meeting include the movement of exterior racking to the rear of the building. The color of the racking will approximate the color of the building. The landscape plan avoids sewer and line of sight easements in the front of the building. Lighting plan is dark-sky compliant. D. Colglazier commented on lighting in the plantings shown in the renderings. After some discussion, the Commission was advised that there would be no lighting in the plantings and that any lighting changes to the submitted plan would be brought back to the Commission for review.

Action: Approved as submitted. Notation that signage or lighting changes will require the applicant to return to the Commission for review.

On a separate matter, Jason Lopez advised the Commission that the stone wall on the corner of Calla Road (Lot 38-60) in Lorden Commons would be rebuilt as required by the Commission in the month of June. Failing that, he agreed to return to the Commission's July meeting with a representative from Chinburg Properties to explain any delays.

- B. Application for design review of a site plan for the construction of two one-story buildings (24,800 SF and 25,800 SF) for a warehouse and storage facility and associated site improvements, 88A Harvey Road, Map 14 Lot 17, Zoned IND-II, Patriot Holdings, LLC (Applicant) and VAB Properties, LLC (Owner) — continued from the March meeting.

Action: This project has been tabled at the request of the applicant.

- C. Application for design review of a conditional use permit per Londonderry Zoning Ordinance section 6.3.11.C and Use Table 4.1.2 to allow a 6,000 SF convenience store with drive through, and gas station with 16 fueling stations and 2 diesel fueling stations in the Route 28 Performance Overlay District in the Route 28 Performance Overlay District, 174 Rockingham Road, Map 15 Lot 61, Zoned C-II and RTE 28 Performance Overlay District and 178 Rockingham Road, Map 15 Lot 61-7, Zoned C-II and RTE 28 POD, 2V Londonderry, LLC & 2V Londonderry West, LLC (Owners) and New Sunset Realty (Applicant) — continued from the March meeting. Presented by Jeff Kevan of TF Moran, Tom Healey of Nouria Energy, and John Selle of Phase Zero Design. Architectural changes since the March presentation included clapboard siding, peaked, shingled roofs with dormers, peaks on the gas pump canopy, and softened coloring throughout. The free-standing sign submitted lacked a monument base as

required in the performance overlay district which the applicant agreed to correct with materials and color matching those of the building. The signage on the building, the canopy, and the free-standing sign exceeded the maximum signage allowed by regulation. The applicant will seek a variance from the ZBA for the excess signage. The applicant provide a rendering with additional landscaping in front of the diesel pump station including a small island and trees near Rockingham Road. A walking path on Symmes Drive would need to be addressed with the D.O.T. Colored concrete pads to coordinate with the building will be considered.

Action: The number of signs as submitted does exceed the standard for a conditional use permit. It will need to be reworked or the applicant would need to get relief from the Zoning Board. As a result, the Commission approved the monument sign and the sign over the main entrance only. The applicant will return to the Commission if they intend to add or change other signage prior to review by the ZBA.

- D. Application for design review of a subdivision plan to subdivide one residential into two lots, 86 High Range Road, Map 6 Lot 106, Zoned AR-1, Belize Real Estate Holding, LLC (Owner & Applicant). Presented by L. Gandia for the applicant. One lot would be 1.255 acres; the other 13.437 acres. Stone walls are present but the owner has agreed to rebuild any wall that is disturbed. A. Chiampa from the Historical Society noted the presence of several potential cellar holes of historical value. The property owner agreed to allow A. Chiampa and D. Ellis to go on the property and document the cellar holes and the nearby stone wall.

Action: Continued to next meeting in anticipation of further information.

- E. Application for design for review of a site plan amendment for the construction of a 7,200 SF building and associated site improvements, Three Akira Way, Map 28 Lot 31-1, Zoned IND-II, Ranger Development Corp (Applicant) and Fairwind Properties (Owner). Presented by Brian Pratt of Fuss and O'Neill and Sarah Schaffer of Bruce Ronayne Hamilton Architects. The previous proposal for a 9600 sq. ft. building from 2014 is replaced by this smaller 7,200 sq. ft. structure. The new design calls for 5 units, each 24' wide, with circular access around the entire building. The front of the building will feature vertical Hardy siding with muted colors from the palette submitted by the applicant and Versetta Stone on the bottom. A landscaped island was added to the front and side of the building. Crabapple or flowering cherry trees will replace the pear trees in the landscape plan. The lighting plan will meet dark-sky requirements. Signage limited to tenant signs meeting town requirements without lighting. J. Mahon asked that the tenant signage be uniform as to color, shape, material, and size with a possible variance for tenant logos. An unlit free-standing monument sign with changeable tenant signage and a base to match the stone on the building is in the signage plan.

Action: Approved as submitted with a stipulation that the monument sign meets the ZBA ordinance of 25% changeable signage as interpreted by the code enforcement officer.

IV. Staff Reports:

- A. Application for design review of a lot line adjustment plan to adjust the lot line between Seven Chartwell Court, Map 3 Lot 45-61, Zoned AR-1 and 11 Greeley Road, Map 3 Lot 165-1, Zoned AR-1, Diana F. Wolters Rev. Trust (Owner & Applicant). L. Gandia presented. Applicant is asking to divide this lot into 2 lots. The first would be 5.33 acres and the second would be 7.21 acres.

Action: Approved as submitted.

V. Other business:

A. Town Common

L. Gandia has secured two of three needed quotes to replace the spruce trees on the corner of Mammoth and Pillsbury.

Dave Wholley, Director of Public Works and Municipal Facilities, and Larry Casey, Chair of the Londonderry Arts Council presented a concept to the Commission for consideration. This would include light pole(s) to display banners for different events on the Common and also for different seasonal occasions above a ramped access leading to a small level pad near the corner of Mammoth Road and Pillsbury. The replacement tree noted above might need to be moved slightly to allow for this project. Beyond aesthetic appeal, this project would improve safety on this primary access point to the Common with better lighting and improved surface leveling. Larry Casey also noted that this would be a significant safety improvement for disabled and elderly Concerts on the Common attendees. Funding would need to be approved by taxpayers. J. Mahon suggested that consideration also be given to including lighting for the crossing on Pillsbury Road from the Presbyterian Church parking lot to the Common in this project. The Commission agreed to proceed conceptually with Dave's project and therefore placed tree replacement on this corner of the Common on hold.

Dave Wholley also presented an idea for adding an access point from Mammoth Road to the path circling the Common and the Kent Allen Forrest. This would require a curb cut on Mammoth Road (with D.O.T. approval), a gate, and about 100' of clearance 15'-20' wide to join up with the existing path. Funding would be from the DPW's operations budget. The most pressing reason for consideration of this project is public safety as the current path is too narrow to allow fire or other larger vehicles entering on Pillsbury Road to turn around and this change would allow straight out access from the path to Mammoth Road. A. Rugg expressed concern about disturbing the natural appearance and canopy of this area and suggested a need to walk the area prior to Commission approval. J. Mahon proposed that available Commission members, led by Dave, walk through the area and a special meeting to do so was scheduled for Tuesday, June 7, 2022 starting at the War Memorial on the Common.

David Ellis' correction of the label on the picture of what was thought to be Ocean-Born Mary's house in Town Hall was accepted by the Commission. J. Mahon made a motion to send this to the Town Manager for his input and follow-up; D. Colglazier seconded. The motion passed, 5-0, as Commissioner L. Endyke left the meeting to attend to family matters.

VI. Public input

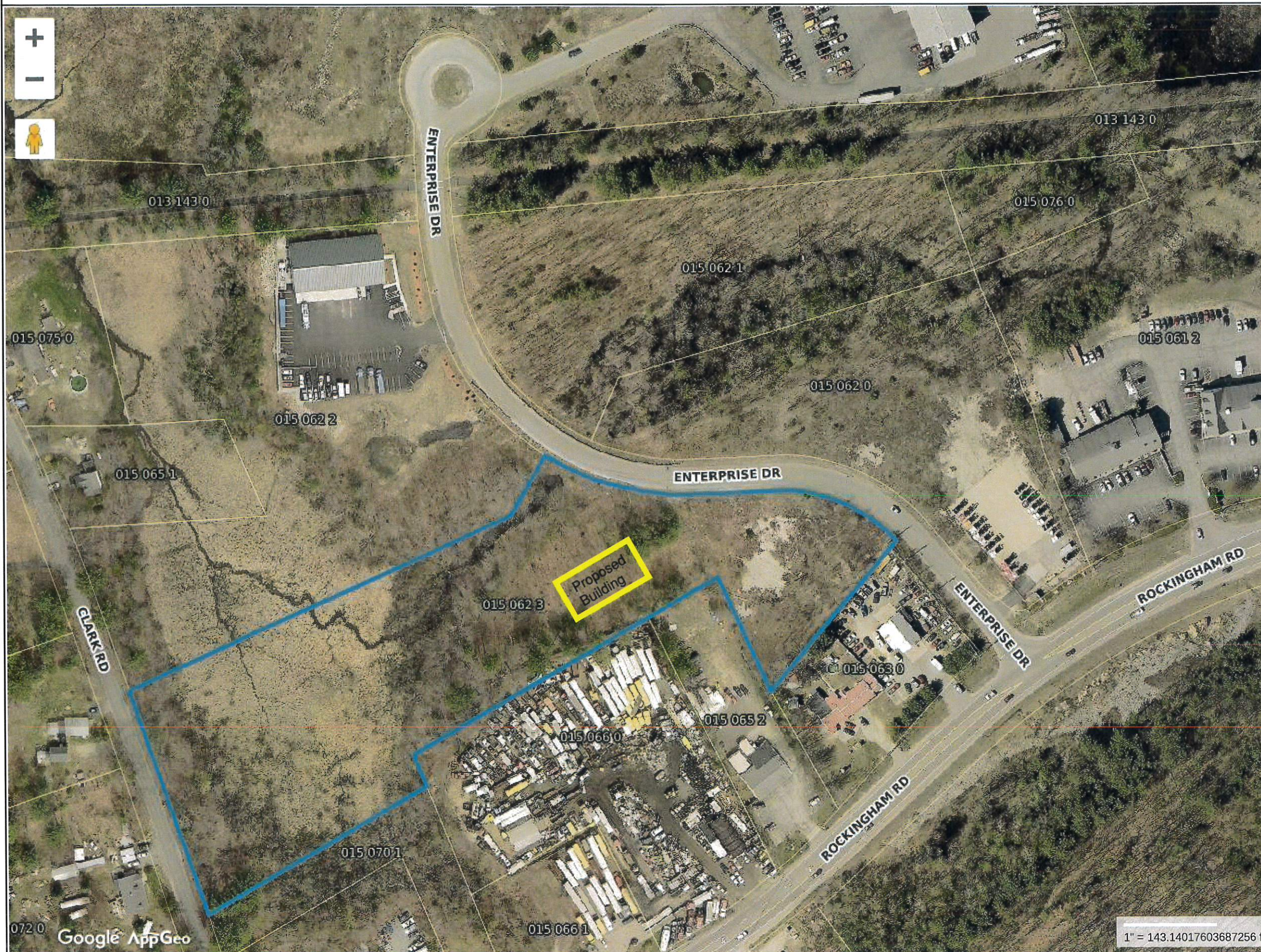
: None

VII. Adjournment

At 10:00 PM, D. Colglazier made a motion to adjourn; J. Mahon seconded. The motion passed, 5-0.

These minutes were approved on July 18, 2022 by a vote of D. Colglazier and seconded by J. Mahon.

III A
NE Turf



Property Information
Property ID 015-062-3
Location 3 ENTERPRISE DR
Owner 3 ENTERPRISE DRIVE, LLC

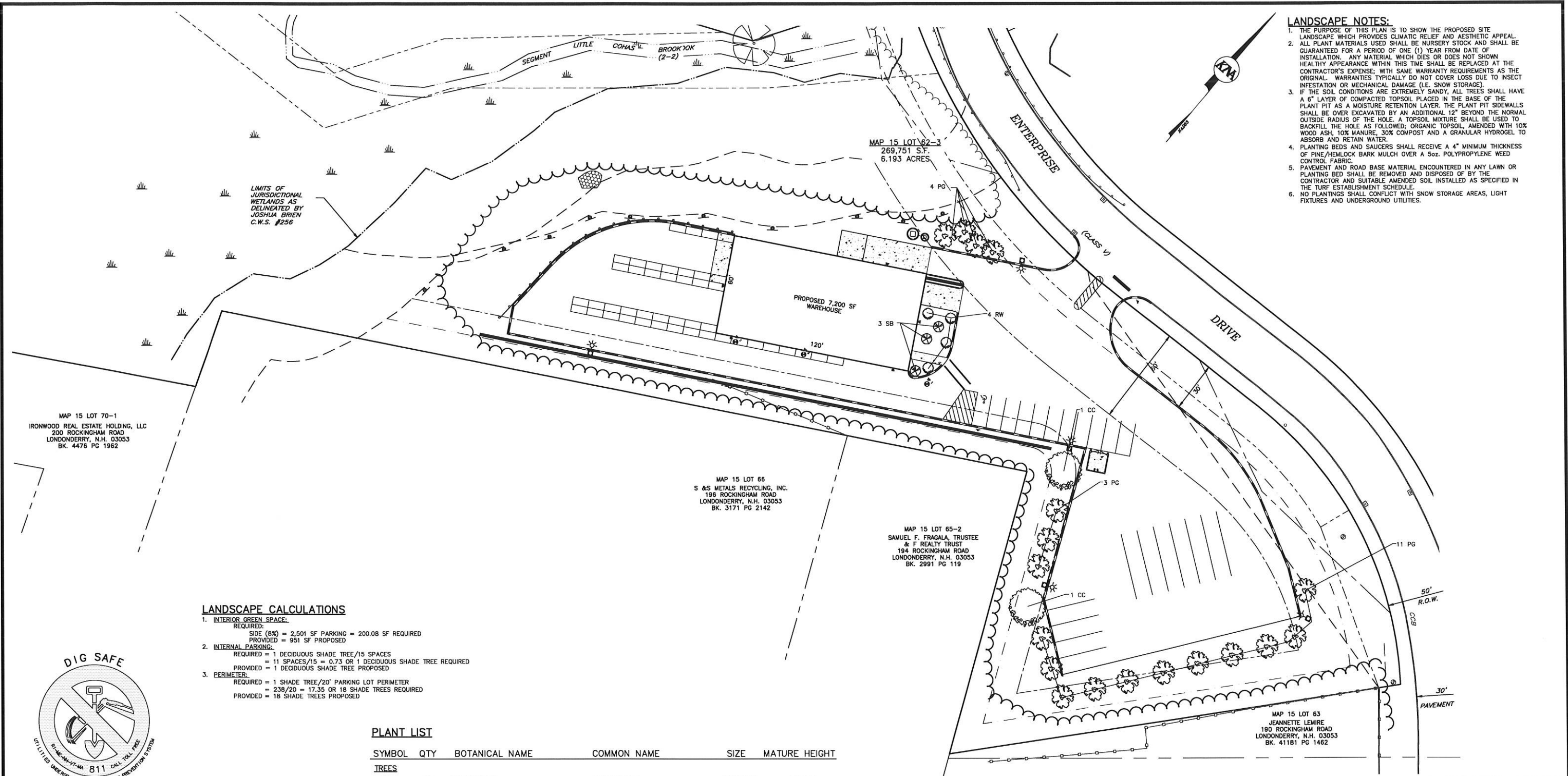


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Londonderry, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 05/04/2021
 Data updated 06/05/2020

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



- LANDSCAPE NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
 2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
 3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
 4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
 5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
 6. NO PLANTINGS SHALL CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES AND UNDERGROUND UTILITIES.

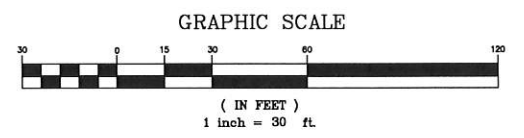
- LANDSCAPE CALCULATIONS**
1. **INTERIOR GREEN SPACE:**
REQUIRED:
SIDE (8%) = 2,501 SF PARKING = 200.08 SF REQUIRED
PROVIDED = 951 SF PROPOSED
2. **INTERNAL PARKING:**
REQUIRED = 1 DECIDUOUS SHADE TREE/15 SPACES
= 11 SPACES/15 = 0.73 OR 1 DECIDUOUS SHADE TREE REQUIRED
PROVIDED = 1 DECIDUOUS SHADE TREE PROPOSED
3. **PERIMETER:**
REQUIRED = 1 SHADE TREE/20' PARKING LOT PERIMETER
= 238/20 = 11.9 OR 12 SHADE TREES REQUIRED
PROVIDED = 18 SHADE TREES PROPOSED



PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
PN	18	PINUS GLAUCA	WHITE SPRUCE	5-6' B&B	40-60'
CC	2	CERCIS CANADENSIS	REDBUD	2 1/2-3" CAL	20-30'
SHRUBS					
PMM	3	SYRINGA "BLOOMERANG"	BLOOMERANG LILAC	#5	10-15'
RW	4	RHODODENDRON BOULE DE NEIGE	WHITE RHODODENDRON	#5	2-3'

LEGEND		
GB-F	GRANITE BOUND FOUND	CAPE COD BERM
IP-F	IRON PIN FOUND	CCB
	UTILITY POLE	EOP
	WATER VALVE	EOG
	HYDRANT	10' CONTOUR
	SEWER MANHOLE	2' CONTOUR
	DRAINAGE MANHOLE	FLOOD LINE
	CATCH BASIN	SETBACK
	ABUTTER LINE	IPP-F
	PROPERTY LINE	IP-F
	BROOK	SIGN
	WETLAND	PROPERTY LINE
	WOODEN FENCE	WETLAND
	GUARDRAIL	EDGE OF GRAVEL
		BUILDING SETBACK
		GREEN AREA SETBACK
		WETLAND BUFFER
		PROPOSED TREELINE
		PROPOSED CONCRETE



BENCHMARK DATA			REVISIONS			
LOCATION	DATUM	DESCRIPTION	NO.	DATE	DESCRIPTION	BY
NORTHING: 152393.7585 EASTING: 1059612.4296	ELEV.=294.12 (NAVD88)	ARROW NUT ON TOP OF HYDRANT ON ENTERPRISE DRIVE	1	3/29/22	REVISED PER TOWN & STANTEC COMMENTS	ACL
NORTHING: 152212.1713 EASTING: 1059621.0618	ELEV.=303.44 (NAVD88)	IRON PIN FOUND AT END OF FENCE ADJACENT TO LOT 66	2	5/23/22	REVISED PER TOWN & STANTEC COMMENTS	SCV

OWNER:
3 ENTERPRISE DRIVE, LLC
8 DEARBORN ROAD
PEABODY, MA. 01960
R.C.R.D. BK 6016 PG. 1847

APPLICANT:
NORTHEAST NURSERY, INC.
8 DEARBORN ROAD
PEABODY, MA 01960

LANDSCAPE PLAN
NORTHEAST GOLF & TURF SUPPLY
MAP 15 LOT 62-3
3 ENTERPRISE DRIVE
LONDONDERRY, NEW HAMPSHIRE
ROCKINGHAM COUNTY

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

PROJ. NO: 19-0524-2
DATE: JANUARY 7, 2020
SCALE: 1" = 30'
FILE NO.:
SHEET NO. 6 OF 15

LIGHTING NOTES:

1. ALL LIGHTS/FIXTURES SHALL BE AS SPECIFIED BY CHARRON LIGHTING.
2. ALL PROPOSED LIGHTS/FIXTURES ARE TO BE FULL CUTOFF.
3. FIXTURES SHALL BE MOUNTED AT HEIGHTS AS SPECIFIED IN TABLE.
4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ELECTRICIAN FOR THE EXACT LOCATION, LAYOUT, CONDUIT SIZE AND CIRCUITS ASSOCIATED WITH THE SITE LIGHTING.

LUMINAIRE SCHEDULE				
SYMBOL	QTY.	LABEL	ARRANGEMENT	DESCRIPTION
	3	S4	SINGLE	GLEON-SA2C-740-U-SL4/ SSS4A20SFN1 (20' AFG)
	2	T4	SINGLE	GLEON-SA2C-740-U-T4FT-HSS/ SSS4A20SFN1 (20' AFG)
	3	W3	SINGLE	GWC-SA1C-740-U-SL3/ WALL MOUNTED 15' AFG
	2	W4	SINGLE	GWC-SA1C-740-U-SL4/ WALL MOUNTED 15' AFG



LEGEND

	GB-F GRANITE BOUND FOUND		CAPE COD BERM
	IP-F IRON PIN FOUND		EDGE OF PAVEMENT
	UTILITY POLE		EDGE OF GRAVEL
	WATER VALVE		10' CONTOUR
	HYDRANT		2' CONTOUR
	SEWER MANHOLE		FLOOD LINE
	DRAINAGE MANHOLE		SETBACK
	CATCH BASIN		IRON PIPE FOUND
	ABUTTER LINE		IRON PIN FOUND
	PROPERTY LINE		SIGN
	BROOK		PROPERTY LINE
	WETLAND		WETLAND
	EDGE OF GRAVEL		BUILDING SETBACK
	WOODEN FENCE		WETLAND BUFFER
	GUARDRAIL		PROPOSED TREELINE
	TREELINE		PROPOSED CONCRETE



McGraw-Edison
GWC Galleon Wall
Wall Mount Luminaire

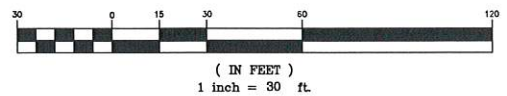
Typical Applications
Exterior Wall - Walkway



McGraw-Edison
GLEON Galleon
Area / Site Luminaire

Typical Applications
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

GRAPHIC SCALE



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NORTHING: 152212.1713 EASTING: 1059621.0616	ELEV.=303.44 (NAVD88)	IRON PIN FOUND AT END OF FENCE ADJACENT TO LOT 66	2	5/23/22	REVISED PER TOWN & STANTEC COMMENTS	SCV

IN ASSOCIATION WITH:

CHARRON
INCORPORATED
P.O. BOX 4550
MANCHESTER, NH 03108
(603) 654-4827
FAX (603) 654-4754

OWNER: 3 ENTERPRISE DRIVE, LLC 8 DEARBORN ROAD PEABODY, MA. 01960 R.C.R.D. BK 6016 PG. 1847	APPLICANT: NORTHEAST NURSERY, INC. 8 DEARBORN ROAD PEABODY, MA 01960
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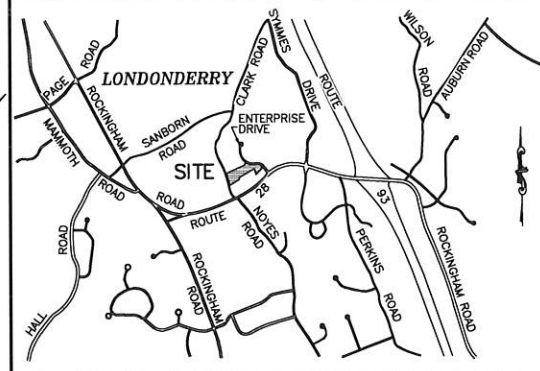
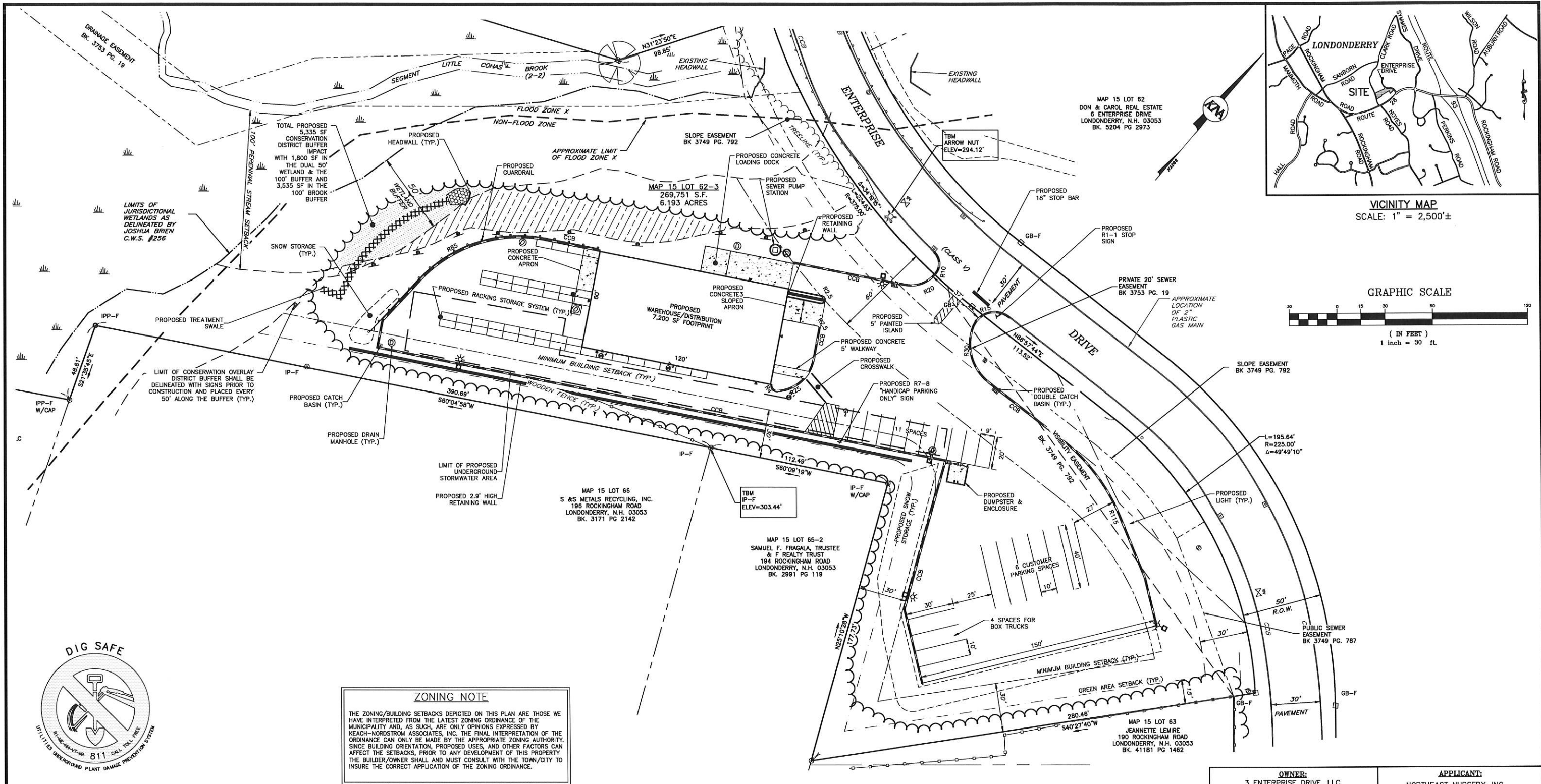
LIGHTING PLAN
NORTHEAST GOLF & TURF SUPPLY
MAP 15 LOT 62-3
3 ENTERPRISE DRIVE
LONDONDERRY, NEW HAMPSHIRE
ROCKINGHAM COUNTY

KMA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

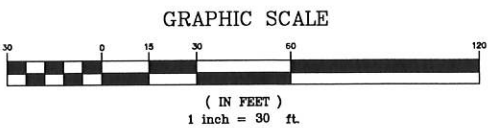
PROJ. NO: 19-0524-2
DATE: JANUARY 7, 2020
SCALE: 1" = 30'
FILE NO.:
SHEET NO. 7 OF 15

Racking Storage System Examples





VICINITY MAP
SCALE: 1" = 2,500'±



ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY KEACH-NORDSTROM ASSOCIATES, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY THE BUILDER/OWNER SHALL AND MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.



LEGEND			
GB-F	GRANITE BOUND FOUND	CCB	CAPE COD BERM
IP-F	IRON PIN FOUND	EOP	EDGE OF PAVEMENT
	UTILITY POLE	EOG	EDGE OF GRAVEL
	WATER VALVE		10' CONTOUR
	HYDRANT		2' CONTOUR
	SEWER MANHOLE		FLOOD LINE
	DRAINAGE MANHOLE		SETBACK
	CATCH BASIN	IPP-F	IRON PIPE FOUND
	ABUTTER LINE	IP-F	IRON PIN FOUND
	PROPERTY LINE		SIGN
	BROOK		PROPERTY LINE
	WETLAND		WETLAND
	WOODEN FENCE		EDGE OF GRAVEL
	GUARDRAIL		BUILDING SETBACK
	TREELINE		GREEN AREA SETBACK
			WETLAND BUFFER
			PROPOSED TREELINE
			PROPOSED CONCRETE

SEE COVER FOR NOTES
AND REFERENCE PLANS

OWNER SIGNATURE:
DATE: 1/20/22

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE
ON DATE: _____
CERTIFIED BY: _____

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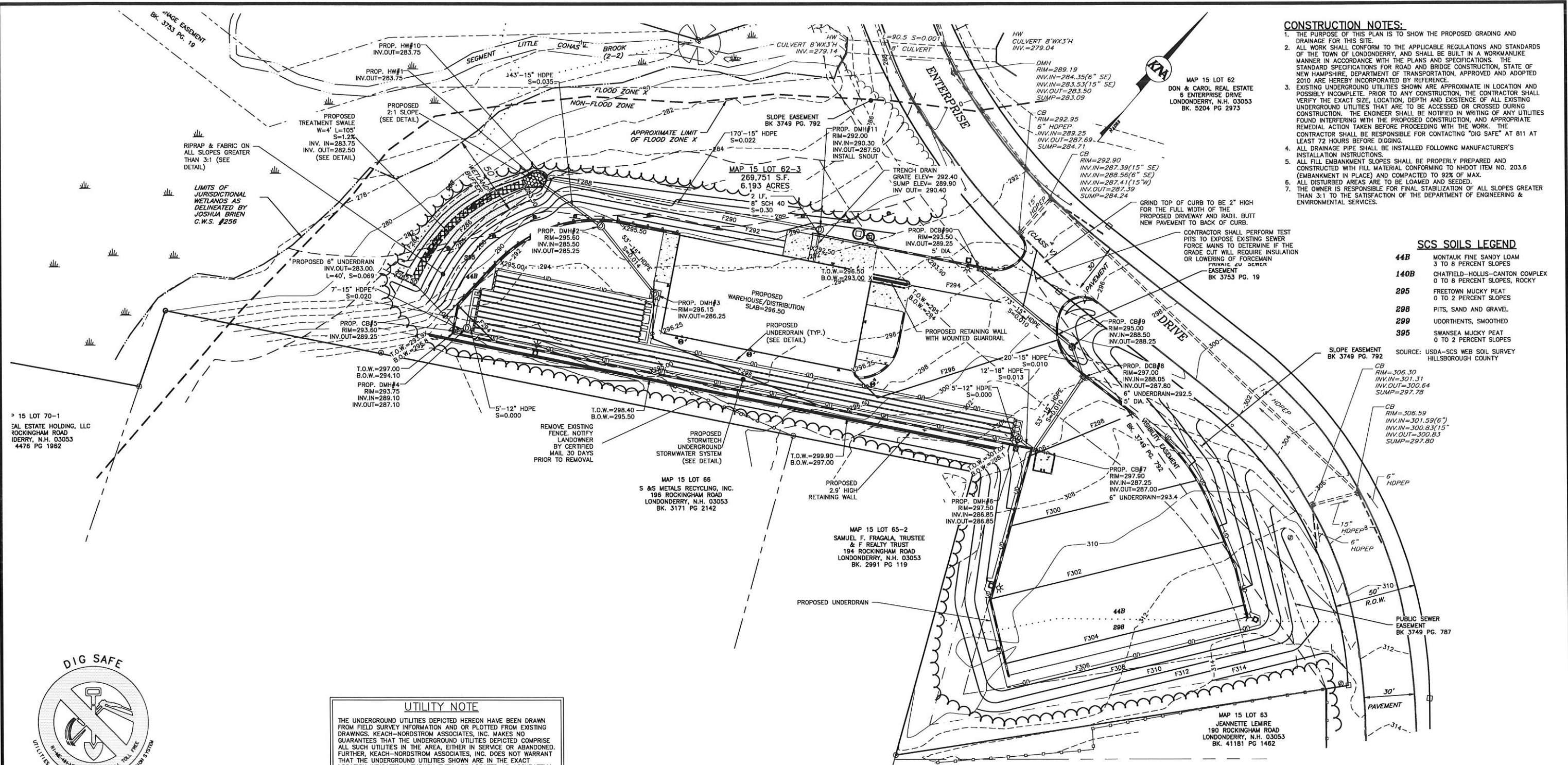
OWNER:
3 ENTERPRISE DRIVE, LLC
8 DEARBORN ROAD
PEABODY, MA 01960
R.C.R.D. BK 6016 PG. 1847

APPLICANT:
NORTHEAST NURSERY, INC.
8 DEARBORN ROAD
PEABODY, MA 01960

NON-RESIDENTIAL SITE PLAN
NORTHEAST GOLF & TURF SUPPLY
MAP 15 LOT 62-3
3 ENTERPRISE DRIVE
LONDONDERRY, NEW HAMPSHIRE
ROCKINGHAM COUNTY

PROJ. NO: 19-0524-2
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KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-8881



OWNER:
3 ENTERPRISE DRIVE, LLC
8 DEARBORN ROAD
PEABODY, MA. 01960
R.C.R.D. BK 6016 PG. 1847

APPLICANT:
NORTHEAST NURSERY, INC.
8 DEARBORN ROAD
PEABODY, MA 01960

GRADING & DRAINAGE PLAN
NORTHEAST GOLF & TURF SUPPLY
MAP 15 LOT 62-3
3 ENTERPRISE DRIVE
LONDONDERRY, NEW HAMPSHIRE
ROCKINGHAM COUNTY

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SHEET NO. 3 OF 15

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 2B, Bedford, NH 03110 Phone (603) 627-2881





III C

5/26/22 Heritage
2V LLC CWP



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
View from Rockingham Road

05/25/2022



PHASE ZERO
DESIGN
architects | interior designers



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
Southeast View 05/25/2022



PHASE ZERO
DESIGN
architects | interior designers



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
Northeast View 05/25/2022



PHASE ZERO
DESIGN
architects | interior designers



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
Southwest View

05/25/2022



PHASE ZERO
DESIGN
architects | interior designers



Proposed Materials:

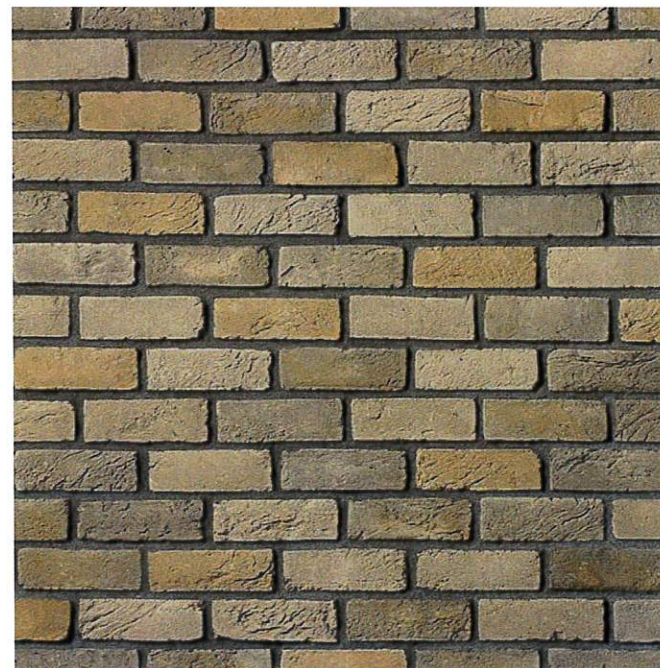
Exterior materials are revised to a more traditional New England palette:

- Architectural Asphalt Shingle Roof
- Brick base
- Clapboard Siding
- Wood Siding at Main Entry

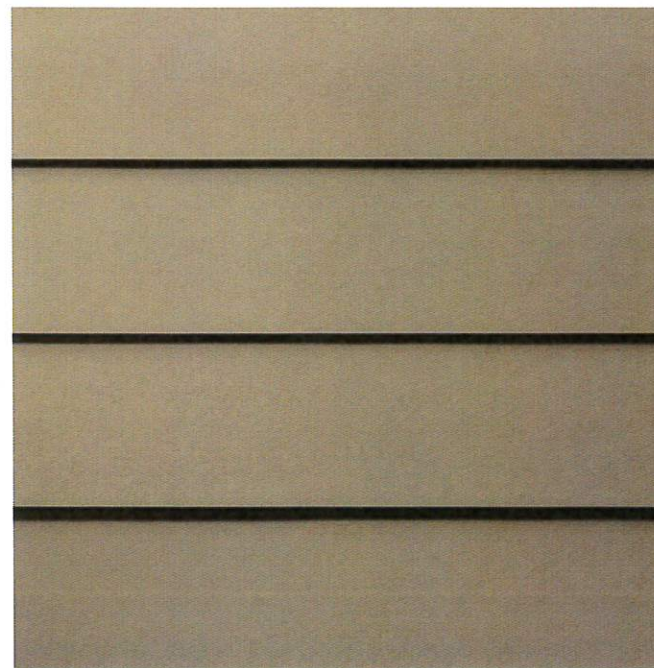
Architectural Shingles
Certainteed Landmark
Color: Weathered Wood



Brick Veneer
Cultured Stone
Color: Moroccan Sand



Clapboard Siding
James Hardie
Color: Khaki Brown



Wood Siding
Nichiha
Color: Roughsawn Tobacco



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
Proposed Materials

05/25/2022



PHASE ZERO
DESIGN
architects | interior designers



NOURIA ENERGY

174 & 178 Rockingham Road, Londonderry, NH
 Night View from Rockingham Road
 05/25/2022



PHASE ZERO
DESIGN
 architects | interior designers

Plot Date: 5/25/2022 1:02:56 PM Dwg Filename: C:\Users\j_selle\Documents\R22_Nouria Londonderry_Road Option 2022-05-24_j_selle\J485.rvt



SOUTHEAST VIEW



NORTHEAST VIEW

ARCHITECT
PHASE ZERO DESIGN
architects | interior designers
35 POND PARK ROAD, SUITE 16
HINGHAM, MASSACHUSETTS 02043
PHONE: (781) 452-7121
FAX: (781) 875-3039
www.phasezerodesign.com

CLIENT
nouria
NOURIA ENERGY CORPORATION
328 CLARK STREET
WORCESTER, MA 01606

CONSULTANT

CONVENIENCE & FILLING STATION
174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

REVISIONS		
NO.	DATE	DESCRIPTION

SEAL

ISSUED FOR: PROGRESS
ISSUED DATE: 05/25/2022

DRAWN BY: JDS
CHECKED BY: JK
PROJECT NUMBER: 2121076

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DRAWING NAME

3D VIEWS

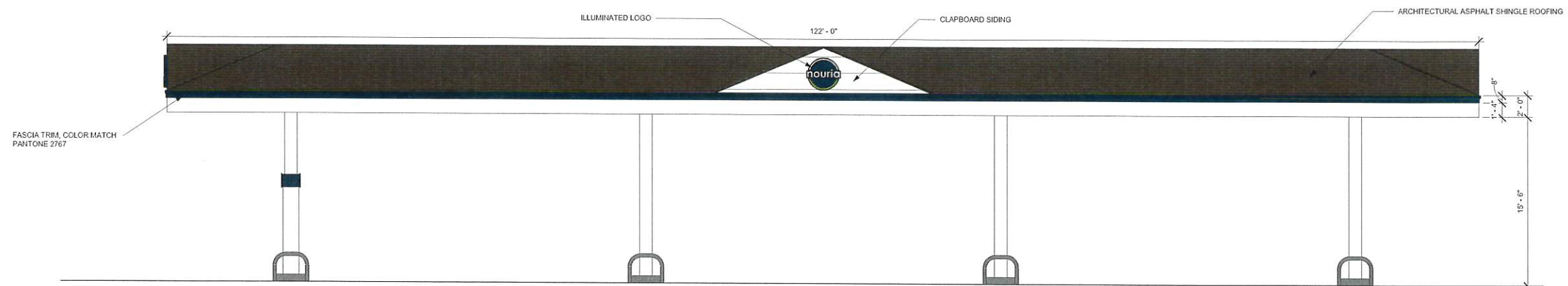
DRAWING NO.
A-203



FUELING CANOPY 3D VIEW



CANOPY SOUTH	2
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FUELING CANOPY EAST 3/16" = 1'-0"	1
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DRAWING NO.

A-205

174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

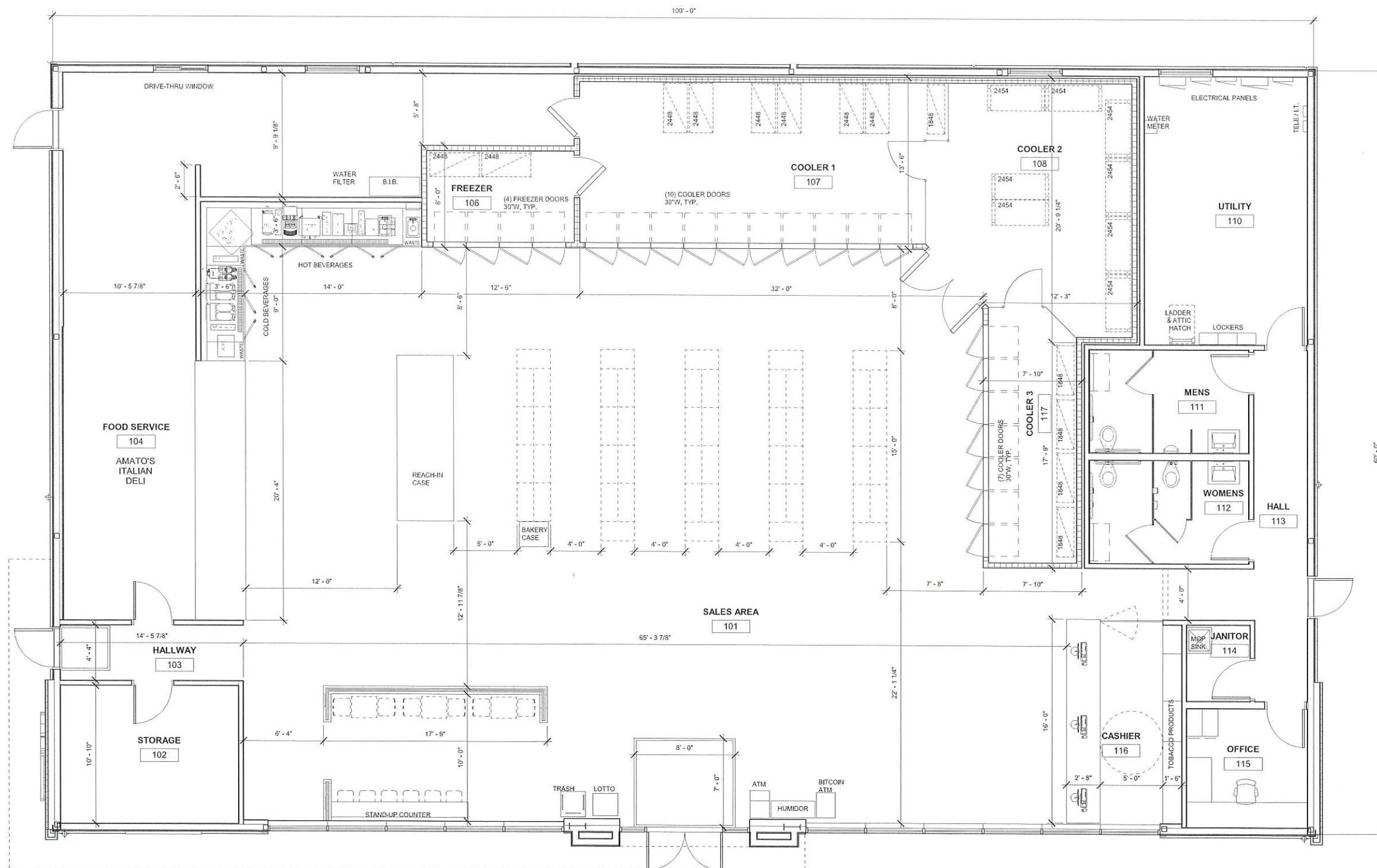
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DRAWING NAME

DRAWING NO.

A-101



CONVENIENCE & FILLING STATION

174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

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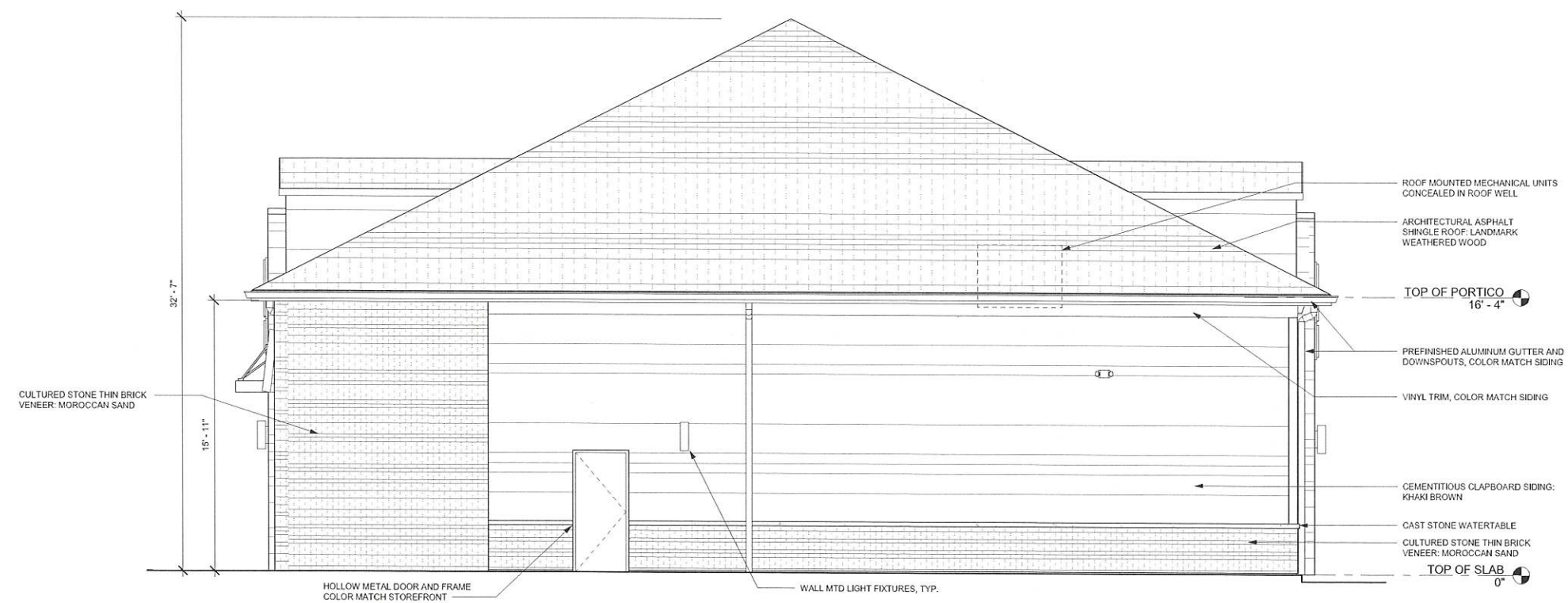
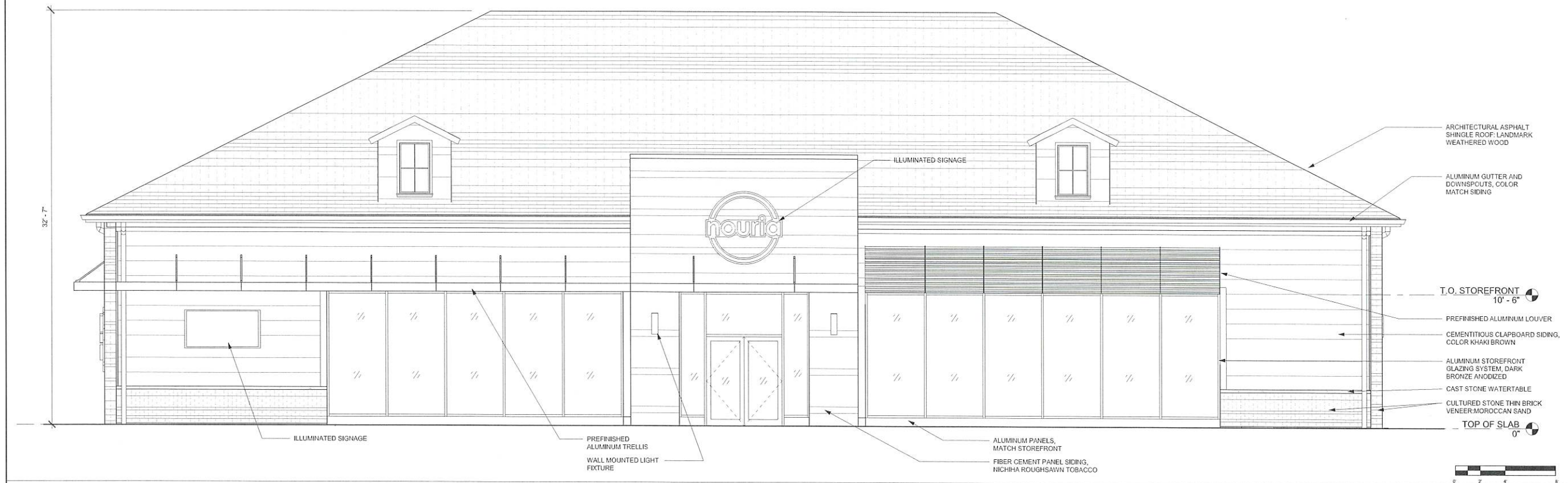
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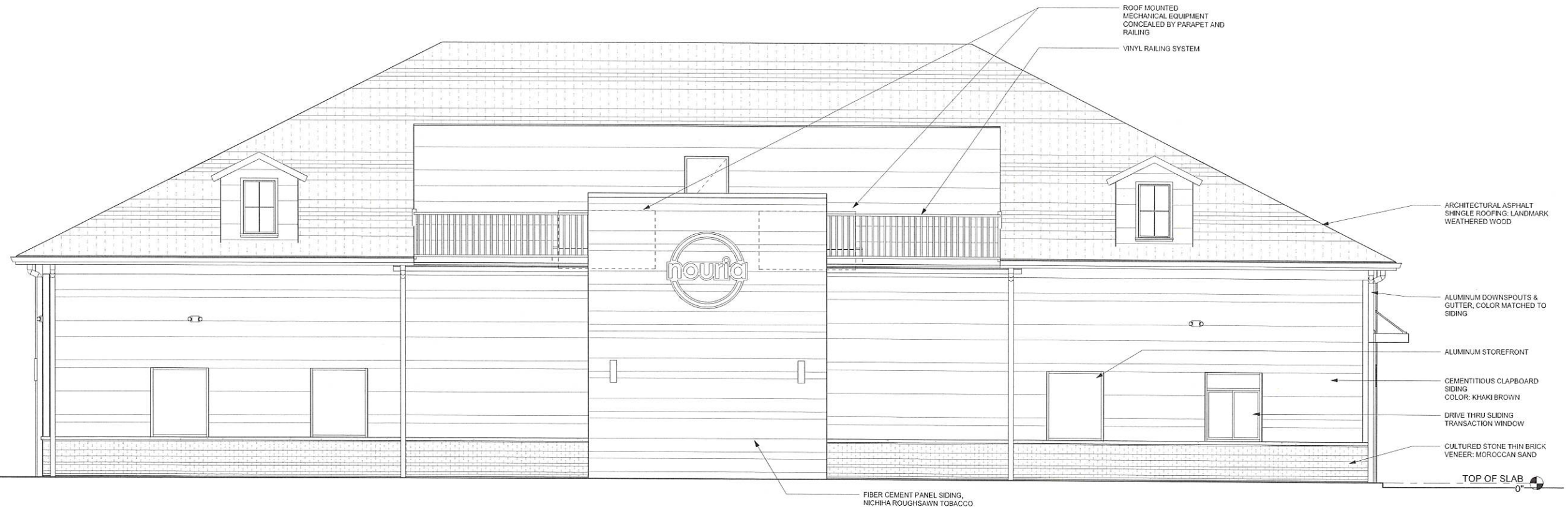
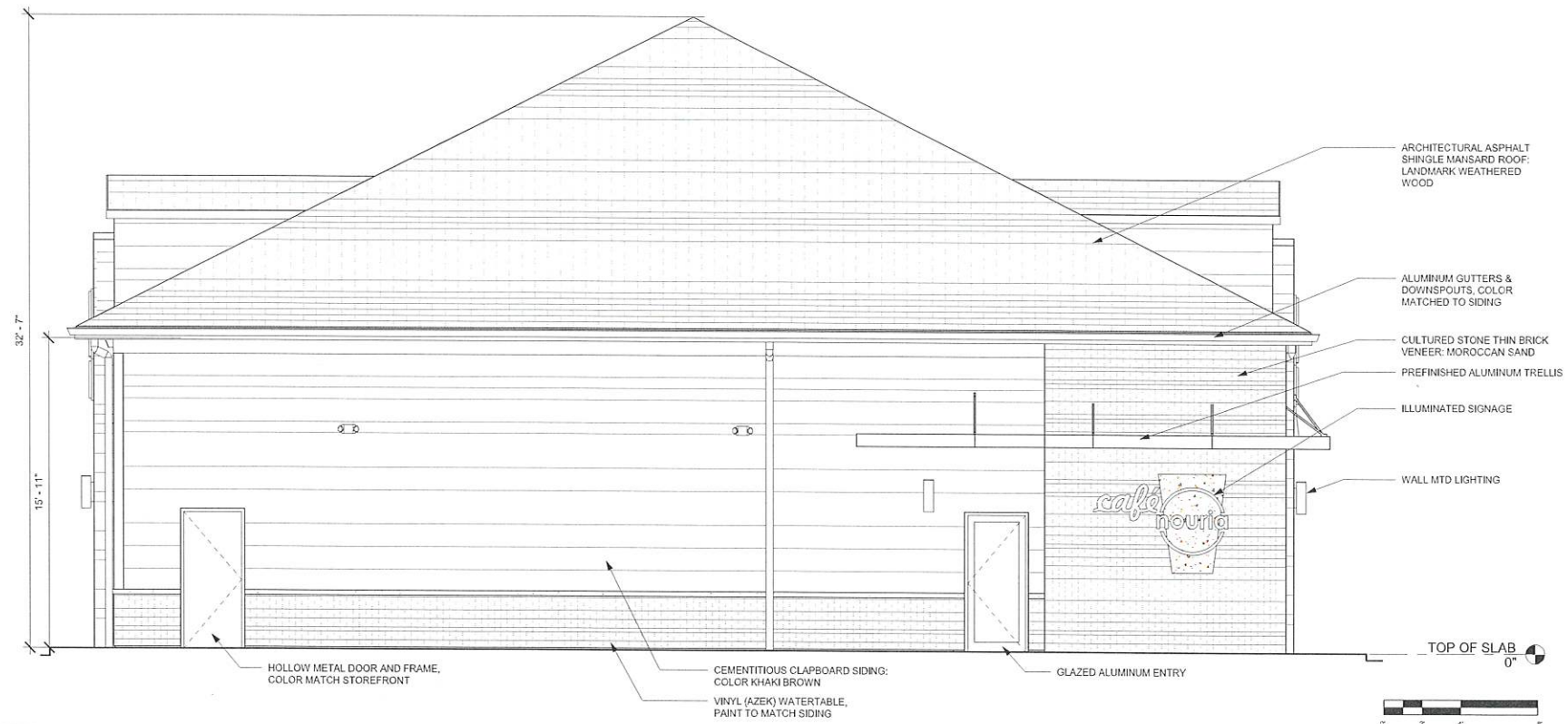
EXTERIOR ELEVATIONS

DRAWING NO.

A-201



Plot Date: 5/25/2022 11:27:54 AM Dwg Filename: C:\Users\j_selle\Documents\R22_Nouria Londonderry_Roof Option 2022-05-24_j_selle\J485.rvt



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NOURIA ENERGY CORPORATION
328 CLARK STREET
WORCESTER, MA 01606

CONSULTANT

CONVENIENCE & FILLING STATION
174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

REVISIONS		
NO.	DATE	DESCRIPTION

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DRAWING NAME

EXTERIOR ELEVATIONS

DRAWING NO.

A-202

ALLOWABLE SIGNAGE

CII ZONE, ROUTE 28 PERFORMANCE OVERLAY DISTRICT

WALL SIGNS

TWO (2) TENANTS	WALL LENGTH	ALLOWABLE SIGN AREA	PROPOSED
C-STORE EAST WALL	100 FT	(1SF/3 FT) 33 SF	30 SF - SIGN TYPE B
C-STORE SOUTH WALL	60 FT	(1SF/3FT) 20 SF	23 SF - SIGN TYPE C
C-STORE WEST WALL	100 FT	VARIANCE	30 SF - SIGN TYPE B
C-STORE TOTAL		53 SF	83 SF
CO-BRAND EAST WALL	100 FT	(1SF/3 FT) 33 SF	18 SF - SIGN TYPE D
CO-BRAND SOUTH WALL	60 FT	(1SF/3FT) 20 SF	0
CO-BRAND TOTAL		53 SF	18 SF
EAST WALL TOTAL		66 SF	48 SF
SOUTH WALL TOTAL		40 SF	23 SF
WEST WALL TOTAL		VARIANCE	30 SF
TOTAL WALL SIGNS		106 SF	101 SF

CANOPY SIGNS

	FRONTAGE		PROPOSED
FUELING CANOPY EAST	111 FT	VARIANCE	9 SF - SIGN TYPE E
FUELING CANOPY SOUTH	48 FT	VARIANCE	9 SF - SIGN TYPE E
DIESEL CANOPY SOUTH	76 FT	VARIANCE	9 SF - SIGN TYPE E 11 SF - SIGN TYPE F

TOTAL BY FRONTAGE

EAST FRONTAGE TOTAL	100 SF MAX	57 SF
SOUTH FRONTAGE TOTAL	100 SF MAX	52 SF

FREESTANDING SIGN - SIGN TYPE A

	ALLOWABLE	PROPOSED
HEIGHT (MAX. FT.)	10 FT	20 FT
AREA (MAX. SF.) (2 TENANTS)	30 SF	70 SF
SETBACK	15 FT MIN.	15 FT

SECTION 4.6.6.7 (F)(5) THERE SHALL BE NO MORE THAN 1 FREESTANDING SIGN (DOUBLE SIDED) PERMITTED FOR ANY LOT WITHIN THE PERFORMANCE OVERLAY DISTRICT. FREESTANDING SIGNS WITHIN THE P.O.D. SHALL NOT EXCEED 10 FEET IN HEIGHT FROM GRADE TO THE TOP OF THE SIGN. THE MAXIMUM SIGN AREA FOR FREESTANDING SIGNS SHALL BE DETERMINED BY THE FOLLOWING: FOR 1 OR 2 TENANT STRUCTURES; 30 SQUARE FEET.

SECTION 4.6.7.7 (F)(1) BUILDING MOUNTED SIGNS - WALL SIGNS MAY BE AS LARGE AS 1 SQ. FT. PER 3 LINEAR FT. OF BUILDING FRONTAGE OR A MAXIMUM OF 50 SQUARE FEET, WHICHEVER IS LESS. ONE WALL SIGN IS PERMITTED PER TENANT IN A MULTI-TENANT STRUCTURE, HOWEVER THE TOTAL SIGN SQUARE FOOTAGE ON ANY WALL OR FACADE SHALL NOT EXCEED 100 SQUARE FEET.

SECTION 7.6(D)(3)(b) ONE (1) WALL OF FACIA SIGN INDICATING ONLY THE NAME AND NATURE OF THE OCCUPANCY, FOR EACH OCCUPANCY WITHIN THE DEVELOPED PARCEL.

SECTION 7.6(D)(3)(b)(ii) WHEN A BUILDING FACES TWO (2) RIGHTS-OF-WAY, THE PERMITTED AREA OF THE WALL SIGN MAY BE DIVIDED BETWEEN THE TWO (2) BUILDING FACES.

CANOPY SIGN VARIANCE REQUEST:
*CANOPY SIGNS ARE PROPOSED IN ADDITION TO ALLOWABLE WALL SIGNS.

A VARIANCE IS REQUESTED FROM THE LIMIT OF ONE (1) WALL SIGN PER OCCUPANCY TO ALLOW SIGNAGE ON CANOPY STRUCTURES IN ADDITION TO THE C-STORE BUILDING.

THE TOTAL PROPOSED AREA OF SIGNAGE FOR THE TWO FRONTAGES IS BELOW THE MAXIMUM ALLOWABLE 100 SQUARE FEET PER FACADE.

WALL SIGN VARIANCE REQUEST:
A VARIANCE IS REQUESTED TO ALLOW A SIGN ON THE WEST FACE OF THE BUILDING. WALL SIGN TOTAL AREA PROPOSED DOES NOT EXCEED ALLOWABLE WALL SIGN AREA OF 106 SF.

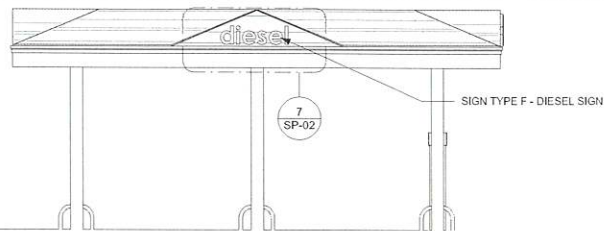
FREESTANDING SIGN SIZE AND HEIGHT VARIANCE REQUEST:
A VARIANCE IS REQUESTED FROM THE LIMITATIONS ON SIZE AND HEIGHT TO ALLOW A SIGN NOT TO EXCEED 20' IN HEIGHT AND 92 SF IN AREA.

FREESTANDING CHANGEABLE FUEL PRICE SIGN VARIANCE:
A VARIANCE IS REQUESTED FROM 7.7 (E)(3) PROHIBITING CHANGEABLE ELECTRONIC MESSAGE BOARD SIGNS TO ALLOW ELECTRONICALLY CHANGEABLE FUEL PRICE SIGNAGE ON THE FREESTANDING SIGN.

ALLOWABLE SIGNAGE MATRIX

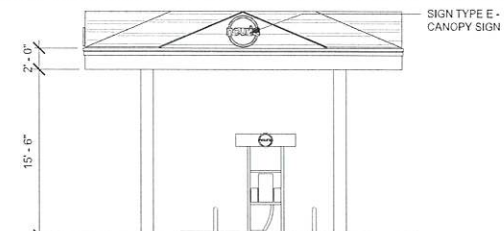
1/2" = 1'-0"

2



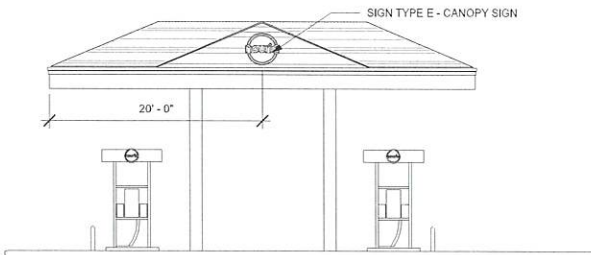
DIESEL CANOPY WEST ELEVATION
1/8" = 1'-0"

9



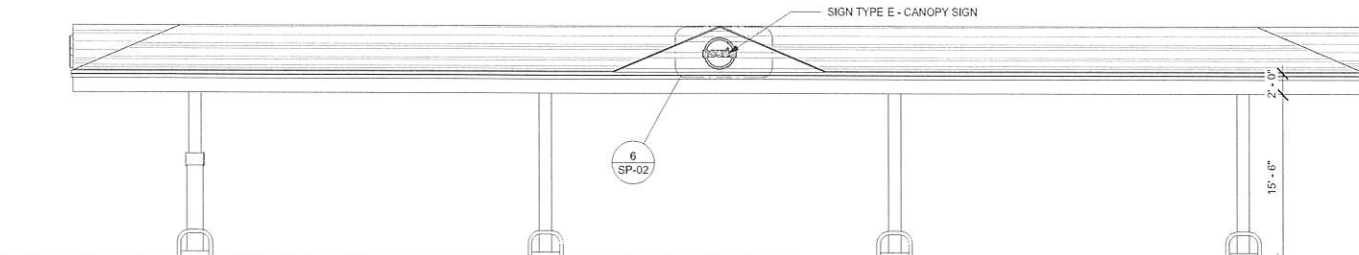
DIESEL CANOPY SOUTH ELEVATION
1/8" = 1'-0"

8



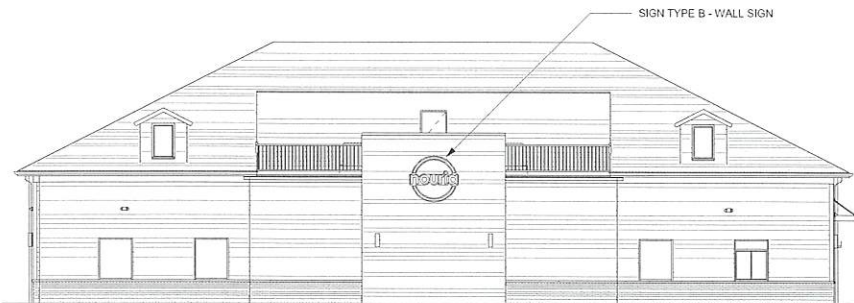
FUELING CANOPY SOUTH SIGNAGE
1/8" = 1'-0"

7



FUELING CANOPY EAST ELEVATION
1/8" = 1'-0"

6



C-STORE WEST ELEVATION
3/32" = 1'-0"

5



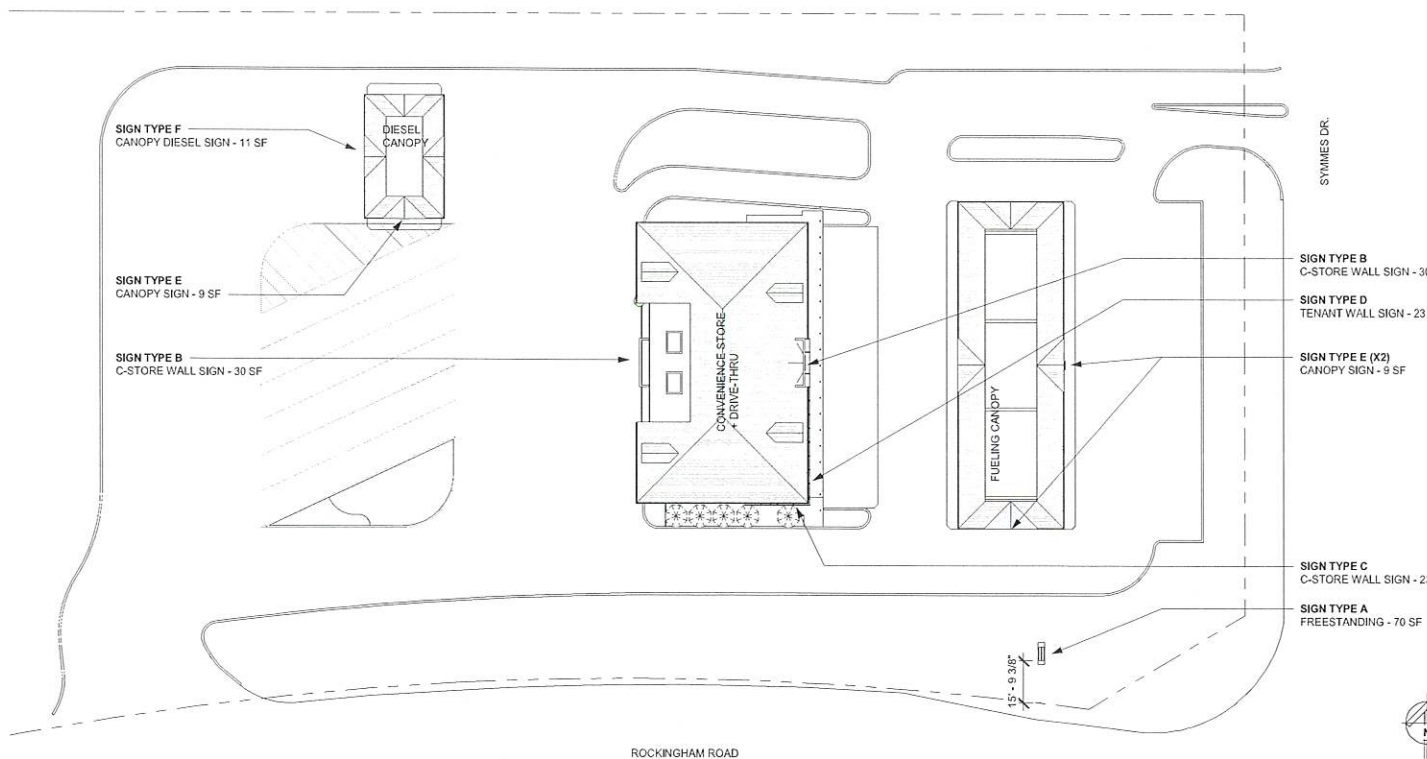
C-STORE SOUTH ELEVATION
3/32" = 1'-0"

4



C-STORE EAST ELEVATION
3/32" = 1'-0"

3



SITE SIGNAGE PLAN
1/32" = 1'-0"

1

CONVENIENCE & FILLING STATION

174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

REVISIONS		
NO.	DATE	DESCRIPTION

SEAL:

ISSUED FOR: PROGRESS

ISSUED DATE: 05/25/2022

DRAWN BY: BN

CHECKED BY: JS

PROJECT NUMBER: 2121076

DRAWING NAME

SIGNAGE DETAILS

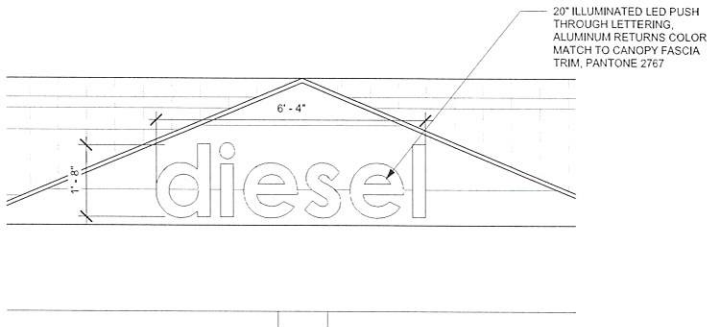
DRAWING NO.

SP-01

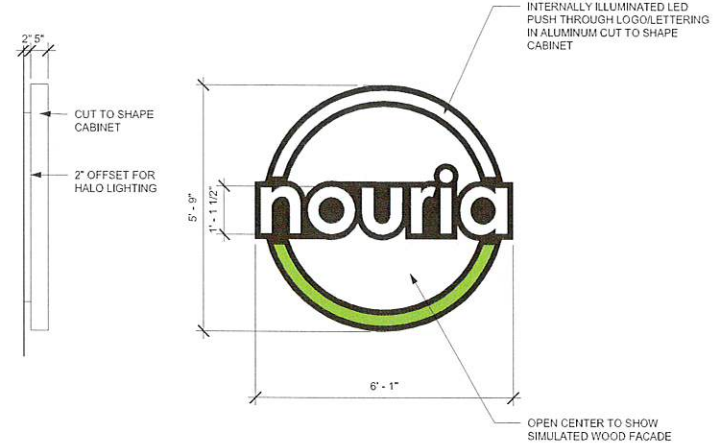
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HINGHAM, MASSACHUSETTS 02043
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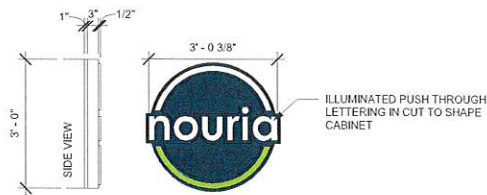
CONSULTANT



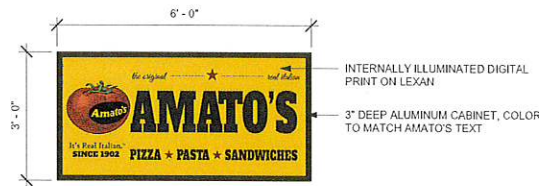
SIGN TYPE F - DIESEL CANOPY SIGN
AREA = 11 SF
1/2" = 1'-0" **7**



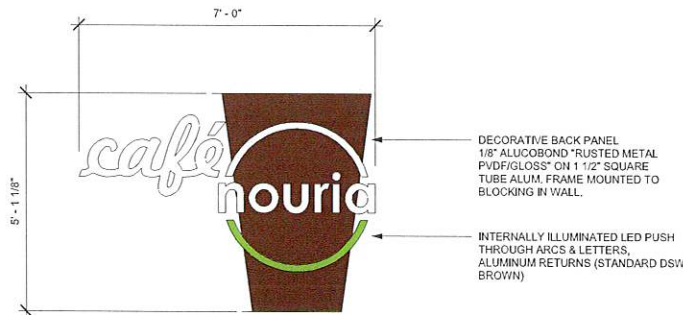
SIGN TYPE B - WALL SIGN
AREA = 30 SF
1/2" = 1'-0" **3**



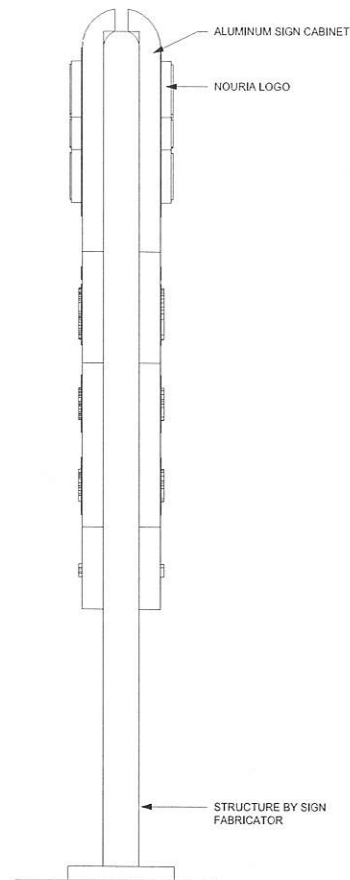
SIGN TYPE E - CANOPY LOGO
AREA = 9 SF
1/2" = 1'-0" **6**



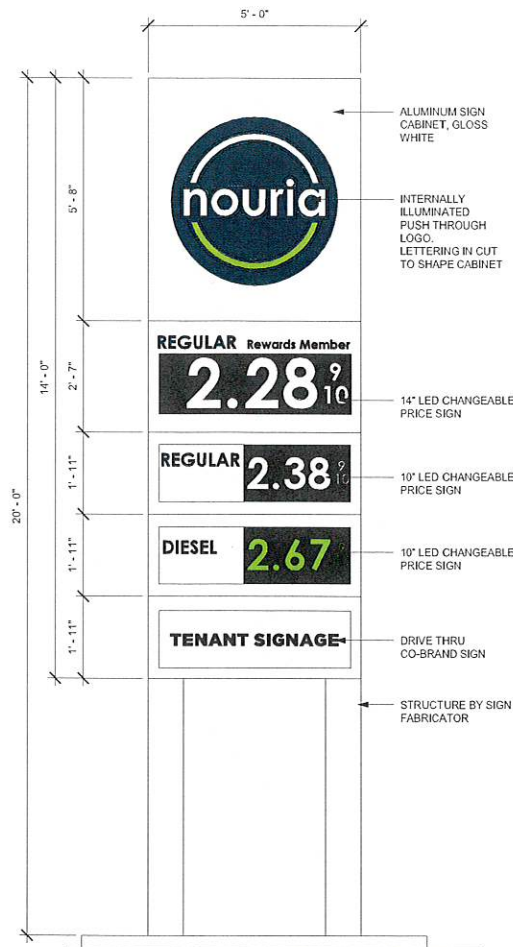
SIGN TYPE D - CO-BRAND WALL SIGN
AREA = 18 SF
1/2" = 1'-0" **5**



SIGN TYPE C - WALL SIGN
AREA = 23 SF
1/2" = 1'-0" **4**



FREESTANDING SIDE VIEW
1/2" = 1'-0" **2**



SIGN TYPE A - FREESTANDING SIGN
AREA = 70 SF
1/2" = 1'-0" **1**

REVISIONS	
NO.	DESCRIPTION

ISSUED FOR: PROGRESS
ISSUED DATE: 05/25/2022

DRAWN BY: JS
CHECKED BY: JK
PROJECT NUMBER: 2121076

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DRAWING NAME

SIGNAGE DETAILS

DRAWING NO.
SP-02

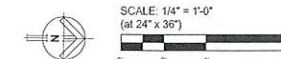
174 & 178 ROCKINGHAM ROAD
LONDONDERRY, NEW HAMPSHIRE

SEAL.

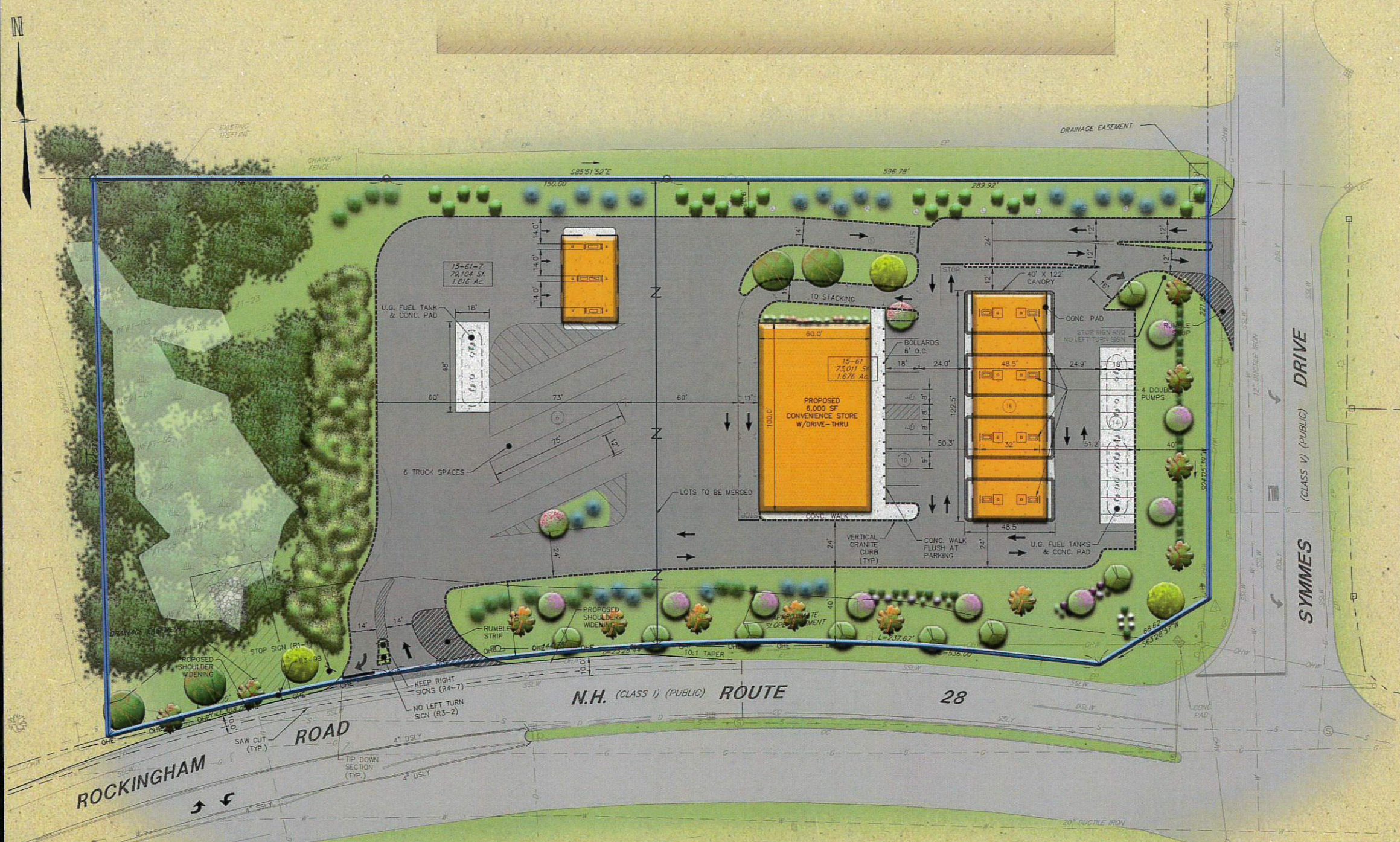
PROJECT NUMBER: 2121076

C-STORE GROUND FLOOR PLAN

A-101



III C 5/26/22



NOTES

- OWNER OF RECORD OF MAP 15 LOTS 61
2V LONDONDERRY, LLC, BOX 172, NEW CASTLE, NH 03854
PARCEL ADDRESS: 174 ROCKINGHAM ROAD, LONDONDERRY,
DEED REFERENCE TO PARCEL IS BK 5911 PG. 2706 RCRD
AREA = 73,011 SF +/- or 1.676 ACRES +/-
 - OWNER OF RECORD OF MAP 15 LOT 61-7
2V LONDONDERRY WEST, LLC, BOX 172, NEW CASTLE, NH 03854
PARCEL ADDRESS: 178 ROCKINGHAM ROAD, LONDONDERRY,
DEED REFERENCE TO PARCEL IS BK 5911 PG. 2706 RCRD
AREA = 78,104 SF +/- or 1.816 ACRES +/-
 - THE PURPOSE OF THIS PLAN IS TO SHOW A CONCEPTUAL LAYOUT FOR A GAS STATION/CONVENIENCE STORE ON THE SITE.
 - CURRENT ZONING IS COMMERCIAL II (C-II) & ROUTE 28 PERFORMANCE OVERLAY ZONING DISTRICT.
- | | REQUIRED | PROPOSED |
|--|----------|-----------|
| LOT SIZE AFTER ADJUSTMENT (SHARED ACCESS): | 1.0 ACRE | 1.676 AC. |
| LOT FRONTAGE: | 100' | 237'± |
| BUILDING SETBACKS: | | |
| FRONT | 60' | 65.7' |
| SIDE | 30' | 48.6' |
| REAR | 30' | N/A |
| BUILDING HEIGHT: | 45' | <45' |
| MAX. IMPERVIOUS COVERAGE: | 66% | 65.2% |
| MAX. BUILDING COVERAGE: | 25% | 6.4% |
| MIN. GREEN AREA: | 33% | 34.8% |
| MIN. FRONT GREEN AREA: | 30' | 30' |
| MIN. SIDE & REAR GREEN AREA: | 15' | 15'+ |
| MIN. LANDSCAPED FRONT BUFFER: | 40' | 40' |
| MIN. LANDSCAPED SIDE BUFFER: | 20' | 20' |
| MIN. LANDSCAPED REAR BUFFER: | 20' | 20' |
- THIS PLAN IS BASED ON AN EXISTING CONDITIONS SURVEY BY THIS OFFICE. SEE PLAN TITLED "TAX MAP 15 LOT 61, 61-7, 61-8: EXISTING CONDITIONS PLAN; 174, 178 & 180 ROCKINGHAM ROAD (NH ROUTE 28); LONDONDERRY, NEW HAMPSHIRE, OWNED BY: THE READMAN TRUST; PREPARED FOR: 2V LONDONDERRY, LLC." DRAWN AT A SCALE OF 1"=40' AND DATED JUNE 18, 2018.
 - A CONDITIONAL USE PERMIT WAS APPROVED BY THE PLANNING BOARD ON JULY 10, 2019 TO ALLOW THE USE OF A MOTOR VEHICLE STATION, LIMITED SERVICE (GAS STATION), A RETAIL SALES ESTABLISHMENT (CONVENIENCE STORE) AND A FINANCIAL INSTITUTION WITH A DRIVE THRU AS AN ACCESSORY USE AT 174 & 178 ROCKINGHAM ROAD.
 - PARKING CALCULATIONS:
REQUIRED:
GAS STATION/CONVENIENCE: (1 SP/125 SF) (6,000 SF) = 48 SPACES & 10 STACKING SPACES
TOTAL PROVIDED: 24 STANDARD SPACES, 16 FUELING SPACES, 2 DIESEL FUELING SPACES, 6 TRUCK SPACES & 10 STACKING
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
DRAINAGE: PRIVATE
SEWER: MUNICIPAL
WATER: MANCHESTER WATER WORKS
GAS: LIBERTY UTILITIES
ELECTRIC: EVERSOURCE
TELEPHONE: CONSOLIDATED COMMUNICATIONS
CABLE: COMCAST

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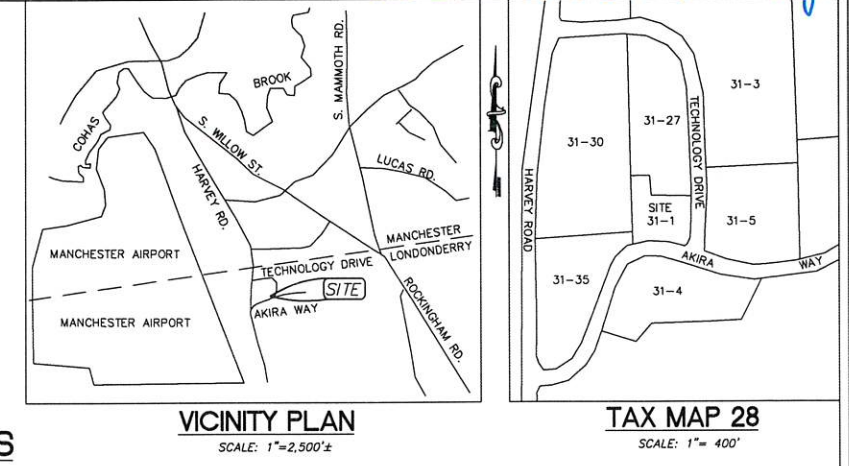
HORIZONTAL SCALE 1"=30'
30 15 0 30

REV.	DATE	DESCRIPTION	MK	JK	DR	CK
1.	4/14/22	REVISE PLANTINGS PER TOWN COMMENT				

TAX MAP 15 LOT 61 & 61-7
CONDITIONAL USE PLAN
NOURIA GAS STATION/CONVENIENCE STORE
174 & 178 ROCKINGHAM ROAD (NH RTE. 28)
LONDONDERRY, NEW HAMPSHIRE
OWNED BY
2V LONDONDERRY, LLC & 2V LONDONDERRY WEST, LLC
PREPARED FOR
NEW SUNSET REALTY
SCALE: 1"=30' MARCH 15, 2022



Civil Engineers
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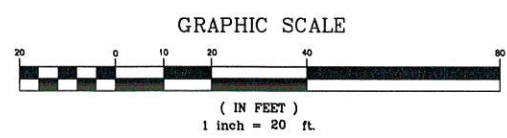
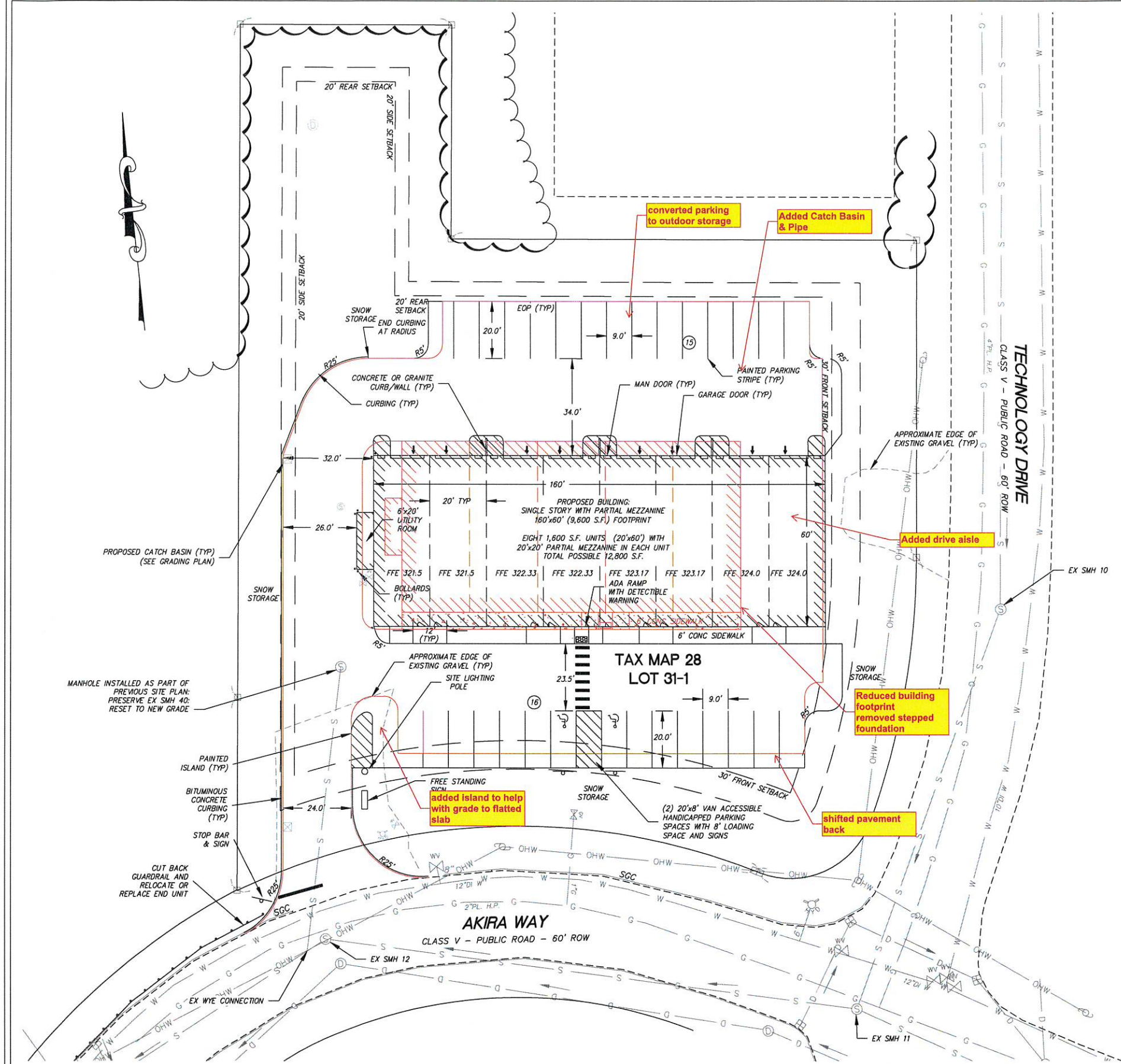


GENERAL NOTES

- THE PURPOSE OF THIS PLAN SET IS TO SHOW THE SITE DEVELOPMENT FOR A 12,800 SQUARE FOOT (9,600 SQUARE FOOT SINGLE STORY AND 3,200 SQUARE FOOT PARTIAL MEZZANINES), MULTI-USE INDUSTRIAL BUILDING, AS FLEXIBLE SPACE TO ACCOMMODATE WAREHOUSING, RESEARCH, LIGHT MANUFACTURING, ASSEMBLY, NON-AUTOMOTIVE REPAIR, AND OFFICE USES. THE PURPOSE OF THIS PLAN
 - THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE PROPOSED COMMERCIAL SITE IMPROVEMENTS FOR THE ABOVE REFERENCED PROJECT.
 - OWNER OF RECORD OF THE ABOVE REFERENCED LOT IS FAIRWIND PROPERTIES, 317 SOUTH RIVER ROAD, BEDFORD, NEW HAMPSHIRE 03110, DEED REFERENCE TO PARCEL IS BK. 4422, PG. 2871, IN THE R.C.R.D.
 - THE SUBJECT PROPERTY, AND ALL ADJUTING PROPERTIES, ARE LOCATED WITHIN THE INDUSTRIAL II (IND-II).
 - PRESENT ZONING: INDUSTRIAL-II
- | | REQUIRED | PROPOSED |
|------------------------------|-------------|------------------|
| MIN. LOT SIZE | 43,560 S.F. | 56,221 S.F.± |
| MIN. LOT WIDTH | 150 FT | 225 FT |
| MIN. FRONT SETBACK | 30 FT | 69.9 FT |
| MIN. SIDE SETBACK | 20 FT | 31.0 FT |
| MIN. REAR | 20 FT | 75.7 FT |
| MAX BUILDING HEIGHT | 30 FT | <50 FT |
| GREEN SETBACK - FRONT | 20 FT | 21.4 FT |
| GREEN SETBACK - SIDE | 15 FT | 31.0 FT |
| INTERNAL TREES (1 PER 15 SP) | 2 | WAIVER REQUESTED |
| % GREEN AREA | N/A | 44.1% |
| % BUILDING COVERAGE | N/A | 17.1% |
- THIS PROPERTY IS SERVICED BY MUNICIPAL WATER (MANCHESTER WATER WORKS) AND SEWER (TOWN OF LONDONDERRY)
 - THERE ARE NO VARIANCES OR SPECIAL EXCEPTIONS REQUIRED FOR THIS APPLICATION.
 - THIS PROPERTY IS NOT SUBJECT TO FLOODING AS EXHIBITED ON FIRM COMMUNITY PANEL #330134 0009B.
 - THE PROPERTY LINE FOR THIS PARCEL WAS CREATED USING REFERENCE PLAN #1 ONLY.
 - ALL PLAN SHEETS WILL BE ON FILE AT THE TOWN OF LONDONDERRY.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH THE TOWN OF LONDONDERRY TYPICAL DETAILS FOR SITE AND ROADWAY INFRASTRUCTURE.
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA § 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - SCS SOIL TYPE IS 799-URBAN LAND-CANTON COMPLEX-3 TO 15 PERCENT SLOPES.
 - THERE ARE NOT WETLANDS ON THE SITE AS SHOWN ON THE PLAN ENTITLED "TAX MAP 28 LOT 31-1, SUBDIVISION PLAN OF LAND OF LONDONDERRY TECHNOLOGY, LLC, HARVEY ROAD AND AKIRA WAY, LONDONDERRY, NH", DATED 7-18-04 AND REVISED THROUGH 1-9-04, RECORDED AT THE R.C.R.D. PLAN#31435.
 - TRASH SHALL BE COLLECTED IN BINS WITHIN EACH UNIT AND COLLECTED BY A PRIVATE WASTE COLLECTION COMPANY.
 - FREESTANDING SIGN TO BE LOCATED AT LEAST 10' FROM THE ROW AND TO MEET THE TOWN OF LONDONDERRY ZONING ORDINANCE. SEE DETAIL SHEET.
 - IN THE EVENT THAT SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATIONS.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS, IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY CLD CONSULTING ENGINEERS, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY THEIR WORK AT ALL TIMES.
 - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.

PARKING NOTES:

- PARKING REQUIREMENTS: THE SUM OF THE PARKING REQUIREMENTS FOR EACH USE SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AS FOLLOWS:
 - WAREHOUSING 1/SPACE PER 1,200 S.F.
 - RESEARCH 1/SPACE PER 600 S.F.
 - LIGHT MANUFACTURING 1/SPACE PER 600 S.F.
 - ASSEMBLY 1/SPACE PER 500 S.F.
 - NON-AUTOMOTIVE REPAIR SERVICES 1/SPACE PER 400 S.F.
 - OFFICE 1/SPACE PER 200 S.F.
- PARKING SPACES PROVIDED = 31 SPACES
- ACTUAL AVERAGE PARKING RATIO = 1 SPACE PER 413 S.F.
- ACTUAL AVERAGE PARKING RATIO WITHOUT OFFICE USE = 1 SPACE PER 675 S.F.
- THE TOTAL AREA OF OFFICE SPACE SHALL BE LIMITED BY THE NUMBER OF PARKING SPACES PROVIDED. THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT SHALL SIGN OFF ON ANY CHANGE IN THE MIX OF USES NOTED ABOVE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



BENCHMARK DATA:		NAVD88	
2	9/4/14	REVISIONS PER TOWN NOTICE OF DECISION	
1	7/9/14	REVISIONS PER TOWN/ENGINEERING REVIEW	
NO.	DATE	REVISION	
DRAWN:	DESIGNED:	CHECKED:	APPROVED:
ACD	ACD	BAP	KRR

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD
ON DATE: _____

CERTIFIED BY:
CHAIRMAN _____

SECRETARY: _____

CLD CONSULTING ENGINEERS, Inc.
540 Commercial Street • Manchester, NH 03101
(603) 668-8223 • Fax: (603) 668-8802
clde@cldeengineers.com • www.cldeengineers.com
Maine • New Hampshire • Vermont

TAX MAP 28 LOT 31-1
3 AKIRA WAY
LONDONDERRY, NH

SITE PLAN

DEED HOLDER TAX MAP 28 LOT 31-1:

APPLICANT:
FAIRWIND PROPERTIES
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

SCALE:
1"=20'

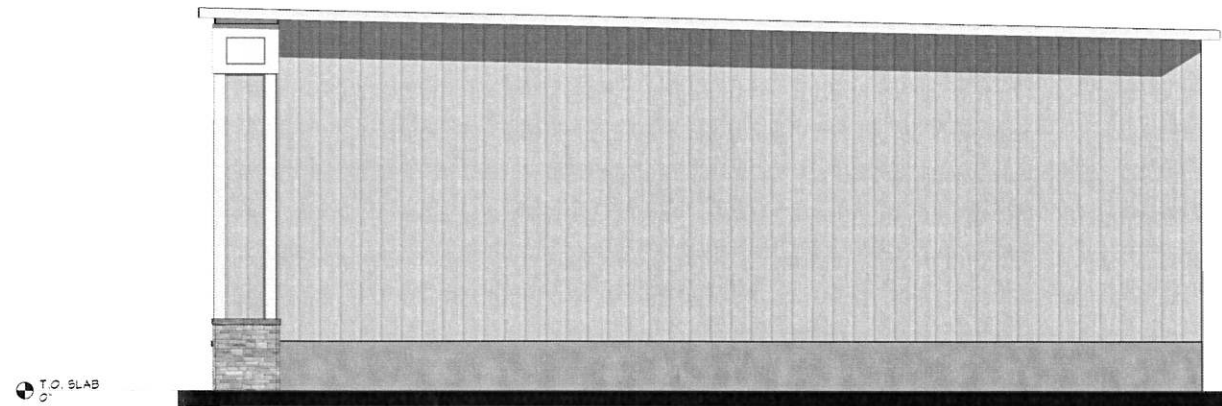
DATE:
APRIL 2014

JOB NO.
13-0322

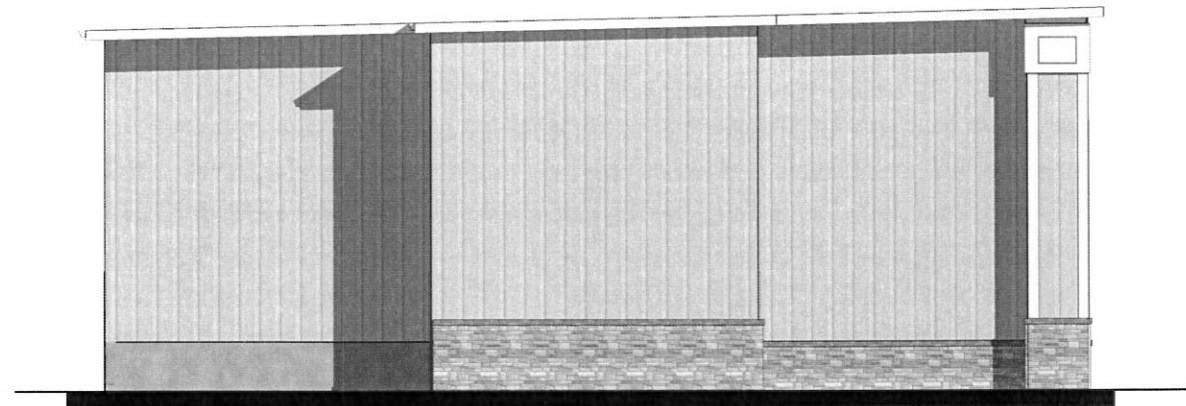
DWG.
C1



**SOUTH COLORED
ELEVATION**
3
3/16" = 1'-0"



**EAST COLORED
ELEVATION**
1
3/16" = 1'-0"



**WEST COLORED
ELEVATION**
4
3/16" = 1'-0"



**NORTH COLORED
ELEVATION**
2
3/16" = 1'-0"

COLORED ELEVATIONS

SCALE - 3/16" = 1'-0"

MULTI-TENANT BUILDING

AKIRA KAY
LONDONDERRY, NH
MAY 18, 2022

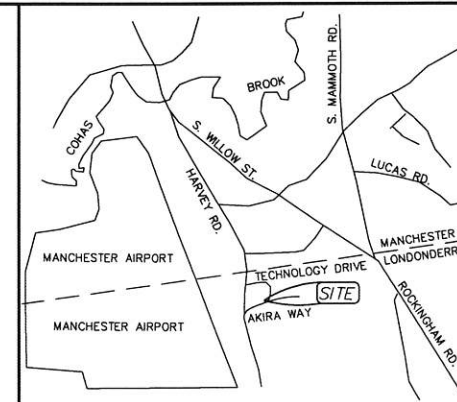
ARCHITECTURE
LAND PLANNING
INTERIOR DESIGN
3D VISUALIZATION

833 TURNPIKE ROAD
P.O. BOX 104
NEW IPSWICH
NEW HAMPSHIRE 03071





Multi-Tenant Building, Akira Way
3D Visualization
May 18, 2022



VICINITY PLAN

SCALE: 1"=2,500'

TAX MAP 28

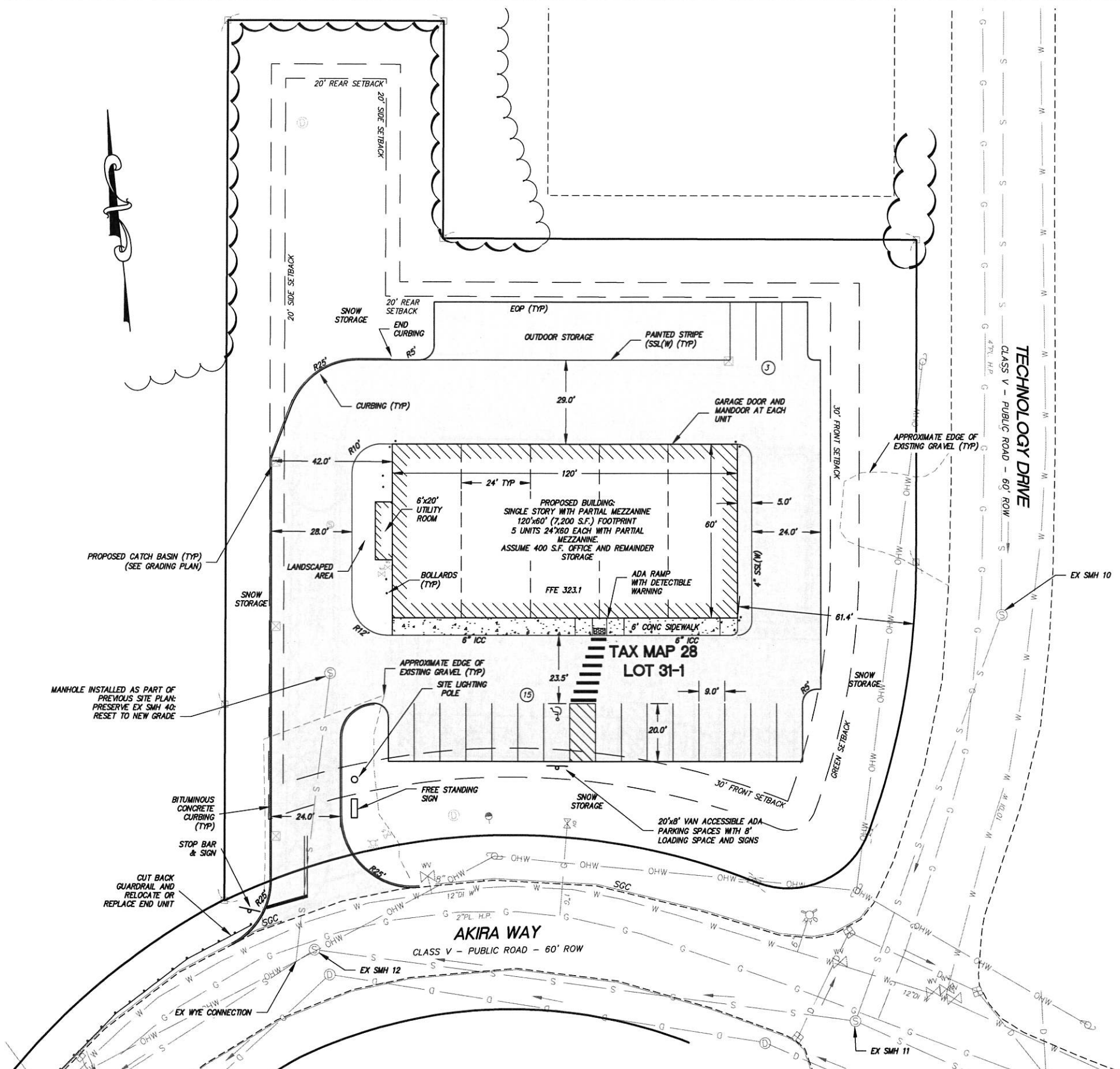
SCALE: 1"= 400'

GENERAL NOTES

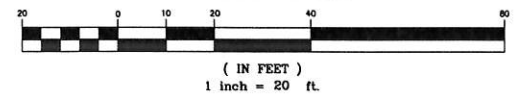
- THE PURPOSE OF THIS PLAN SET IS TO SHOW THE SITE DEVELOPMENT FOR A 7,200 SQUARE FOOT FOOTPRINT WITH OPTIONAL PARTIAL MEZZANINES. MULTI-USE INDUSTRIAL BUILDING, AS FLEXIBLE SPACE TO ACCOMMODATE TRADES BUSINESSES SUCH AS PLUMBERS, ELECTRICIANS, ETC.
 - THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE PROPOSED COMMERCIAL SITE IMPROVEMENTS FOR THE ABOVE REFERENCED PROJECT.
 - OWNER OF RECORD OF THE ABOVE REFERENCED LOT IS FAIRMIND PROPERTIES, 317 SOUTH RIVER ROAD, BEDFORD, NEW HAMPSHIRE 03110, DEED REFERENCE TO PARCEL IS BK. 4422, PG. 2871, IN THE R.C.R.D.
 - THE SUBJECT PROPERTY, AND ALL ADJUTING PROPERTIES, ARE LOCATED WITHIN THE INDUSTRIAL II (IND-II).
 - PRESENT ZONING: INDUSTRIAL-II
- | | REQUIRED | PROPOSED |
|------------------------------|-------------|------------------|
| MIN. LOT SIZE | 43,550 S.F. | 56,221 S.F.± |
| MIN. LOT WIDTH | 150 FT | 225±FT |
| MIN. FRONT SETBACK | 30 FT | 69.9 FT |
| MIN. SIDE SETBACK | 20 FT | 31.0 FT |
| MIN. REAR SETBACK | 20 FT | 75.7 FT |
| MAX BUILDING HEIGHT | 50 FT | <50 FT |
| GREEN SETBACK - FRONT | 20 FT | 21.4 FT |
| GREEN SETBACK - SIDE | 15 FT | 31.0 FT |
| INTERNAL TREES (1 PER 15 SP) | 2 | WAIVER REQUESTED |
| % GREEN AREA | N/A | 42.4% |
| % BUILDING COVERAGE | N/A | 13.4% |
- THIS PROPERTY IS SERVED BY MUNICIPAL WATER (MANCHESTER WATER WORKS) AND SEWER (TOWN OF LONDONDERRY).
 - THERE ARE NO VARIANCES OR SPECIAL EXCEPTIONS REQUIRED FOR THIS APPLICATION.
 - THIS PROPERTY IS NOT SUBJECT TO FLOODING AS EXHIBITED ON FIRM COMMUNITY PANEL #330134 00089.
 - THE PROPERTY LINE FOR THIS PARCEL WAS CREATED USING REFERENCE PLAN #1 ONLY.
 - ALL PLAN SHEETS WILL BE ON FILE AT THE TOWN OF LONDONDERRY.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH THE TOWN OF LONDONDERRY "TYPICAL DETAILS FOR SITE AND ROADWAY INFRASTRUCTURE".
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA § 678:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - SCS SOIL TYPE IS 799-URBAN LAND-CANTON COMPLEX-3 TO 15 PERCENT SLOPES.
 - THERE ARE NOT METLANDS ON THE SITE AS SHOWN ON THE PLAN ENTITLED "TAX MAP 28 LOT 31-1: SUBDIVISION PLAN OF LAND OF LONDONDERRY TECHNOLOGY, LLC; HARVEY ROAD AND AKIRA WAY, LONDONDERRY, NH", DATED 7-18-04, AND REVISED THROUGH 1-9-04, RECORDED AT THE R.C.R.D. PLAN#31435.
 - TRASH SHALL BE COLLECTED IN BINS WITHIN EACH UNIT AND COLLECTED BY A PRIVATE WASTE COLLECTION COMPANY.
 - FREESTANDING SIGN TO BE LOCATED AT LEAST 10' FROM THE ROW AND TO MEET THE TOWN OF LONDONDERRY ZONING ORDINANCE. SEE DETAIL SHEET.
 - IN THE EVENT THAT SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH WIDES REGULATIONS.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS, IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY FUSS & O'NEILL, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY THEIR WORK AT ALL TIMES.
 - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.

PARKING NOTES:

- PARKING REQUIREMENTS: THE SUM OF THE PARKING REQUIREMENTS FOR EACH USE SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AS FOLLOWS:
 - WAREHOUSING - 1/SPACE PER 1,200 S.F. X 5,250 S.F. = 4.375
 - OFFICE - 1/SPACE PER 200 S.F. X 2,000 S.F. = 10 SPACES
 - TOTAL REQUIRED = 14.375 SPACES
- PARKING SPACES PROVIDED = 18 SPACES PLUS INTERIOR GARAGE BAY FOR EACH UNIT.



GRAPHIC SCALE



BENCHMARK DATA:

NAVD88

NO.	DATE	REVISION
3	5/12/22	REDUCED BUILDING SIZE
2	9/4/14	REVISIONS PER TOWN NOTICE OF DECISION
1	7/9/14	REVISIONS PER TOWN/ENGINEERING REVIEW
NO. DATE REVISION		
DRAWN:	DESIGNED:	CHECKED:
ACD	ACD	BAP
APPROVED:		KRR

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD
ON DATE: _____

CERTIFIED BY:
CHAIRMAN _____

SECRETARY: _____

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NEW HAMPSHIRE 03101
603.668.8223
www.fussdo.com

TAX MAP 28 LOT 31-1
3 AKIRA WAY
LONDONDERRY, NH

SITE PLAN

DEED HOLDER TAX MAP 28 LOT 31-1:

FAIRMIND PROPERTIES
317 SOUTH RIVER ROAD
BEDFORD, NH 03110
BOOK 4422 PAGE 2871

APPLICANT:

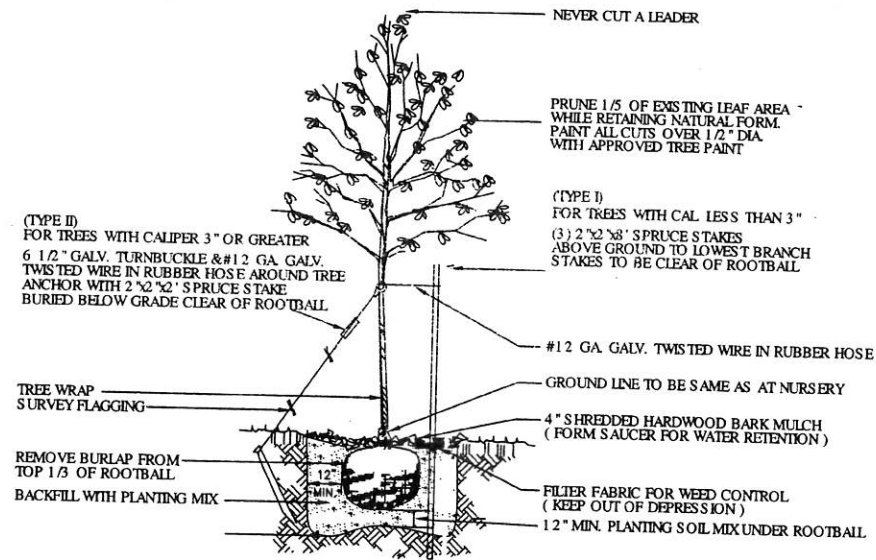
RANGER DEVELOPMENT CORP
PO BOX 899
DRACUT, MA 01826

SCALE:
1"=20'

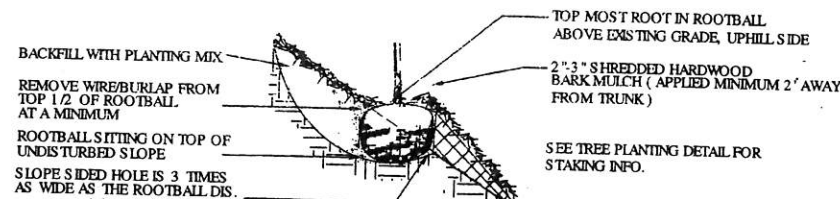
DATE:
APRIL 2014

JOB NO.
20191416.A30

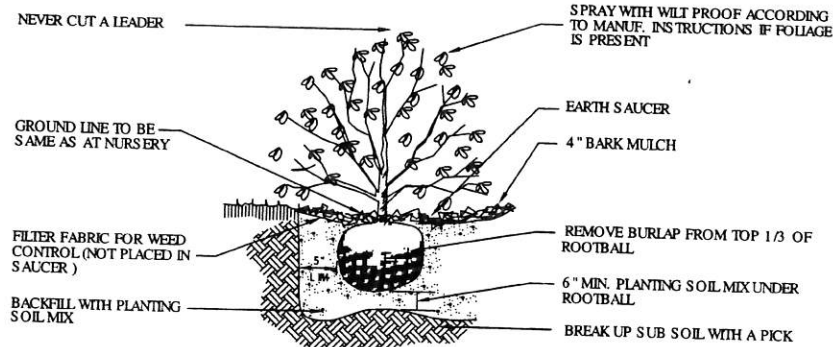
DWG.
C1



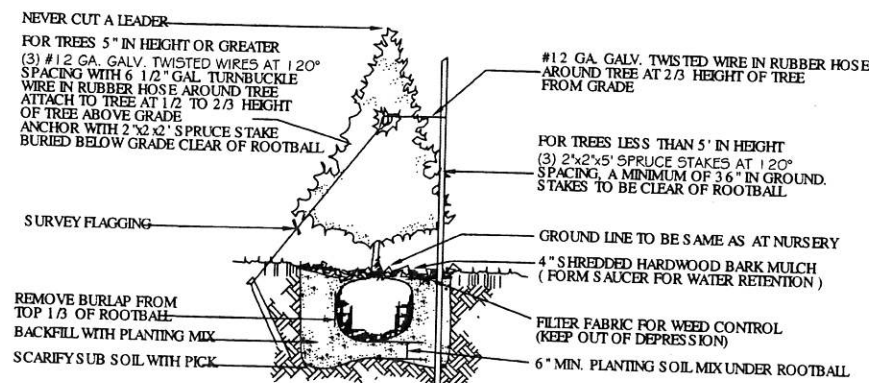
DECIDUOUS TREE PLANTING DETAIL M&R



SLOPE PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN PLANTING DETAIL

LANDSCAPE NOTES:

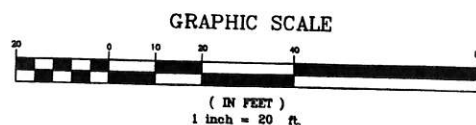
1. BASE INFORMATION SHOWN ON THIS PLAN IS NOT NECESSARILY CORRECT OR COMPLETE AND WAS TAKEN ENTIRELY FROM BASE PLANS PROVIDED BY THE ARCHITECT/ENGINEER. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 3" CALIPER WITH EVERGREENS AT 6' HT.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED WITH A MINIMUM OF 6" SUITABLE LOAM, EXCEPT UNDER THE MULCH BEDS. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. (SEE PLANS BY ENGINEER)
5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
6. ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE NOTED.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
10. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
12. INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
13. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
14. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
15. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
16. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
17. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
18. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
19. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.



CONTACT DIG-SAFE 72 HOURS PRIOR TO CONSTRUCTION
THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CLD CONSULTING ENG. INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-800-DIG-SAFE.

KNOWLES DESIGN
landscape architecture
graphics, renderings &
design solutions
PO Box 3376, Manchester, NH 03108 603-497-4212
www.knowlesdesignnh.com

BASE INFORMATION SHOWN TAKEN ENTIRELY FROM PLAN BY CLD CONSULTING ENGINEERS INC. THIS PLAN IS INTENDED FOR APPROVAL BY THE TOWN OF LONDONDERRY FOR LANDSCAPE PURPOSES ONLY. FOR SITE DESIGN AND CONSTRUCTION SPECIFICATIONS SEE PLAN BY CLD CONSULTING ENGINEERS INC.



NO.	DATE	REVISION
1	7-9-14	REVISIONS PER TOWN AND ENGINEERING REVIEW
DRAWN:	DESIGNED:	CHECKED:
ACD	ACD	BAP
APPROVED:		
KRR		

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD
ON DATE: 12-10-2014

CERTIFIED BY:
CHAIRMAN

SECRETARY



540 Commercial Street-Manchester, NH 03101
(603) 668-8223-Fax: (603) 668-8802
clde@cldeengineers.com • www.cldeengineers.com
Maine-New Hampshire-Vermont

DEED HOLDER TAX MAP 28 LOT 31-1:

FAIRWIND PROPERTIES
317 SOUTH RIVER ROAD
BEDFORD, NH 03110
BOOK 4422 PAGE 2871

TAX MAP 28 LOT 31-1
3 AKIRA WAY/TECHNOLOGY DRIVE
LONDONDERRY, NH

LANDSCAPE PLAN

APPLICANT:

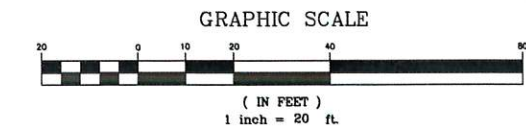
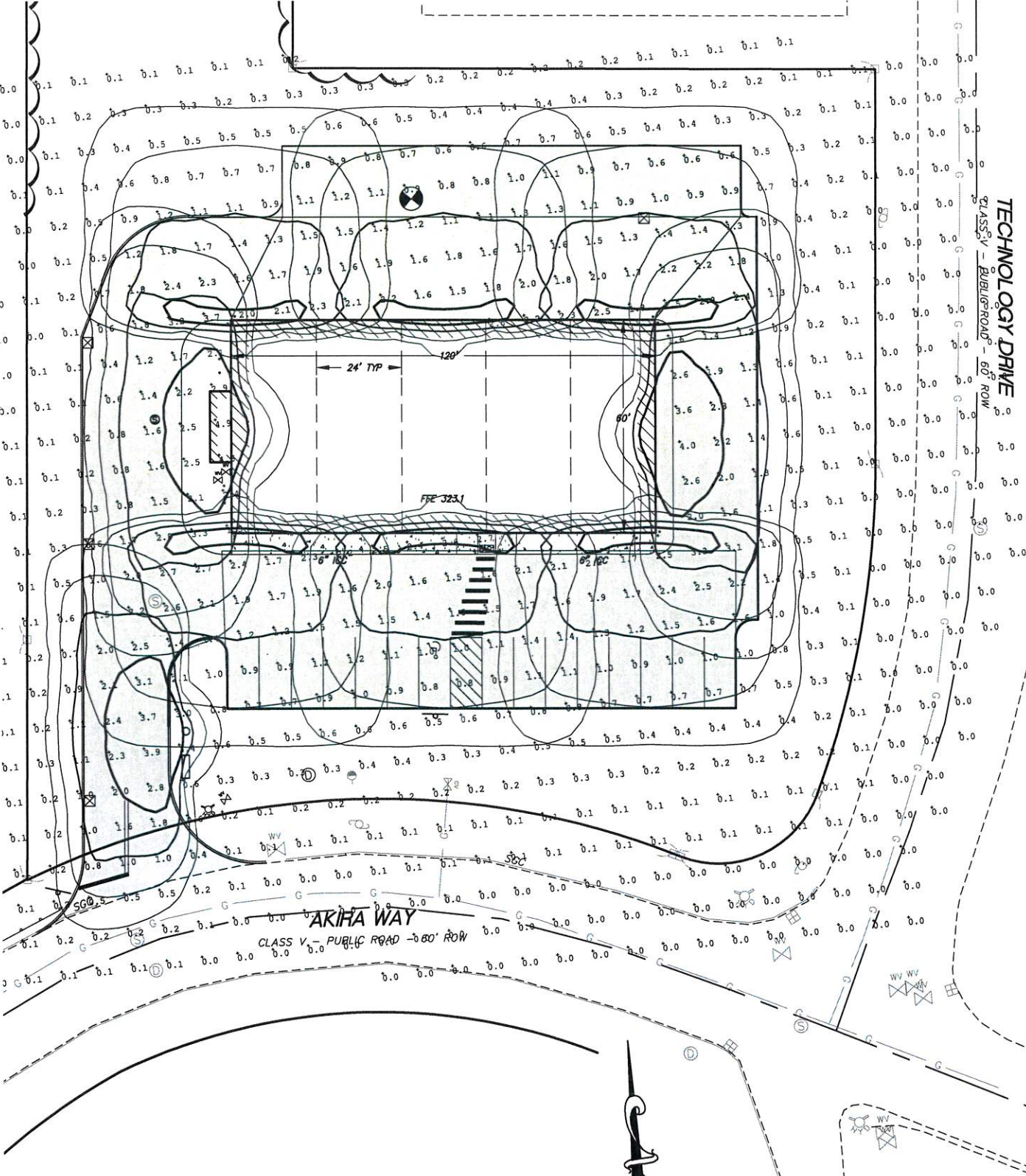
FAIRWIND PROPERTIES
317 SOUTH RIVER ROAD
BEDFORD, NH 03110

SCALE:
20'=1"

JOB NO.
13-0322

DATE:
APRIL 2014

DWG.
LS2



Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison

GWC Galleon Wall

Wall Mount Luminaire

Typical Applications
Exterior Wall - Walkway

Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 5

Product Certifications



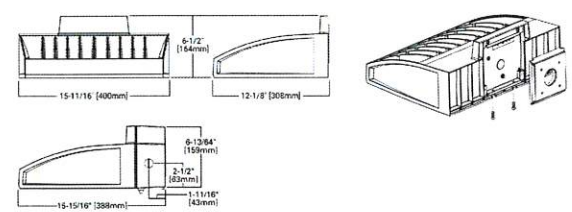
Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Connected Systems

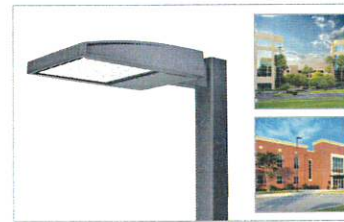
- WaveLinx
- Enlighted

Dimensional Details



MS00000074 page 1
158 12 2014 1:00 PM

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Typical Applications
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

Product Certifications



Product Features

- WaveLinx
- Enlighted

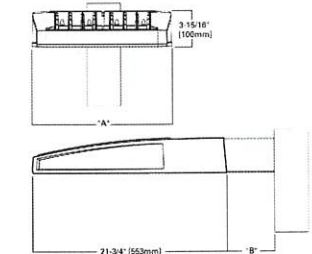
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt

Dimensional Details



PS00000075 page 1
158 12 2014 1:00 PM

Connected Systems

- WaveLinx
- Enlighted

Number of Light Spheres	"A" Width	"B" Standard Arm Length	"C" Extended Arm Length	"D" Quick Mount Arm Length	"E" Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	-
9-10	33-3/4"	7"	16"	-	-

NOTES:
For all selection requirements and additional line art, see Mounting Details section.

NOTES:

PURPOSE OF THIS PLAN: IS TO SHOW THE PROPOSED EXTERIOR LIGHTING FOR THE PROPOSED DEVELOPMENT. LIGHTING DESIGN PROVIDED BY CHARRON INC
KEN SWEENEY
CHARRON INC
APPLICATIONS & DESIGN
MAIN PHONE NUMBER 603-624-4827 EXT. 102
DIRECT LINE 603-945-3500
KSWEENEY@CHARRONINC.COM

- SPECIFIC FIXTURES MAY BE SUBSTITUTED WITH FIXTURES WITH SIMILAR PHOTOMETRIC PATTERNS.
- NO SPECIFIC LIGHTING IS INTENDED FOR THE PROPOSED FREESTANDING SIGN, PROPOSED SITE LIGHTING IS UTILIZED TO ILLUMINATE THE PROPOSED FREESTANDING SIGN.
- ALL LIGHTS SHALL BE FULL CUT-OFF FIXTURES WITH DESIGNATION AS "IESNA CUT-OFF FIXTURES"
- BUILDING LIGHTS SHALL BE SHIELDED AND DOWNCAST.



StatArea_1 FRONT PARKING LOT AREA Illuminance (Fc) Average = 1.39 Maximum = 2.5 Minimum = 0.7 Avg/Min Ratio = 1.99 Max/Min Ratio = 3.57	StatArea_2 REAR PARKING LOT AREA Illuminance (Fc) Average = 1.45 Maximum = 2.5 Minimum = 0.6 Avg/Min Ratio = 2.42 Max/Min Ratio = 4.17
--	---

Luminaire Schedule	Qty	Label	Arrangement	Description
1	1	S3	Single	GLEON-SA1B-740-U-SL3 / SSS4A1SSFN1 (15' AFG)
2	6	W1	Single	GWC-SA1C-740-U-T4FT-HSS / WALL MTD 18' AFG
3	2	W3	Single	GWC-SA1C-740-U-SL3 / WALL MTD 18' AFG

BENCHMARK DATA: NAVD88			
3	5/12/22	REDUCED BUILDING SIZE	
2	9/4/14	REVISIONS PER TOWN NOTICE OF DECISION	
1	7/9/14	REVISIONS PER TOWN/ENGINEERING REVIEW	
NO. DATE REVISION			
DRAWN:	DESIGNED:	CHECKED:	APPROVED:
ACD	BAP	ACD	KRR



TAX MAP 28 LOT 31-1
3 AKIRA WAY
LONDONDERRY, NH
SITE LIGHTING PLAN

DEED HOLDER TAX MAP 28 LOT 31-1: FAIRWIND PROPERTIES 317 SOUTH RIVER ROAD BEDFORD, NH 03110 BOOK 4422 PAGE 2871	APPLICANT: RANGER DEVELOPMENT CORP PO BOX 899 DRACUT, MA 01826	SCALE: 1"=20'	JOB NO. 20191416.A30
		DATE: APRIL 2014	DWG. SL1